

# RAINIER LANDING PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

## SITE PLAN REVIEW

05/30/25



OWNER:  
**CYMBALUK PROPERTIES, LLC**  
C/O LOBSANG DARGEY, SYNERGY CONSTRUCTION, INC.  
315 RIVERSIDE RD  
EVERETT, WA 98201  
PHONE: (425) 553-7377  
CONTACT: LOBSANG DARGEY  
EMAIL: LOBSANG@SYNERGYCD.COM

DEVELOPER/OWNER'S REPRESENTATIVE:  
**SYNERGY CONSTRUCTION INC.**  
13417 NE 20TH STREET #200  
BELLEVUE, WA 98005  
PHONE: (425) 488-5400  
CONTACT: LOBSANG DARGEY  
EMAIL: LOBSANG@SYNERGYCD.COM

ARCHITECT:  
**AXIS ARCHITECTURE + DESIGN**  
500 UNION ST, SUITE 500  
SEATTLE, WA 98101  
PHONE: (206) 367-1382  
CONTACT: MARSHA MAWER-OLSON  
EMAIL: MMAWER-OLSON@AXISARCHITECTURE.COM

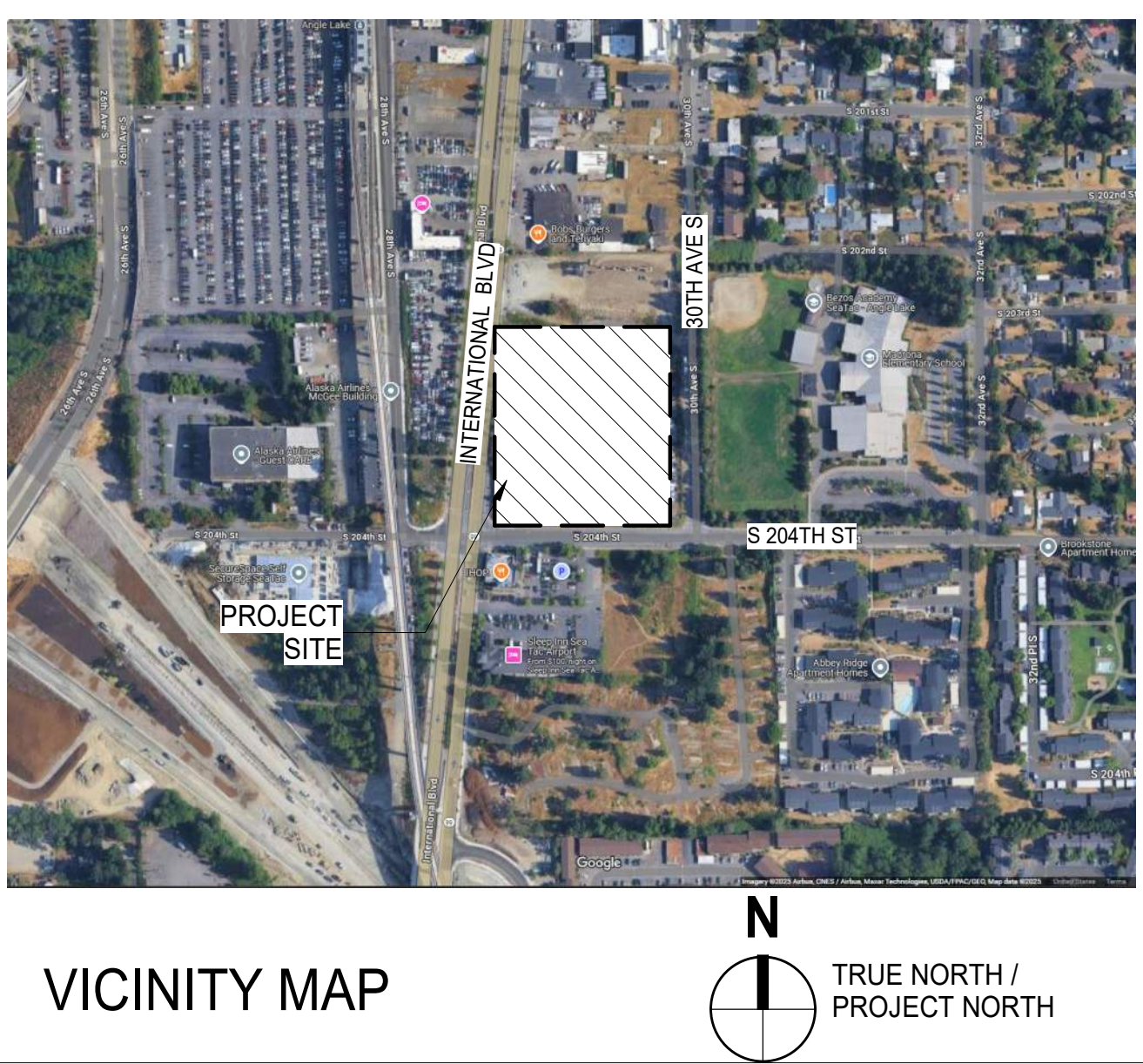
STRUCTURAL:  
**DCI ENGINEERS**  
818 STEWART ST, SUITE 1000  
SEATTLE, WA 98101  
PHONE: (206) 787-8909  
CONTACT: BRUCE ZHONG  
EMAIL: BZHONG@DCI-ENGINEERS.COM

CIVIL:  
**INSIGHT ENGINEERING CO, INC.**  
2804 GRAND AVE #308,  
EVERETT, WA 98201  
PHONE: (425) 303-9363  
CONTACT: BRIAN R. KALAB  
EMAIL: BRIAN@INSIGHTENGINEERING.NET

LANDSCAPE:  
**KAREN KUEST | LANDSCAPE ARCHITECTS**  
111 WEST JOHN STREET SUITE 306  
SEATTLE, WA 98119  
PHONE: (206) 323-8032  
CONTACT: KAREN KUEST  
EMAIL: KKIEST@KK-LA.COM

SHEET INDEX - SITE PLAN REVIEW	
SHEET NO.	SHEET TITLE
GENERAL	
SPR G0.00	COVER SHEET
SPR G0.02	PROJECT INFORMATION
SPR G0.11	CODE ANALYSIS TABLE
SPR G0.12	CODE ANALYSIS TABLE
SPR G0.13	CODE ANALYSIS TABLE
SPR G0.14	CODE ANALYSIS TABLE
SPR G0.15	BUILDING CODE ANALYSIS - BUILDING HEIGHT
SPR G0.16	LAND USE ANALYSIS - OPEN SPACE
SPR G0.18	ZONING CODE ANALYSIS - DEPARTURES
SPR G0.19	ZONING CODE ANALYSIS - DEPARTURES
SPR G0.20	ZONING CODE ANALYSIS - DEPARTURES
CIVIL	
SPR C1.0	COVER SHEET
SPR C1.1	TOPOGRAPHIC SURVEY
SPR C2.0	TESC PLAN
SPR C2.1	TESC NOTES AND DETAILS
SPR C2.2	GRADING PLAN
SPR C3.0	DRAINAGE PLAN
SPR C3.1	DRAINAGE PLAN AND PROFILE
SPR C4.0	SEWER PLAN
SPR C4.1	SEWER PLAN AND PROFILE
SPR C4.2	SEWER PLAN AND PROFILE
SPR C4.3	SEWER NOTES AND DETAILS
SPR C5.0	WATER PLAN TITLE SHEETS
SPR C5.1	WATER PLAN AND PROFILE
SPR C5.2	WATER PLAN
SPR C5.3	FRONTAGE PLAN
SPR C5.4	WATER NOTES AND DETAILS

SHEET INDEX - SITE PLAN REVIEW	
SHEET NO.	SHEET TITLE
LANDSCAPE	
SPR L1.00	OVERALL LANDSCAPE SITE PLAN AND NOTES
SPR L1.10	LANDSCAPE LEGEND
SPR L1.20	LANDSCAPE SITE PLAN
TRAFFIC	
SYN.01	Pacific Hwy S & S 204th St Seatac 1 REVISED
SYN.02	Pacific Hwy S & S 204th St Seatac 2 REVISED
SYN.03	Pacific Hwy S & S 204th St Seatac 3
SYN.04	Pacific Hwy S & S 204th St Seatac 4
LIGHTING	
E1.10	ELECTRICAL STREET LIGHTING PHOTOMETRICS PLAN
E1.11	ELECTRICAL STREET LIGHTING POWER PLAN
E1.20	ELECTRICAL STREET LIGHTING SPECS
E1.21	ELECTRICAL STREET LIGHTING SPECS
ARCHITECTURAL	
SPR A1.01	ARCHITECTURAL SITE PLAN
SPR A1.02	SITE LIGHTING
SPR A2.01	FLOOR PLAN - LEVEL 1
SPR A2.02	FLOOR PLAN - LEVEL 2
SPR A2.03	FLOOR PLAN - LEVEL 3
SPR A2.04	FLOOR PLAN - LEVELS 4-7
SPR A4.00	BUILDING ELEVATIONS
SPR A4.01	BUILDING ELEVATIONS
SPR A4.02	BUILDING ELEVATIONS
SPR A4.10	BUILDING SECTIONS
SPR A4.21	RENDERING VIEWS
SPR A4.22	RENDERING VIEWS
SPR A4.23	MATERIAL PALETTE DIAGRAM
TOTAL SHEET COUNT: 51	



AXIS

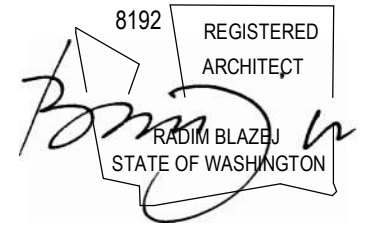
AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME  
**RAINIER LANDING  
PHASE II**  
20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
**CYMBALUK PROPERTIES,  
LLC**  
4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP



DATE	ISSUES & REVISIONS
04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
COVER SHEET

SHEET NUMBER

SPR G0.00

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



DATE 6/4/2025 1:16:45 PM

## CODE REFERENCE

GOVERNING CODES: \*

- 2021 INTERNATIONAL BUILDING CODE W/ STATE AND LOCAL AMENDMENTS
- 2021 INTERNATIONAL MECHANICAL CODE- W/ STATE AND LOCAL AMENDMENTS
- 2023 WASHINGTON CITIES ELECTRICAL CODE (WCEC) AND BY INCLUSION IN THE WCEC
- 2023 NATIONAL ELECTRICAL CODE (NEC) W/ STATE AND LOCAL AMENDMENTS
- 2021 WASHINGTON STATE ENERGY CODE
- 2021 UNIFORM PLUMBING CODE W/ STATE AND LOCAL AMENDMENTS
- 2021 INTERNATIONAL FIRE CODE W/ STATE AND LOCAL AMENDMENTS

\* ALL OTHER CURRENT MUNICIPAL AND LOCAL ORDINANCES AND REGULATIONS

## AREA ANALYSIS

ALLOWABLE FLOOR AREA: (TABLE 506.2)

GROUP A-2/A-3, TYPE I-A    At = UNLIMITED S.F./FLOOR  
GROUP B, TYPE I-A        At = UNLIMITED S.F./FLOOR  
GROUP R-1, TYPE I-A      At = UNLIMITED S.F./FLOOR  
GROUP R-2, TYPE I-A      At = UNLIMITED S.F./FLOOR  
GROUP S-2, TYPE I-A      At = 237,000 S.F./FLOOR  
GROUP R-1, TYPE V-A      At = 36,000 S.F./FLOOR  
GROUP R-2, TYPE V-A      At = 36,000 S.F./FLOOR

## FIRE SEPARATION REQUIREMENTS

OCCUPANCY SEPARATION				
OCCUPANCY	A	R	S-2, U	B, M, S-1
A	-	1	-	1
R	1	-	1	1
S-2, U	-	1	-	1
B, M, S-1	1	1	1	-

- FIRE SEPARATION REQUIREMENTS (HOURS) FOR FULLY SPRINKLERED BUILDING PER TABLE 508.4
- 3 HOUR LID REQUIRED BETWEEN TYPE IA & TYPE VA

TABLE 601 - FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)		
BUILDING ELEMENT	TYPE I	TYPE V
	A	A

PRIMARY STRUCTURAL FRAME (SEE SECTION 202)	3	1
BEARING WALLS - EXTERIOR	3	1
BEARING WALLS - INTERIOR	3	1
NONBEARING WALLS AND PARTITIONS - EXTERIOR	SEE TABLE 602	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS - INTERIOR	0	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS (SEE SECTION 202)	2	1
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS (SEE SECTION 202)	1 1/2	1

TABLE 602 - FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	
FSD	FIRE-RESISTANCE RATING (HOURS)

X < 5	1
5 ≤ X < 10	1
10 ≤ X < 30	1
X ≥ 30	0

TABLE 705.8 - FIRE SEPARATION DISTANCE (FSD) AND OPENING PROTECTION	
FIRE SEPARATION DISTANCE	% UNPROTECTED OPENINGS ALLOWED IN SPRINKLERED BUILDING PER TABLE 705.8

5' ≤ FSD < 10'	25%
10' ≤ FSD < 15'	45%
15' ≤ FSD < 20'	75%
20' ≤ FSD	NO LIMIT

## PROJECT SUMMARY

SHS SUITE SCHEDULE		
Level	Name	Count
LEVEL 2	SHS-K	10
LEVEL 2: 10		
LEVEL 3	SHS-K	16
LEVEL 3	SHS-K-ACC	1
LEVEL 3	SHS-QQ	10
LEVEL 3	SHS-QQ-ACC	1
LEVEL 3: 28		
LEVEL 4	SHS-K	16
LEVEL 4	SHS-K-ACC	1
LEVEL 4	SHS-QQ	10
LEVEL 4	SHS-QQ-ACC	1
LEVEL 4: 28		
LEVEL 5	SHS-K	16
LEVEL 5	SHS-QQ	11
LEVEL 5	SHS-QQ-ACC	1
LEVEL 5: 28		
LEVEL 6	SHS-K	16
LEVEL 6	SHS-K-ACC	1
LEVEL 6	SHS-QQ	10
LEVEL 6	SHS-QQ-ACC	1
LEVEL 6: 28		
LEVEL 7	SHS-K	16
LEVEL 7	SHS-K-ACC	1
LEVEL 7	SHS-QQ	10
LEVEL 7	SHS-QQ-ACC	1
LEVEL 7: 28		
TOTAL: 150		

TPS SUITE SCHEDULE		
Level	Name	Count
LEVEL 3	TPS-1 BR	1
LEVEL 3	TPS-1 BR-ACC	1
LEVEL 3	TPS-K	16
LEVEL 3	TPS-K-ACC	1
LEVEL 3	TPS-QQ	10
LEVEL 3	TPS-QQ-ACC	1
LEVEL 3: 30		
LEVEL 4	TPS-1 BR	1
LEVEL 4	TPS-1 BR-ACC	1
LEVEL 4	TPS-K	16
LEVEL 4	TPS-K-ACC	1
LEVEL 4	TPS-QQ	10
LEVEL 4	TPS-QQ-ACC	1
LEVEL 4: 30		
LEVEL 5	TPS-1 BR	1
LEVEL 5	TPS-1 BR-ACC	1
LEVEL 5	TPS-K	16
LEVEL 5	TPS-K-ACC	1
LEVEL 5	TPS-QQ	10
LEVEL 5	TPS-QQ-ACC	1
LEVEL 5: 30		
LEVEL 6	TPS-1 BR	1
LEVEL 6	TPS-1 BR-ACC	1
LEVEL 6	TPS-K	16
LEVEL 6	TPS-K-ACC	1
LEVEL 6	TPS-QQ	10
LEVEL 6	TPS-QQ-ACC	1
LEVEL 6: 30		
LEVEL 7	TPS-1 BR	1
LEVEL 7	TPS-1 BR-ACC	1
LEVEL 7	TPS-K	16
LEVEL 7	TPS-K-ACC	1
LEVEL 7	TPS-QQ	10
LEVEL 7	TPS-QQ-ACC	1
LEVEL 7: 30		
TOTAL: 150		

RES. UNIT SCHEDULE		
Level	Name	Count
LEVEL 2	1BR	1
LEVEL 2	STUDIO	4
LEVEL 2: 5		
LEVEL 3	1BR	12
LEVEL 3	2BR	6
LEVEL 3	STUDIO	8
LEVEL 3: 26		
LEVEL 4	1BR	13
LEVEL 4	2BR	6
LEVEL 4	STUDIO	8
LEVEL 4: 27		
LEVEL 5	1BR	13
LEVEL 5	2BR	6
LEVEL 5	STUDIO	8
LEVEL 5: 27		
LEVEL 6	1BR	13
LEVEL 6	2BR	6
LEVEL 6	STUDIO	8
LEVEL 6: 27		
LEVEL 7	1BR	13
LEVEL 7	2BR	6
LEVEL 7	STUDIO	8
LEVEL 7: 27		
TOTAL: 139		

## PARKING SUMMARY

BUILDING SF CALCULATIONS / PARKING COUNT

RESIDENTIAL BUILDING

139 UNITS APT = 27 UNITS TYP PER FLOOR (4) + 5 @ LEVEL 2 + 26 @ LEVEL 3

S - 48 UNITS, 35% (15' X 35' MODULE = 525 SF) (9 PER FL + 4 @ L2 + 8 @ LEVEL 3)

1BR - 61 UNITS, 44% (20' X 35' = 700 SF) (12 PER FL + 1 @ L2)

2BR - 30 UNITS, 21% (28' X 35' CORNER = 980 SF) (6 PER FL)

REQUIRED PARKING: 48 + 92 + 60 = 200, WITH 35% REDUCTION = 130 STALLS

PARKING PROVIDED: (79 L1 + 51 L2 )130 STALLS

HOTEL

HOTEL GUESTROOM COUNT IS 300 KEYS - 150 SHS AND 150 TPS = 300 X 0.75 = 225 STALLS

HOTEL MEETING (1 PER 150 GSF) = 2148 SF / 150 = 15 STALLS (14.32)

5931.5 39.54  
2 LOADING SPACES

TOTAL PARKING STALLS REQUIRED FOR HOTEL = 225 + 15 = 240, WITH 30% REDUCTION = 168 STALLS

PARKING PROVIDED: (96 L1 + 75 L2) 171 STALLS

TOTAL MAX PARKING REQUIRED: 168 + 130 = 298 STALLS

## PARKING SCHEDULE

Level	Type Mark	Count
LEVEL 1	ACCESSIBLE	2
LEVEL 1	ACCESSIBLE VAN	1
LEVEL 1	COMPACT LONG	131
LEVEL 1	STANDARD	41
LEVEL 1: 175		
LEVEL 2	ACCESSIBLE	9
LEVEL 2	ACCESSIBLE VAN	1
LEVEL 2	COMPACT LONG	70
LEVEL 2	STANDARD	46
LEVEL 2: 126		
TOTAL PARKING: 301		

## BIKE PARKING SUMMARY

RESIDENTIAL BUILDING

1 BIKE PARKING SPACE PER 10 VEHICULAR STALLS  
PARKING PROVIDED: 130 STALLS  
BIKE PARKING REQUIRED: 13 SPACES  
BIKE PARKING PROVIDED: 20 SPACES

HOTEL

1 BIKE PARKING SPACE PER 10 VEHICULAR STALLS  
PARKING PROVIDED: 171 STALLS  
BIKE PARKING REQUIRED: 18 SPACES  
BIKE PARKING PROVIDED: 20 SPACES

## PROJECT SCOPE

PROJECT CONSISTS OF:  
RAINIER LANDING HAS AN APPROVED SPR AND BUILDING PERMIT FOR PHASE 1 WHICH IS CURRENTLY UNDER CONSTRUCTION. THE PROPOSAL INCLUDED IN THIS SPR APPLICATION IS TO REVISE THE DESIGN AND USE OF THE PHASE 2 BUILDING.A MIXED USE DEVELOPMENT PHASE II OF WHICH IS A NEW CONSTRUCTION SEVEN-STORY BUILDING. THERE IS A DUAL-BRAND HOTEL PORTION AND A RESIDENTIAL PORTION WITH PARKING FOR 301 VEHICLES. THE RESIDENTIAL PORTION HAS 139 UNITS. THE DUAL-BRAND HOTEL PORTION CONSISTS OF SPRINGHILL SUITES AND TOWNEPLACE SUITE WITH 300 TOTAL GUEST ROOMS.

## PROJECT DATA SUMMARY

PROJECT NAME: RAINIER LANDING PHASE II

PROJECT ADDRESS: 20220 INTERNATIONAL BLVD S SEATAC, WA 98198

LOT LEGAL DISCRIPTION:  
PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 2014205; EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000373.

A.P.N.: 3445000090

ZONING: CB-C (COMMUNITY BUSINESS IN THE URBAN CENTER)

OVERLAY ZONING: ANGEL LAKE STATION OVERLAY

TYPE OF CONSTRUCTION: TYPE IA: LEVELS 1-2  
TYPE VA: LEVELS 3-7

LOT AREA: 130,532 SF

OCCUPANCY GROUP:  
LEVEL 1 = MIXED USE OCCUPANCY  
LOBBY/Lounge/MEETING  
/FITNESS/POOL  
OFFICE  
UTILITY/PARKING  
GROUP A-3  
GROUP B  
GROUP S-2

LEVEL 2 = MIXED USE OCCUPANCY  
ADMINISTRATION/OFFICE  
GUESTROOMS  
UNITS  
RECEPTION  
DINING/KITCHEN/BAR  
UTILITY/STORAGE/PARKING  
GROUP B  
GROUP R-1  
GROUP R-2  
GROUP A-3  
GROUP A-2  
GROUP S-2

LEVEL 3= RESIDENTIAL OCCUPANCY  
GUESTROOMS  
UNITS  
STORAGE/UTILITY/HOUSKEEPING  
CLUB ROOM  
ACCESSORY TO R-1&R-2

LEVELS 4,7= RESIDENTIAL OCCUPANCY  
GUESTROOMS  
UNITS  
STORAGE/UTILITY/HOUSKEEPING  
ACCESSORY TO R-1&R-2

## FIRE / LIFE SAFETY REQUIREMENTS

SECONDARY WATER SUPPLY: YES  
FIRE DETECTION: ALARM SYSTEM WITH VOICE EVACUATION IN LOW RISE & HIGH RISE  
SMOKE DETECTION: SYSTEM IN LOW RISE AND HIGH RISE  
FIRE EXTINGUISHING SYSTEM: AUTOMATIC SPRINKLER - INSTALLED PER NFPA 13 - FULLY SPRINKLERED  
STANDPIPE SYSTEM: CLASS 1  
SMOKE CONTROL: YES

## BUILDING HEIGHT / NO. OF STORIES

ALLOWABLE HEIGHT (ABOVE GRADE PLANE): 70'  
(TABLES 504.3 & 504.4 - TYPE VA)  
GRADE PLANE HEIGHT: 382' - 6'  
BUILDING CODE HEIGHT (FROM GRADE PLANE): 70'  
BUILDING HEIGHT PROPOSED (FROM GRADE PLANE): 69'-9"

NUMBER OF STORIES ALLOWED: TYPE 1A = UNLIMITED  
(TABLE 504.2.1) TYPE VA (R1& R-2)= 5 STORIES  
504.2.1 FIVE STORY TYPE VA BUILDINGS ALLOWED.

TYPE VA BUILDINGS WITH B, M, R-1 AND R-2 OCCUPANCIES MAY BE INCREASED TO FIVE STORIES IN HEIGHT IN ACCORDANCE WITH ALL OF THE FOLLOWING:

1. THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1; AND
2. THE BUILDING IS EQUIPPED WITH A COMPLETE, APPROVED FIRE ALARM AND DETECTION SYSTEM; AND
3. THE FIRE SPRINKLER ALARM SYSTEM IS PROVIDED WITH ANNUNCIATION FOR EACH FLOOR; AND
4. THE BUILDING DOES NOT EXCEED 70 FEET IN HEIGHT; AND
5. THE VERTICAL EXIT ENCLOSURES SHALL BE SMOKE PROOF ENCLOSURES IN ACCORDANCE WITH SECTION 909; AND
6. SPECIAL INSPECTION IS PROVIDED FOR THE LATERAL SUPPORT PORTION OF THE STRUCTURAL SYSTEM; AND
7. THE BUILDING MUST COMPLY WITH ALL OTHER APPLICABLE PROVISIONS OF TITLE 13 OF THE SEATAC MUNICIPAL CODE.

NUMBER OF STORIES PROPOSED: 5 STORIES OF VA OVER 2 STORIES OF IA

## BUILDING SETBACKS

INTERNATIONAL BOULEVARD:  
5' – 20' FOR AT LEAST 50% OF BUILDING FRONT FACADE  
5' – 40' REMAINING BUILDING FACADE  
OTHER STREETS:  
5' – 10' FOR AT LEAST 50% OF BUILDING FRONT FACADE  
5' – 20' REMAINING BUILDING FACADE

# AXIS

AXIS Architecture + Design  
700 Flower St, Suite 520  
Los Angeles, CA 90017  
T: 310.209.7520  
www.axisarchitecture.com

PROJECT NAME

## RAINIER LANDING PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME

## CYMBALUK PROPERTIES, LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP

8192 REGISTERED ARCHITECT  
B. J. BLAZER  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
PROJECT INFORMATION

SHEET NUMBER

## SPR G0.02

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



This table is intended to document and include ALL relevant Land code sections for the project.																
PROJECT ADDRESS		20220 International Boulevard (PIN: 3445000090, rezoned from Industrial Zone, Angle Lake Station Overlay District, Land Use Category: Urban Commercial High)														
JURISDICTION		City of SeaTac														
ZONE		CB-C (Community Business In The Urban Center)														
ZONING ANALYSIS DATED		3/12/2025														
CODE CONTENT SOURCE		https://www.codepublishing.com/WA/SeaTac/#/SeaTac15/SeaTac15.html														
APPLICABLE SECTION		CODE REQUIREMENT		COMPLIANCE												
DIVISION II Zone Classifications and Land Use Charts																
Zones and Map Designations – Purpose Statements	15.200.030	N	<b>Community Business in the Urban Center Zone (CB-C).</b> The purpose of this zone is to provide the highest intensely commercial development within the urban center in the form of retail/personal services for a local service area which exceeds the needs of adjacent neighborhood or commercial areas, and to provide retail and personal service on a community-oriented basis. This is accomplished by providing for professional offices, a wide range of retail and personal services, sale of commodities, mixed-use development, and access to high capacity transit and other complete neighborhood infrastructure and services.													
Use Chart Guide	15.205.030	D	Additional Standards According to Use. Additional standards that apply to a particular use and zone are noted by number and described in the column on the far right of the chart. If the standard is not preceded by a number, the standard applies to all zones.													
Use Chart	15.205.040		Uses permitted includes Retail/Commercial, Conference, Professional Office, Day Care II, Multi-Family(1), Café/Food/Restaurant, Lodging													
			(1) <b>For projects fronting International Blvd</b> or S 188th St, at least 50% of the building's ground floor shall be a retail, service, or commercial use as described in SMC 15.200.300, Mixed Use in Residential Projects.	COMPLIANT												
DIVISION III Overlay Districts and Zones																
15.310 Angle Lake Station Area Overlay District																
Authority and Application	15.310.010	C	<b>Departures.</b> Minor departures from these overlay district standards may be permitted to promote well designed developments which may not strictly comply with the established standards, in order to provide flexibility and creativity of project designs. This process differs from the variance procedure in that rather than being based upon unusual circumstances or physical hardship, it is based upon the quality of the proposed design. A departure shall not be granted for a request that should be made through the variance process in Chapter 15.115 SMC, Land Use Actions and Procedures.  Departures to the maximum and minimum parking requirements and the minimum amount of open space required in SMC 15.310.310, Minimum Open Space Area Required, are not permitted.  <b>The applicant shall submit a departure request application, along with all information listed on that form</b> , including a written response to the criteria in subsections C(1) through C(3) of this section. A departure is subject to the approval of the Director.  Any request for departure must satisfy the following: 1. The request results in a superior design and satisfies the policies of the Angle Lake Station Area Plan; 2. The strict application of the overlay district standards would be contrary to the Angle Lake Station Area Plan or Comprehensive Plan; or 3. The departure will not have any substantial detrimental effect on nearby properties, the City or neighborhood.													
		D	<b>Development Agreements.</b> In order to provide flexibility, to permit creativity of design, style, and technique, and to provide for phased development and interim uses, development agreements may be entered into by and between the City and property owners or developers, pursuant to RCW 36.708.170 through 36.708.200, provided, that the terms of any such development agreement shall be consistent with the purpose and intent of this chapter. Special conditions or exemptions established for a particular site or project through a development agreement shall include criteria or date for the termination of any such agreement.													
Angle Lake Station Area Overlay District Use Chart	15.310.055		Uses permitted includes Conference, Professional Office, Day Care I&II, Multi-Family(1), Café/Food/Restaurant(2), Retail, Lodging"  (1) For designated parcels within the <b>District Center</b> (see Figure 15.310.730A), at least 50% of a building's ground floor shall be a retail, service, or commercial use as described in the mixed use standards in SMC 15.310.720 and 15.310.730.	COMPLIANT												
Vehicular Circulation Requirements	15.310.110	C	Dead-end streets shall not be permitted.													
Pedestrian Circulation Requirements	15.310.120	A B	Sites with Multiple Buildings.  Mid-Block Pedestrian Corridors Encouraged. For through lots, the provision of mid-block pedestrian corridors may allow for the departure from certain standards within this chapter. See SMC 15.310.010, Authority and Application, Departures for requirements and criteria.	COMPLIANT												
Site Planning and Building Orientation	15.310.200		<b>Purpose:</b> Design structures to have an external orientation to the streetscape and the pedestrian environment with unifying open space and pedestrian pathways. Design emphasis should be given to the pedestrians, rather than automobiles, through placement of parking in a less prominent location (such as structured parking, to or the rear of the building, rather than in front), pedestrian-level retail space; treatment of blank walls and facades and incorporation of prominent architectural features. Site layout should emphasize coordination of open spaces and pedestrian access with adjacent development or public places. Lighting and landscaping should allow for safety and visibility of public and semi-public areas.  <b>SUMMARY TABLE, SITE PLANNING AND BUILDING REQUIREMENTS</b> <b>DESIGN STANDARDS (see SMC 15.310.200)</b> <table><tr><td>Setbacks</td><td><b>International Boulevard:</b> 5' – 20' for at least 50% of building front facade 5' – 40' remaining building facade <b>Other streets:</b> 5' – 10' for at least 50% of building front facade 5' – 20' remaining building facade</td></tr><tr><td>Projections within the Setback</td><td>Weather protection may extend</td></tr><tr><td>Minimum Building Frontage</td><td>AL District: 50% of front yard street frontage to be occupied by front building facade</td></tr><tr><td>Corner Lots</td><td>Building facades orient to both streets</td></tr><tr><td>Sidewalk Widths</td><td>• International Boulevard: 8' paved sidewalk clear-through zone + 4' landscape zone • Other streets: 4' paved sidewalk clear-through zone + 4' landscape zone</td></tr><tr><td>Driveway Entrances SMC 15.455.420</td><td>Arterial: 1 driveway per 150' of street frontage Nonarterial: 1 driveway per 100' of street frontage</td></tr></table>	Setbacks	<b>International Boulevard:</b> 5' – 20' for at least 50% of building front facade 5' – 40' remaining building facade <b>Other streets:</b> 5' – 10' for at least 50% of building front facade 5' – 20' remaining building facade	Projections within the Setback	Weather protection may extend	Minimum Building Frontage	AL District: 50% of front yard street frontage to be occupied by front building facade	Corner Lots	Building facades orient to both streets	Sidewalk Widths	• International Boulevard: 8' paved sidewalk clear-through zone + 4' landscape zone • Other streets: 4' paved sidewalk clear-through zone + 4' landscape zone	Driveway Entrances SMC 15.455.420	Arterial: 1 driveway per 150' of street frontage Nonarterial: 1 driveway per 100' of street frontage	
Setbacks	<b>International Boulevard:</b> 5' – 20' for at least 50% of building front facade 5' – 40' remaining building facade <b>Other streets:</b> 5' – 10' for at least 50% of building front facade 5' – 20' remaining building facade															
Projections within the Setback	Weather protection may extend															
Minimum Building Frontage	AL District: 50% of front yard street frontage to be occupied by front building facade															
Corner Lots	Building facades orient to both streets															
Sidewalk Widths	• International Boulevard: 8' paved sidewalk clear-through zone + 4' landscape zone • Other streets: 4' paved sidewalk clear-through zone + 4' landscape zone															
Driveway Entrances SMC 15.455.420	Arterial: 1 driveway per 150' of street frontage Nonarterial: 1 driveway per 100' of street frontage															
Building Placement/Setbacks	15.310.210	A	<b>Front Yard Setback.</b> <table><tr><td>Minimum</td><td>Five (5) feet on all public and private streets.</td></tr><tr><td>Maximum</td><td><b>a. Adjacent to International Boulevard:</b> Twenty (20) feet for at least fifty percent (50%) of the building's front facade. The remaining building's front facade may be set back to forty (40) feet for the purposes of accommodating public open space, porte cocheres, landscaping or recessed building entries.  <b>b. All Other Public or Private Streets:</b> Ten (10) feet for at least fifty (50%) of the building's front facade. The remaining front building facade may be set back to twenty (20) feet for the purpose of accommodating public open space, porte cocheres, landscaping or recessed building entries.</td></tr></table>	Minimum	Five (5) feet on all public and private streets.	Maximum	<b>a. Adjacent to International Boulevard:</b> Twenty (20) feet for at least fifty percent (50%) of the building's front facade. The remaining building's front facade may be set back to forty (40) feet for the purposes of accommodating public open space, porte cocheres, landscaping or recessed building entries.  <b>b. All Other Public or Private Streets:</b> Ten (10) feet for at least fifty (50%) of the building's front facade. The remaining front building facade may be set back to twenty (20) feet for the purpose of accommodating public open space, porte cocheres, landscaping or recessed building entries.	DEPARTURE REQUESTED (INCLUDED IN ORIGINAL SPR DEPARTURES) - SEE G0.20								
Minimum	Five (5) feet on all public and private streets.															
Maximum	<b>a. Adjacent to International Boulevard:</b> Twenty (20) feet for at least fifty percent (50%) of the building's front facade. The remaining building's front facade may be set back to forty (40) feet for the purposes of accommodating public open space, porte cocheres, landscaping or recessed building entries.  <b>b. All Other Public or Private Streets:</b> Ten (10) feet for at least fifty (50%) of the building's front facade. The remaining front building facade may be set back to twenty (20) feet for the purpose of accommodating public open space, porte cocheres, landscaping or recessed building entries.															
		C	<b>Projections Permitted Within Setback.</b> Weather protection awnings and marquees may extend into a required setback.													
		D	<b>Building Orientation.</b> The front facade of the primary building(s) shall be oriented toward the front property line, with the main pedestrian entrance(s) located on this facade. Additional building entrances may be oriented toward the rear or side of the building for access to and from the parking lots.	COMPLIANT												
		F	<b>Minimum Building Frontage Coverage.</b> A minimum of fifty percent (50%) of the front yard street frontage shall be occupied by a primary building facade(s) excluding any side yard setbacks.	COMPLIANT												
		H	<b>Setbacks and Landscaping Standards for CB-C, RBX and I Zone.</b> In the CB-C, RBX and I zone, where required landscaping in Chapter 15.445 SMC exceeds the required side and rear setbacks in SMC 15.400.200, the landscape standards shall supersede the setback standards. This shall not apply where side and rear property lines abut a residential comprehensive plan designation as per SMC 15.300.240.	N/A												
Development Abutting Two (2) or More Street Frontages	15.310.220	A	<b>Buildings on corner lots</b> shall orient front facades to both the corner and adjacent public and/or private street fronts. Pedestrian entries near or on the corner are encouraged.	COMPLIANT												
		A.1	<b>Corner Buildings and Architectural Focal Points.</b> Development at the intersection of arterial streets shall include architectural focal points that increase the visibility and landmark status of corner buildings, such as one (1) or more of the following: a. Transparent glazing incorporated into corner building design; b. Tower elements and/or rooflines that accentuate the corner; c. Balconies or building terraces at or near the corner.	COMPLIANT												

Driveway Design	15.310.260	A	Pedestrian walkways interrupted by driveways shall be distinguished from the driveway surface by decorative paving to the building entrance.	COMPLIANT
		B	<b>Driveways serving front yard porte cochere building entries</b> shall be approved by the Director and include only limited short-term parking that can be accommodated along one (1) double-loaded drive aisle.	DEPARTURE REQUESTED - SEE G0.20
Exterior Lighting	15.310.280	A	Lighting standards shall be no greater than sixteen (16) feet in height, and used to illuminate surfaces intended for pedestrians or vehicles, as well as building entries. Light fixtures shall be sited and directed to minimize glare around residences.	COMPLIANT
		B	Exterior lighting shall be used to identify and distinguish the pedestrian pathway network from car or transit circulation. Along pedestrian circulation corridors, lighting standards shall be placed between pedestrian ways and public and/or private streets, driveways or parking areas. The level of lighting shall conform with the requirements of Chapter 17.40 SMC, Walkway, Bikeway and Park Lighting.	
Open Space and Amenities	15.310.300	Purpose: Provide for open space that enhances and activates the pedestrian realm through the provision of plazas, courtyards, pocket parks and sidewalks. Open spaces should be inviting, functional, easy to maintain and safe. They should contribute to the character of the area and complement the built environment.		
		SUMMARY TABLE, OPEN SPACE REQUIREMENTS		
		Applies To: All commercial and nonresidential development.		
		<b>Open Space Required</b>		
		Minimum Open Space Area Required SMC 15.310.310	5% of net site area (Total Site Area – Sensitive Areas)	COMPLIANT
		<b>Open Space Design</b>		
		Street Frontage Landscaping Required	No, waived in lieu of open space requirement	COMPLIANT
		Open Space Hierarchy	Open space shall be provided in the following order of importance: 1. Sidewalk improvements; 2. Plaza, courtyard, pocket park	
		Sidewalk Improvements SMC 15.310.250	Fronting International Boulevard: Increase sidewalk zone to 12' as follows: – 8' paved sidewalk clear-through zone. The landscape zone improvements are already in place and do not require improvement. Other streets: Increase sidewalk zone to 8' as follows: – 4' paved sidewalk clear-through zone and additional 4' landscape zone comprising paved sidewalk with street trees in wells spaced no more than every 30'.	COMPLIANT
		Design of Plaza, Courtyard, Pocket Park	•Min. 200 sq. ft. in size •Min. 50% decorative paving •Seating areas to be provided •Remaining area may be landscaped •1 tree per 200 sq. ft. of paved area •Public art, water feature or performance area encouraged	DEPARTURE REQUESTED - SEE G0.20
Minimum Open Space Area Required	15.310.310	A	The following standards are applicable to all commercial or other nonresidential development. See multi-family development standards, Chapter 15.510 SMC, Multi-Family Housing Design Standards, for residential development standards.	COMPLIANT
		1. <b>Minimum Area Required.</b> Five percent (5%) of net site area shall be set aside as usable outdoor open space accessible to the public. <b>Net Site Area Calculation.</b> Net Site Area = Total Site Area – Sensitive Areas. 2. <b>Areas That Do Not Qualify as Open Space.</b> For the purposes of this chapter, the following shall not be included toward meeting the minimum open space requirement:  a. Portions of a parcel classified as sensitive area, stormwater facility, provided that such stormwater facilities are at grade and not covered; or open water. b. Required landscaping and sensitive area buffers without common access links, such as pedestrian trails. c. Driveways, parking, or other auto serving uses. d. Areas of a parcel with slopes greater than eight percent (8%) shall not qualify as usable outdoor open space, unless the area has been developed with an enhanced accessibility system of stairs, ramps, terraces, trails, seating areas, or other site improvements as approved by the Director.  3. <b>Prohibited Adjacent to Open Space.</b> The following is prohibited adjacent to pedestrian-oriented space: a. Unscreened parking lots; b. Chain link fences; c. Blank walls; d. Dumpsters or service areas; and e. Outdoor storage (shopping carts, potted soil bags, firewood, etc.).  4. <b>Areas That Qualify as Open Space.</b> Open space that qualifies toward meeting the minimum open space requirement shall include one (1) or more of the following: a. Active outdoor recreation areas; b. Expansion of existing sidewalks; c. Pedestrian-only corridors or multi-purpose trails separate from the public or private roadway system that provide through connections to enhance pedestrian and bicycle connectivity or provide access links in sensitive area buffers. The square footage (length times width) of corridors/trails shall be counted as usable open space; and/or d. Publicly accessible plazas, courtyards or pocket parks constructed contiguous with new or existing sidewalks. Publicly accessible courtyard designs shall conform to SMC 15.310.320.		
Location and Design of Open Space	15.310.320	The following open space regulation shall supersede the street frontage landscape requirement as specified in SMC 15.445.010(C) and 15.445.210. The building facade landscaping requirement shall continue to apply to uses in the Angle Lake Station Area Overlay District, except under pedestrian weather protection structures, as specified in SMC 15.310.610(C).		
		A	<b>Open Space Requirements.</b> Open space is to be provided on site in the following order of priority:  1. <b>Sidewalk Improvements.</b> Sidewalk widths shall be enhanced and other improvements shall be provided along all public and private streets as per SMC 15.310.250.  2. <b>Remaining Open Space Area.</b> After fulfilling the sidewalk improvements, remaining open space shall be provided within the front yard or to the side of the property. The open space shall be developed and arranged in a manner that is accessible to the public at all times, directly connected to a sidewalk or pedestrian pathway, and bordered on at least one (1) side by, or readily accessible from, the primary structure(s) on site. Front yard open space shall be placed in one (1) or more of the following ways:  <b>a. Plaza, Courtyard, or Pocket Park.</b> Publicly accessible open space shall be placed in a plaza, courtyard or pocket park that includes at a minimum: i. Two hundred (200) square feet in size that is adjacent to a pedestrian building entrance; ii. At least fifty percent (50%) decorative paving, constructed of such materials as stamped, broom finish, or scored concrete; brick or modular pavers; iii. One (1) tree for every two hundred (200) square feet of decorative paving area; iv. One (1) linear foot of seating per each forty (40) square feet of plaza, courtyard, or pocket park space on site and shall be provided in the form of freestanding outdoor benches of a minimum sixteen (16) inches wide or seating incorporated into low walls, raised planters or building foundations at least twelve (12) inches wide and eighteen (18) inches high; v. Incorporate one (1) or more of the following to encourage pedestrian use and activity: plantings or grass within or immediately adjacent to the plaza, courtyard, or pocket park, public art such as a water feature or sculpture or other public amenities approved by the Director.  B <b>General Open Space Design Standards.</b> 1. <b>Accessory Site Furnishing.</b> Accessory site furnishings shall be located so as not to obstruct pedestrian access along sidewalks and to businesses. a. Waste receptacles, movable planters and other accessory site furnishings shall be of a design which is compatible with the design of the plaza, courtyard, or pocket park, through the use of similar detailing or materials.  2. <b>Common Space Areas.</b> Common open space should be located to take advantage of surrounding features such as building entrances, significant landscaping, unique topography or architecture, and solar exposure.  3. <b>Integration with Adjacent Parcels.</b> Usable open space areas on site shall be organized and designed in a manner that allows for maximum integration with open space on adjacent parcels.  4. <b>Linkage of Open Space Elements.</b> Developments proposing on-site plazas and pocket parks as publicly accessible project amenities shall link the open space elements with adjacent sidewalks, pedestrian paths, and/or bikeways.	COMPLIANT
Parking Standards	15.310.400	A	Purpose: Minimize parking as a dominant land use. Parking should be screened through its placement behind structures and via landscaping.	
		B	The following parking standards shall be in addition to, or, in some cases, supersede applicable parking provisions required in Chapter 15.455 SMC, Parking and Circulation.	



DATE 6/4/2025 1:16:48 PM



AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

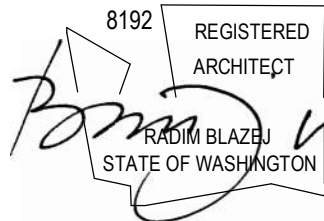
PROJECT NAME  
**RAINIER LANDING  
PHASE II**

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
**CYMBALUK PROPERTIES,  
LLC**  
4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP



DATE	ISSUES & REVISIONS
04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
CODE ANALYSIS TABLE

SHEET NUMBER

**SPR G0.12**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.

		<b>SUMMARY TABLE: PARKING REQUIREMENTS</b> Maximum Parking Specified Minimum Parking Required Bicycle Parking Surface Parking Lots Pedestrian Walkways through Parking Lots Structured Parking  Structured Parking: Ground Floor	Yes: 10% increase above standards in SMC 15.455.120, Parking Chart for Required Off-Street Spaces. Yes: Parking study required Require 1 space for every 10 parking stalls • Located behind or to the side of a building • Parking next to building: 20' setback with landscaping  Required if more than 100 parking spaces Architectural design elements required and high quality screening See also Chapter 15.455 SMC, Parking and Circulation.  Adjacent to public street, 100% of ground floor to be constructed as commercial space • 20' min depth and 13' ceiling height • 50% of commercial use can be office associated with parking operation	COMPLIANT
Off-Street Parking Requirements and Reductions	15.310.410	A	<b>Required Off-Street Parking Spaces.</b>  1. <b>Minimum Parking Requirements.</b> The minimum parking spaces required are specified in SMC 15.455.120, Parking Chart for Required Off-Street Spaces. a. <b>Parking Reduction.</b> The number of required off-street parking spaces may be reduced for properties located within the Angle Lake Station Area Overlay District due to their proximity to a light rail station. Reductions shall be based on the submittal of a parking plan and as approved by the Director. The amount of reduction shall be based on the frequency of the transit service and shall be limited as follows: i. Residential – Thirty-five percent (35%) maximum; ii. Government, business services, manufacturing – Forty percent (40%) maximum; iii. Recreational and cultural, retail and commercial – Thirty percent (30%) maximum. 2. <b>Maximum Parking Requirements.</b> The maximum parking spaces allowed shall be determined by increasing the number of minimum parking spaces required in SMC 15.455.120, Parking Chart for Required Off-Street Spaces, by a maximum of ten percent (10%).	COMPLIANT WITH REDUCTIONS TAKEN
Off-Street Loading Requirements	15.310.420		<b>Off-street loading requirements</b> shall be provided pursuant to Chapter 15.455 SMC, Parking and Circulation.	
Bicycle Parking	15.310.430	A B C D	Bicycle parking shall be provided based on at least one (1) space for each ten (10) automobile parking spaces required. The location of bicycle racks and/or lockers shall be highly visible to building occupants and security personnel. Racks shall have provisions for using bicycle locks and shall be compatible with building and site design.  <b>Covered Spaces.</b> A minimum of fifty percent (50%) of required spaces shall be protected from rainfall by cover. <b>Bicycle Racks.</b> The rack(s) shall be securely anchored to the ground and provide a frame so a bicycle cannot be pushed or fall in a manner that may damage the wheels or components.	COMPLIANT
General Parking Design and Construction Standards	15.310.440		Parking design and construction requirements shall be provided pursuant to Chapter 15.455 SMC, Parking and Circulation.	
Structured Parking	15.310.460	A	<b>Parking Structure Design.</b> 1. The following parking structure design standards shall be in addition to or, in some cases, supersede applicable design standards in other sections in this chapter, and in Chapter 15.455 SMC, Parking and Circulation. 2. <b>Minimizing Views into the Parking Structure Interior.</b> a. For portions of parking structures without a ground floor retail, commercial, office, service or public use, a five (5) foot wide facade landscaping strip is required consisting of: i. A mix of evergreen shrub groupings spaced no more than four (4) feet apart that do not exceed a height of six (6) feet at maturity. b. Any portion of a parking structure ground floor with exposed parking areas adjacent to a public or private street shall screen and minimize views into the parking structure interior by incorporating architectural elements on the parking structure facade without compromising the open parking structure requirements of the Building Code. c. In addition to the above, minimize views into the upper floors of parking structures through one (1) or more of the following methods: i. High quality screening using architectural elements on the parking structure upper floor facades; and/or ii. Upper parking floors designed as a pattern of window-like openings on the parking structure facade.  <b>4. Parking Floors Located under or within Buildings.</b> a. Parking located under or within buildings shall subordinate the garage entrance to the pedestrian entrance in terms of prominence on the street, location and design emphasis. b. Parking at grade under a building shall be completely enclosed within the building or wholly screened through any combination of walls, decorative grilles, or trellis work with landscaping.	COMPLIANT
		B	<b>Ground Floor Uses in Parking Structures.</b> 1. <b>Front Facade.</b> A parking structure front facade shall be designed so that a minimum of one hundred percent (100%) of the length of the exterior ground floor facade(s), excluding vehicle entrances and exits, provides ground floor commercial space suitable for retail and commercial uses. a. <b>Minimum Depth.</b> The applicable ground floor area shall extend in depth a minimum of twenty (20) feet from the exterior parking structure facade; provided, that the minimum required may be averaged, with no depth less than fifteen (15) feet. b. <b>Minimum Ceiling Height.</b> The minimum clear interior ceiling height standard for the retail/commercial or service use portion of parking structures shall be thirteen (13) feet for all street level building space. c. <b>Fire Suppression.</b> Parking structure ground floors shall include fire suppressing sprinkler systems at the time of construction.	DEPARTURE REQUESTED - SEE SHEET G0.19
Landscaping Standards	15.310.500	A	In addition to the standards of this section and chapter, landscaping requirements shall be provided pursuant to Chapter 15.445 SMC, Landscaping and Tree Retention.	
Building Design	15.310.600		<b>SUMMARY TABLE: BUILDING DESIGN (Applies To: All development.)</b>  Minimum Building Height Ground Floor Transparency Transparency Design  Minimum Ground Floor Ceiling Height Minimum Ground Floor Building Depths Pedestrian Weather Protection  Pedestrian Weather Protection Dimensions  Building Entrances Facade Changes Treatment of Blank Walls Rooflines and Equipment	COMPLIANT COMPLIANT COMPLIANT  COMPLIANT  COMPLIANT  COMPLIANT
Ground Floor Uses in Mixed Use Projects	15.310.730	A	The following shall apply to vertically mixed use buildings, as well as structures in horizontal mixed use projects sited within the maximum front yard setback (see SMC 15.310.720, Definition of Mixed Use, for definitions of mixed use types):  <b>Minimum Ground Floor Use Requirements.</b> A minimum of fifty percent (50%) of the length of the exterior ground floor facing the street, excluding vehicle entrances, exits, and alleys, shall be designed to be occupied by a retail/commercial or service use on street frontages identified in Figure 15.310.730A.	N/A

		C	Design Requirements. 1. <b>Minimum Depth and Ceiling Heights.</b> See SMC 15.310.610(B), Minimum Depth and Ceiling Heights for Street Nonresidential Uses. 2. <b>Architecture and Entrances.</b> Pedestrian-level commercial uses in vertical mixed use projects shall be distinguished architecturally from attached residential units and shall utilize separate entrances where feasible.	COMPLIANT
		D	<b>Ground Floor Uses in Parking Structures.</b> For ground floor use requirements relative to parking structures, see SMC 15.310.460(B), Ground Floor Uses in Parking Structures.	SEE 15.310.460 ABOVE
Multi-Family Development Standards	15.310.740	A	Multi-family and residential mixed use development within the Angle Lake Station Area Overlay District shall meet the requirements of Chapter 15.510 SMC, Multi-Family Housing Design Standards.	
<b>Division IV. Citywide Development Standards, Regulations and Incentives</b> <b>Chapter 15.400 DIMENSIONAL STANDARDS AND REGULATIONS</b>				
Commercial, Industrial, Park Standards Chart	15.400.200		<b>Zone: CB-C</b>  MINIMUM LOT AREA MINIMUM AREA – DEVELOPMENT SITE MINIMUM LOT WIDTH MINIMUM FRONT YARD SETBACK  MAXIMUM FRONT YARD SETBACK  MINIMUM SIDE YARD SETBACK  MINIMUM REAR YARD SETBACK  MAXIMUM BUILDING LOT COVERAGE MAXIMUM IMPERVIOUS SURFACE MAXIMUM STRUCTURE HEIGHT	N/A N/A N/A 0' (Setback dimensions may change subject to landscape requirements. See SMC 15.445.010(C) in the landscaping chapter for applicable standards.) 10' (3) Setback dimensions may change subject to landscape requirements. See SMC 15.445.010(C) in the landscaping chapter for applicable standards. (3) Within the Angle Lake Station Area Overlay District, see SMC 15.310.210 for setback standards. N/A (Setback dimensions may change subject to landscape requirements. See SMC 15.445.010(C) in the landscaping chapter for applicable standards.) N/A (Setback dimensions may change subject to landscape requirements. See SMC 15.445.010(C) in the landscaping chapter for applicable standards.) 75% (See Residential/Commercial Density Incentives (Chapter 15.425 SMC).) N/A (2) Limited by FAA and Fire Department regulations.
Sight Distance Requirements	15.400.350	A B	Except for utility poles and traffic control signs, the following sight distance provisions shall apply at all intersections and site access points: A sight distance triangle as determined by subsection (B) of this section shall contain no fence, berm, vegetation, on-site vehicle parking area, signs or other physical obstruction between three and one half (3-1/2) feet and eight (8) feet above the existing street grade; The sight distance triangle (see Figure: REQUIRED SIGHT CLEARANCE) at: 1. <b>A street intersection</b> shall be determined by measuring fifteen (15) feet along both street lines beginning at their point of intersection. The third side of the triangle shall be a line connecting the endpoints of the first two (2) sides of the triangle; or 2. <b>A site access point</b> shall be determined by measuring fifteen (15) feet along the street lines and fifteen (15) feet along the edges of the driveway beginning at the respective points of the intersection. The third side of each triangle shall be a line connecting the endpoints of the first two (2) sides of each triangle.	COMPLIANT
<b>Chapter 15.430 ELECTRIC VEHICLE INFRASTRUCTURE</b>				
Definitions	15.430.015		<b>Electric Vehicle Charging Station</b> A public or private parking space that is served by battery charging station equipment that has as its primary purpose the transfer of electric energy (by conductive or inductive means) to a battery or other energy storage device in an electric vehicle. An electric vehicle charging station equipped with Level 1 or Level 2 charging equipment is permitted outright as an accessory use to any principal use.	
Electric Vehicle Charging Station Spaces	15.430.110	A	<b>Electric vehicle charging station spaces</b> shall be allowed to be used in the computation of required off-street parking spaces as provided under SMC 15.455.110; provided, that the electric vehicle charging station(s) is accessory to the primary use of the property.	
Off-Street Electric Vehicle Charging Station Spaces	15.430.120	A	<b>Number.</b> No minimum number of charging station spaces is required.	
		B	<b>Location and Design Criteria.</b> The provision of electric vehicle parking will vary based on the design and use of the primary parking lot. The following required and additional locational and design criteria are provided in recognition of the various parking lot layout options:	NOTED
Accessible Electric Vehicle Charging Stations	15.430.130		Where electric vehicle charging stations are provided in parking lots or parking garages, accessible electric vehicle charging stations shall be provided as follows:	
		A	Accessible electric vehicle charging stations shall be provided in the ratios shown on the following table. Number of EV Charging Stations 1 – 50	
		B	Accessible electric vehicle charging stations should be located in close proximity to the building or facility entrance and shall be connected to a barrier-free accessible route of travel. It is not necessary to designate the accessible electric vehicle charging station exclusively for the use of disabled persons.	
<b>Chapter 15.445 LANDSCAPING AND TREE RETENTION - Need LA to confirm compliance</b>				
Types of Landscaping	15.445.110	A B C D E	The five (5) types of landscaping are described and applied as follows:  Type I Landscaping. 1. Type I landscaping is a "full screen" which functions as a visual and psychological barrier. Full screening is intended generally for use adjacent to freeways and between uses with a high degree of incompatibility.  Type II Landscaping. 1. Type II landscaping is a "filtered screen" which functions as a visual separator. Filtered screening is intended for use between uses with some degree of incompatibility.  Type III Landscaping. 1. Type III landscaping is a "see-through buffer" which functions as a partial visual separator to soften the appearance of streets, parking areas and building elevations. See-through buffering is intended for use between streets and a land use, or between similar, compatible uses.  Type IV Landscaping. 1. Type IV landscaping is "parking area landscaping" which provides shade and visual relief, maintains clear sight lines, and allows for stormwater treatment and/or flow control within parking areas.  Type V Landscaping. 1. Type V is small-scale building facade landscaping which provides visual interest and a buffer between buildings and sidewalks or common areas.	

DATE 6/4/2025 1:16:48 PM



Landscaping Standards Chart		15.445.210		Land Use	Street Frontage (type/width)	BLDG facade if > 30' high or > 50' wide	Side/Rear yard	Side/Rear buffer for none compatible zones	Parking lot landscape standards applicable		
				Multifamily	III/10 ft.	V/5 ft.	III/5 ft.	I/10 ft.	yes	COMPLIANT	
				Hotel	III/10 ft.	V/5 ft.	III/5 ft.	I/20 ft.	yes		
Street Frontage Landscaping		15.445.220	A	On-site street frontage landscaping shall be installed on the subject (private) property and is separate from street landscaping as described in SMC Title 11, Streets, Sidewalks, and Public Thoroughfares.							
			B	<b>Combining Street Frontage and Street Landscaping in Right-of-Way.</b> On-site street frontage landscaping required under SMC 15.445.210 and right-of-way (ROW) street landscaping required under SMC Title 11 may be combined upon review and approval by the Director.							
			C	<b>Reducing Width of Street Frontage Landscaping.</b> The width of the street frontage landscaping may be reduced twenty-five percent (25%) if the area comprising the twenty-five percent (25%) is allocated to landscaping located adjacent to the street facing facade of the building(s) on a site. The landscaping shall be placed in a manner and consist of vegetation determined by the Director to provide equal or greater screening from the street. The twenty-five percent (25%) allocation is in addition to the required building facade landscaping.							COMPLIANT
Building Facade Landscaping		15.445.230	A	Groundcover shall be spaced a maximum of two (2) feet along building facades.							
			B	Conifers shall not be used for facade landscaping.							COMPLIANT
			C	Deciduous trees can be placed at thirty (30) foot centers for facade landscaping on buildings with continuous windows.							
Service Areas Screening and Placement: Garbage Dumpsters/Recycling Bins		15.445.300	A	All garbage dumpsters/recycling bins must be screened from view from adjacent streets and properties using dense vegetation and/or a fence.							
			B	Garbage dumpsters/recycling bins must conform to minimum setback requirements and must be determined to be accessible to sanitation trucks prior to approval of the dumpster/recycling bin location.							COMPLIANT
<b>Chapter 15.455 PARKING AND CIRCULATION</b>											
Off-Street Parking Requirements and Reductions		15.455.100		All properties shall conform to the parking requirements in this section. Additional or superseding parking regulations may apply in the designated overlay districts, and as required elsewhere in this title.							See Angle Lake chapter 15.310
Parking Chart for Required Off-Street Spaces		15.455.120		<b>RESIDENTIAL</b>							
				Mult-Family	Studio Unit: 1 per dwelling unit 1 Bedroom Unit: 1.5 per dwelling unit 2-3 Bedroom Unit: 2 per dwelling unit	These ratios may be reduced with proof of viable HCT linkage/vegetation pursuant to the determination of the Director. The overall ratio may not be lowered more than ten percent (10%).					SUPERSEDED BY ANGLE LAKE 15.310.410
				<b>RETAIL AND COMMERCIAL LODGING</b>							
				Hotel/Motel and Associated Uses	Basic Guest and Employee (no shuttle service): 0.9 per bedroom Basic Guest and Employee (with shuttle service): 0.75 per bedroom With restaurant/lounge/bar: 1 per 150 gsf With banquet/meeting room: 1 per 150 gsf Retail (15,000 gsf or less): 1 per 1,000 gsf Retail (greater than 15,000 gsf): 1.5 per 1,000 gsf					COMPLIANT	
Ride Share and Accessible Parking Requirements		15.455.130	B	<b>Accessible Parking Requirements.</b> Off-street parking and access for physically handicapped persons shall be provided in accordance with Section 7503 of the regulations adopted pursuant to Chapter 19.27 RCW, State Building Code, Chapter 70.92 RCW, Public Buildings – Provisions for Aged and Handicapped, and any subsequent amendments to SMC Title 13, Buildings and Construction.							COMPLIANT
Parking Reductions		15.455.140	A	<b>Transit Availability.</b> The Director may reduce the number of required off-street parking spaces when one (1) or more regularly scheduled high capacity public (or recognized private/public systems, i.e., Regional Personal Transit) transit routes serve the site. The amount of reduction shall be based on the frequency of the transit service and shall be limited as follows:  1. <b>Residential/commercial</b> – Thirty-five percent (35%) maximum – see the parking chart in SMC 15.455.120 for limits to the maximum reduction for some residential uses; 2. <b>Government/business/manufacturing</b> – Forty percent (40%) maximum; 3. <b>Recreation/culture/retail/wholesale/general service</b> – Thirty percent (30%) maximum.							SUPERSEDED BY ANGLE LAKE 15.310.410
Off-Street Loading Requirements		15.455.200	C	Every hotel, office building and restaurant shall provide a minimum of one (1) loading space; provided, any of these uses over fifty thousand (50,000) square feet shall provide two (2) loading spaces.							COMPLIANT
			D	Each loading space shall be a minimum of ten (10) feet wide, thirty (30) feet long, and have an unobstructed vertical clearance of fourteen (14) feet, six (6) inches. Loading spaces shall be located to prevent trucks from projecting into any public right-of-way, parking area, and parking aisle. All loading spaces shall be designated and located in the rear or side of the building and away from frontage roads.							COMPLIANT
Off-Street Parking Design Standards		15.455.410	A	<b>Angle Parking Spaces.</b> 1. <b>Parking spaces parallel to the driveway or aisle</b> serving them shall be a minimum of nine (9) feet wide and twenty-three (23) feet long. Driveways or aisles serving parallel spaces shall be a minimum of twelve (12) feet wide. 2. <b>Parking Space Dimensions</b> - 90 degree 8'-6" x 18' with 24' aisle width 3. <b>For ninety (90) degree angle parking spaces</b> , the drive aisle width (Column D above) may be reduced three (3) inches for each additional one (1) inch of parking stall width.  4. In determining the length of an off-street parking stall, overhangs from a wheel stop may be included. 5. When determining the minimum dimensional requirements for parking spaces oriented at an angle to the driveway or aisle serving them, the following figure shall be consulted. (see exhibit on the right)							COMPLIANT
			B	<b>Parking Area Landscaping.</b> All parking areas shall be landscaped as set forth in Chapter 15.445 SMC.							
			C	<b>Parking Area Lighting.</b> Lighting of parking areas shall be designed to minimize direct illumination of abutting properties and adjacent streets. Lighting shall be provided for safety of traffic and pedestrian circulation on the site as required by the City of SeaTac Building Code and as required elsewhere in the SeaTac Municipal Code.							
Driveway Entrances		15.455.420		Automobile access shall be consolidated with no more than one (1) driveway per one hundred fifty (150) linear feet of street frontage along principal arterials, and one hundred (100) linear feet on all other street frontages.							COMPLIANT
Structured Parking Standards		15.455.600		The following parking structure design standards shall apply to all parking structures except where standards in other chapters of this title supersede these provisions. Additional design standards may also be applicable, including those delineated for projects within the designated overlay districts and for multi-family projects.							SUPERSEDED BY ANGLE LAKE
Ground Floor Uses in Parking Structures		15.455.620	A	Parking structures shall be designed so that an area equaling a minimum of fifty percent (50%) of the length of the exterior ground floor facade(s), excluding vehicle entrances and exits, is either built out as, or convertible to, retail/commercial or service uses. The proposed location of the commercial area shall be approved by the Director.							SUPERSEDED BY 15.310.460
<b>Chapter 15.460 PERFORMANCE STANDARDS – GENERAL</b>											
Noise		15.460.020	B	Unusual noises, aside from the normal associated noises of the SeaTac Airport related to aircraft operations, emanating from the premises of residential or commercial use shall be muffled so as not to contribute to existing background noise, or become objectionable due to intermittent beat, frequency or shrillness, and shall not exceed those standards as determined by the Washington Administrative Code as amended.							NOTED
			C	Due to the proximity of the airport facilities, residential construction shall have sound attenuated or limited as consistent with adopted Port of Seattle/FAA noise remedy programs within significant LDN contours.							
Glare		15.460.030		Exterior lighting shall not be used in such a manner that it produces glare on public streets and neighboring property. This restriction also applies to any other nonresidential zone or use adjacent to residential low density zones. Arc welding, acetylene torch cutting or similar processes shall be performed so as to be shielded from any adjacent properties or public roads. The glare of the torch shall not extend beyond the property line of the use (residential, commercial or industrial) creating the glare.							COMPLAINT
Odorous Gases and Matter		15.460.060		The emission of odorous gases or matter in such quantities as to be readily detectable without special instruments is prohibited at any point beyond the property line of the use creating the odor.							NOTED
<b>Chapter 15.510 MULTI-FAMILY HOUSING DESIGN STANDARDS – APPLY TO THE APARTMENTS ONLY</b>											
		15.510.010	C	<b>Departures.</b> Departures from these standards may be allowed, to promote well-designed developments which may not strictly comply with the established standards. Proposed departures from these special standards are subject to the approval of the Director.							

			1. <b>Not Applicable.</b> A departure shall not be granted for height, setbacks, building lot coverage, maximum and minimum parking requirements, minimum lot area, density, lot width or land uses. 2. Departure Criteria. The applicant must show that the proposed development requesting a departure(s) meets all of the following criteria: a. The requested departure meets the intent of the applicable design standard. b. The requested departure will not have a detrimental effect on adjacent and nearby properties. c. The requested departure offers a significant improvement over what otherwise could have been built under the minimum design standards. d. The requested departure is part of an overall, thoughtful and comprehensive approach to the design of the project as a whole.											
Site Design and Building Orientation	15.510.100													
Building Orientation	15.510.110	A	<b>Building Orientation/Location of Primary Entrance.</b> The front facade of a building shall be oriented to the street abutting the front property line, with the primary entrance(s) located on the front facade and clear connections to the sidewalk.	COMPLIANT										
Building Placement/Setbacks	15.510.120		<b>Setbacks/Dimensional Standards.</b> Building setbacks and other dimensional standards for multi-family projects are located in the standards charts in SMC 15.400.100 and 15.400.200. Special standards for maximum front yard setbacks are also provided in the following sections: 2. <b>Maximum Front Yard Setbacks within Overlay Districts.</b> For maximum front yard setback standards for multi-family projects within the City Center, South 154th Street Station Area and Angle Lake Station Area overlay districts, see SMC 15.300.210, 15.305.210 and 15.310.210.											
Service Element Location and Design	15.510.140	A	Service elements shall be located and designed to minimize the negative visual, noise, odor and physical impacts to the street environment, adjacent uses, and on-site 1. <b>Garbage/Recycling Collection Areas.</b> All trash and recycling collection areas shall be enclosed on all sides and be screened around their perimeter by a wall or fence. a. <b>Location.</b> i. Garbage dumpsters/recycling collection areas must conform to the setback and other standards within SMC 15.445.300, Service Areas Screening and Placement: Garbage Dumpsters/Recycling Bins. ii. Garbage dumpsters/recycling collection areas shall not be located near children's play space or other recreation or gathering spaces. b. <b>Design.</b> i. The design of detached service enclosures shall be compatible with the design of the primary structure or structures on the site. ii. Garbage/recycling collection areas shall be paved. 2. <b>Mechanical Equipment and Utilities Apparatus.</b> Locate and screen mechanical equipment, utility meters, and other service utility apparatus to reduce visual impacts from streets, adjacent uses and on-site pedestrian and recreation areas.	COMPLIANT										
Exterior Lighting	15.510.150	A	<b>Location of Lighting.</b> Lighting standards shall be used to illuminate surfaces intended for pedestrians and vehicles, including building entries, pedestrian walkways, recreation space, common areas, access drives and parking lots. 1. <b>Pedestrian Walkways.</b> Exterior lighting shall be used to identify and distinguish the pedestrian walkway network from automobile circulation. a. Along pedestrian circulation corridors, lighting standards shall be placed between pedestrian ways and public and/or private streets, driveways or parking areas. b. Effective lighting for pedestrian areas and pathways shall be directed toward the ground. 2. <b>Building Entrances, Common Areas and Recreation Space.</b> Lighting shall be sited to provide visibility in common areas and building entrances, including mail kiosks, stairwells, parking garages, laundry rooms, exercise rooms, and outdoor common areas and recreation space.	COMPLIANT										
		B	<b>Lighting Height.</b> 1. <b>Vehicle Circulation and Parking.</b> Lighting standards used to illuminate surfaces intended for vehicles shall be no greater than sixteen (16) feet in height. 2. <b>Pedestrian Walkways, Building Entrances and Recreation and Common Areas.</b> Lighting standards used to illuminate surfaces intended for pedestrians shall include pedestrian scale elements a maximum of twelve (12) feet in height.	COMPLIANT										
		C	<b>Glare.</b> Light fixtures shall be sited and directed to minimize glare around residences and shall conform to the general performance standards in SMC 15.460.030.											
Pedestrian Circulation	15.510.200	A	<b>Pedestrian Circulation System.</b> All developments shall feature a fully integrated pedestrian circulation system that connects buildings, recreation space, and parking areas with the adjacent street sidewalk system. 1. <b>Separation from Parking and Vehicular Circulation.</b> Pedestrian circulation shall consist of sidewalks or designated pathways, raised or otherwise grade-separated from parking and vehicular circulation. a. <b>Pedestrian Entrances to Site.</b> Pedestrian entrances to the site from the street shall be clearly defined and designed so as to be separated from and more prominent than driveways and entrances to parking garages. b. <b>Crosswalks.</b> Where sidewalks or walkways cross vehicular driveways, provide a continuous raised crossing, or distinguish the crossing from the vehicle surface by marking with a contrasting paving material such as permeable pavement. 2. <b>Visibility/Security.</b> To the extent possible, pedestrian walkways shall be visible from buildings or parking lots, and shall be designed to avoid creating "dead ends" or isolated areas.	COMPLIANT										
		B	<b>Pedestrian Walkway Design.</b> 1. <b>Width.</b> Sidewalks and pedestrian walkways shall be a minimum of five (5) feet in width, clear of any vehicle overhangs. 2. <b>Differentiated Materials.</b> Walkways shall be differentiated from vehicle surfaces by utilizing contrasting materials including stamped concrete, or other paving materials (such as permeable pavement).	COMPLIANT										
Vehicular Access	15.510.310	A	<b>Vehicle Access.</b> Access to multi-family developments shall be from a major or minor arterial wherever possible.											
		B	<b>Driveway Entrances.</b> 1. <b>Consolidation of Entrances.</b> Automobile access to parcels shall be consolidated per SMC 15.455.420, Driveway Entrances. 2. <b>Drop-Off Areas.</b> Ensure that parking does not dominate the streetscape, while allowing drop-off areas for convenience and accessibility. Driveways serving front yard building entries shall be as approved by the Director, and may include a maximum of three (3) designated short-term parking spaces.	COMPLIANT										
Location of Parking	15.510.320	A	<b>Location of Surface Parking Lots.</b> No parking shall be located between a building and the front property line, other than a driveway for passenger loading and off-loading only in conformance with SMC 15.510.310(B)(2). Surface parking shall be located behind a building or to the side of a building. 1. <b>Parking Next to Building.</b> Parking located next to a building and within forty (40) feet of the front property line shall not occupy more than the width of two (2) lengthwise parallel parking stalls and one (1) travel lane. 2. <b>Parking in Rear Setback.</b> Parking may be located in the rear setback area when access is from an alley abutting the rear lot line. On corner lots, such parking may not extend into the portion of the setback area required as a front yard adjacent to the street.	COMPLIANT										
		B	<b>Parking on Corner Lots.</b> On corner lots, no parking shall be located between the building and either of the two (2) front property lines. If a parcel abuts more than two (2) public or private streets, no parking shall be located between the building and the front property line abutting the two (2) public and/or private streets with the highest classification.	COMPLIANT										
Design of Surface and Structured Parking	15.510.330	D	<b>Residential Mixed Use Parking.</b> Parking for residences on a mixed use site shall be clearly delineated and separate from parking for commercial uses.	COMPLIANT										
Structured Parking Design	15.510.350	A	<b>Vehicle Entrances in Parking Structures.</b> Parking located under or within buildings shall subordinate the garage entrance to the pedestrian entrance in terms of location and design.	COMPLIANT										
		B	<b>Minimizing Views into the Parking Structure Interior.</b> 1. <b>Screening.</b> Parking located at grade under a building shall be attractively screened through a combination of decorative grilles, or trelliswork. Screening shall provide for light, airflow, and natural surveillance into the structure, while limiting access. Since screening is intended to increase security by restricting access to the facility, the screening must be reasonably strong and durable to withstand vandalism and the elements.	COMPLIANT										
Minimum Recreation Space	15.510.410	A	<b>Application.</b> Each multi-family building or complex of five (5) or more units shall provide a minimum area of recreation space, as designated in this chapter.											
		B	<b>Minimum Area Required. Overlay Districts (City Center, S. 154th Street and Angle Lake Station Areas)</b> 60 square feet per unit											
		C	<b>Type of Recreation Space Required.</b> The minimum amount of required recreation space by type is as follows: <b>Overlay Districts (City Center, South 154th Street and Angle Lake Station Areas)</b> <table><tr><td>Outdoor Common Space</td><td>Minimum 75%</td></tr><tr><td>Play Areas</td><td>Optional</td></tr><tr><td>Outdoor Single-Purpose Space</td><td>Not counted</td></tr><tr><td>Indoor Common Space</td><td>Up to 25%</td></tr><tr><td>Private Balconies/Patios</td><td>Up to 25%</td></tr></table>	Outdoor Common Space	Minimum 75%	Play Areas	Optional	Outdoor Single-Purpose Space	Not counted	Indoor Common Space	Up to 25%	Private Balconies/Patios	Up to 25%	COMPLIANT
Outdoor Common Space	Minimum 75%													
Play Areas	Optional													
Outdoor Single-Purpose Space	Not counted													
Indoor Common Space	Up to 25%													
Private Balconies/Patios	Up to 25%													
		D	<b>Required Recreation Space in Phased Developments.</b> Multiple-family dwelling developments which are built in phases shall provide on-site recreation space for each phase or shall provide the total amount of recreation space required for the complete development in the first phase of construction.											



## RAINIER LANDING PHASE II

**CYMBALUK PROPERTIES  
LLC**

JURISDICTION STAMP

8192 REGISTERED ARCHITECT  
RADI BLAZEVIC  
STATE OF WASHINGTON

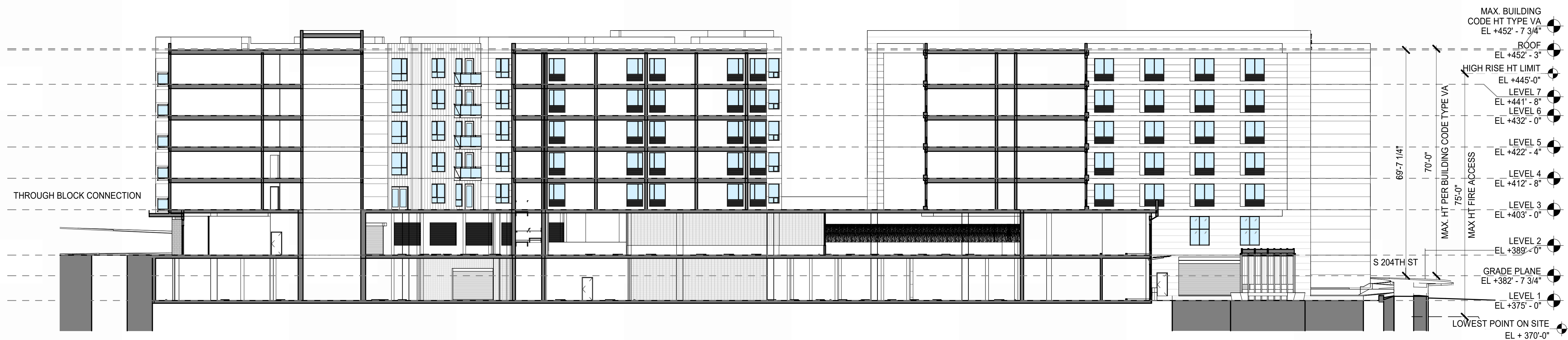
PROJECT NUMBER 24.3

SPR G0.14

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL

		Landscaping	SMC 15.310.500(B)(2) – (B)(3)	Surface parking lot landscaping requirements		
		Additional Requirements for Residential Mixed Use Projects in the Angle Lake Station Area				
		Open Space	SMC 15.310.300 – 15.310.320	Commercial (publicly accessible) open space requirements		
		Building Design	SMC 15.310.610 – 15.310.620	Required for nonresidential components: <ul style="list-style-type: none"><li>• Street level design</li><li>• Pedestrian building entries</li></ul>		
		Mixed Use Requirements	SMC 15.310.700 – 15.310.730	Mixed use requirements		
Chapter 15.520 MIXED USE DEVELOPMENT DESIGN STANDARDS (15.520.300 is superseded by Angle Lake requirement)						
Definition of Mixed Use	15.520.100	For the purposes of this chapter, mixed use refers to the combining of retail/commercial and/or service uses with residential or office use in the same building or on the same site in one (1) of the following ways: (Same three types as in Angle Lake Chapter)				
Ground Floor Uses in Mixed Use Projects	15.520.200	A	Ground Floor Use Requirements. A minimum of fifty percent (50%) of the length of the exterior ground floor facing the street(s), excluding vehicle entrances, exits, and alleys, shall be designed to be occupied by a retail/commercial or service use.		SUPERSEDED BY 15.310	
		B	Ground Floor Depth. The leasable ground floor area shall extend in depth a minimum of thirty (30) feet from the exterior building facade; provided, that the minimum required may be averaged, with no depth less than fifteen (15) feet.			
		D	Interior Ceiling Height. The minimum clear interior ceiling height standard for the retail/commercial or service use portion of mixed use buildings shall be a minimum ten (10) feet for all street level building space.		SUPERSEDED BY ANGLE LAKE REQUIREMENTS	
		E	Design Standards. 1. Pedestrian-Level Architecture. Pedestrian-level commercial uses in vertical mixed use projects shall be distinguished architecturally from attached residential units and shall utilize separate entrances where feasible. 2. Identity Signs. Ground floor businesses shall provide business identity signs that fit with the architectural character of the site and shall conform to all other applicable sign requirements identified in the SeaTac Municipal Code.			
Mixed Use in Residential Projects	15.520.300	In order to create a street environment that facilitates pedestrian activity and convenience, ground floor space in residential mixed use projects shall be used for pedestrian-oriented retail, service, or commercial uses such as those specified below, except within the designated City Center, Angle Lake Station Area, and S. 154th St. Station Area Overlay Districts.				Superseded by Angle Lake





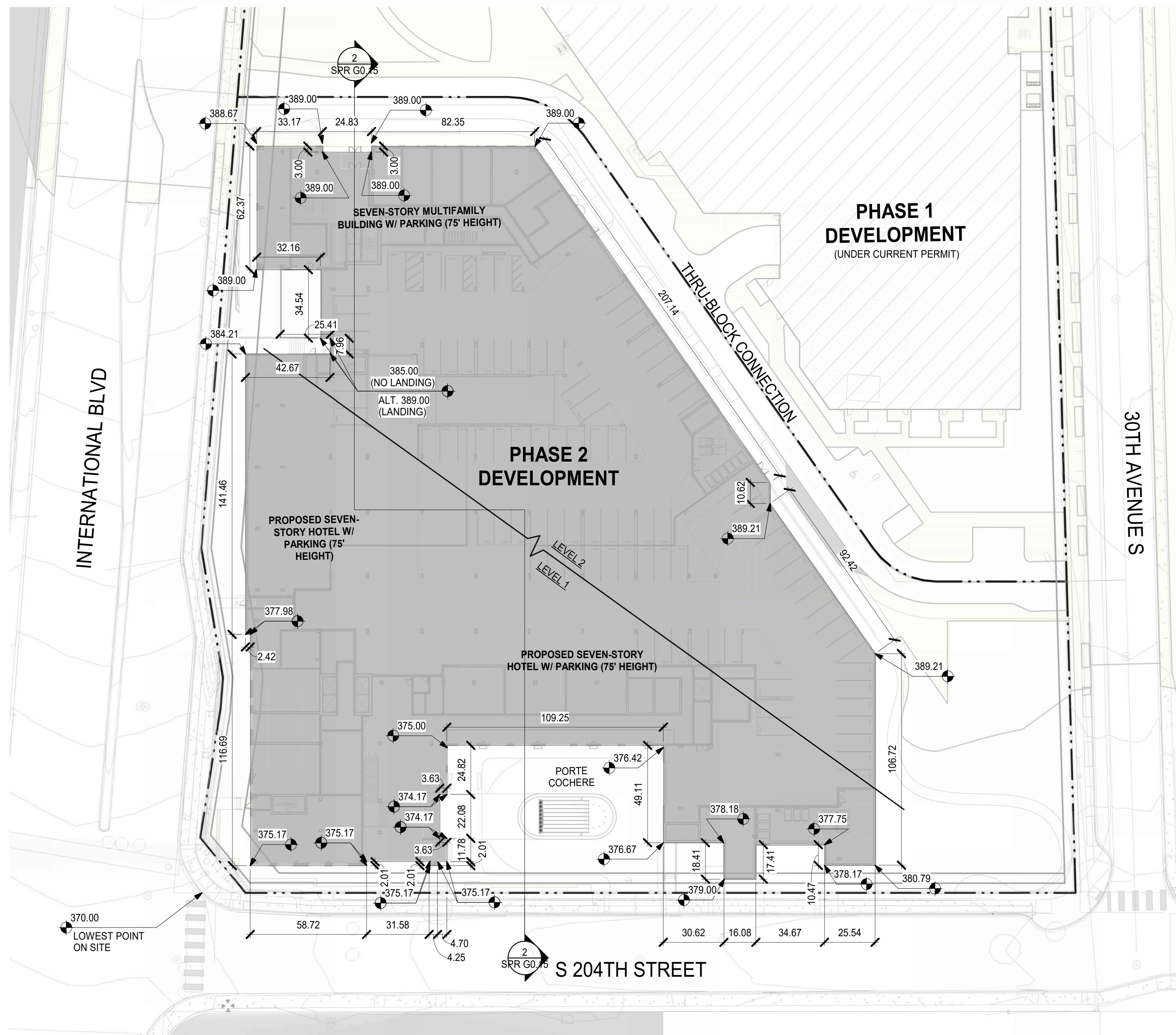
**BUILDING HEIGHT SECTION**  
SCALE: 1/16" = 1'-0"

2  
SPR G0.15

POINT A ELEVATION (FT)	POINT B ELEVATION (FT)	AVERAGE (A+B)/2	SEGMENT LENGTH	ELEVATION TOTAL (SEGMENT LENGTH X AVERAGE)
388.67	389	388.835	33.17	12897.657
389	389	389	3	1167
389	389	389	24.83	9658.87
389	389	389	3	1167
389	389	389	82.35	32034.15
389	389	389	207.14	80577.46
389	389.21	389.105	10.62	4132.2951
389.21	389.21	389.21	92.42	35970.7882
389.21	380.68	384.945	106.78	41104.4271
380.68	378.17	379.425	25.54	9650.5145
378.17	377.75	377.96	10.21	3858.9718
377.75	377.75	377.75	34.67	13096.5925
377.75	377.91	377.83	17.14	6476.0062
377.91	379	378.455	16.08	6085.5564
379	378.18	378.59	18.49	7000.1291
378.18	376.67	377.425	30.62	11556.7535
376.67	376.42	376.545	49.11	18492.125
376.42	375	375.71	109.25	41046.3175
375	374.17	374.585	24.82	9297.1997
374.17	374.17	374.17	3.63	1358.2371
374.17	374.17	374.17	22.08	8261.6736
374.17	374.17	374.17	3.63	1358.2371
374.17	375.17	374.67	11.78	4413.6126
375.17	375.17	375.17	4.7	1763.299
375.17	375.17	375.17	2.01	754.0917
375.17	375.17	375.17	4.25	1594.4725
375.17	375.17	375.17	2.01	754.0917
375.17	375.17	375.17	31.58	11847.8686
375.17	375.17	375.17	2.01	754.0917
375.17	375.17	375.17	58.72	22029.9824
375.17	377.98	376.575	116.69	43942.5368
377.98	377.98	377.98	2.42	914.7116
377.98	384.21	381.095	141.46	53909.6987
384.21	385	384.605	42.72	16430.3256
385	385	385	7.96	3064.6
385	385	385	5.03	1936.55
385	389.01	387.005	34.54	13367.1527
389.01	389	389.005	32.21	12529.8511
389	388.67	388.835	63.67	24757.1245
			1492.34	571952.022

Grade Plane 382.655442

**GRADE PLANE CALCULATIONS**



**GRADE PLANE CALCULATIONS MAP**

SCALE: 1" = 30'-0"



DATE 6/4/2025 1:17:37 PM



OPEN SPACE/RECREATION  
AREA CALCULATIONS

REQUIRED

PER SMC 15.310.310 - FIVE PERCENT (5%) OF NET  
SITE AREA SHALL BE SET ASIDE AS USABLE  
OUTDOOR OPEN SPACE ACCESSIBLE TO THE  
PUBLIC.

STIE AREA: 130,532 SF  
5% OF SITE AREA: 130,532 SF (5%) = 6,527 SF  
REQUIRED OPEN SPACE = 6,257 SF

PROVIDED = 29,726 SF > 6,257 SF - COMPLIANT

TOTAL PRIVATE RECREATION AREA: 5,244 SF  
TOTAL PUBLIC PLAZA: 16,366 SF  
TOTAL PUBLIC ADJ. SIDEWALK: 8,028 SF  
TOTAL OPEN SPACE PROVIDED: 29,434 SF

LEGEND

- PUBLIC OPEN SPACE
- PRIVATE OPEN SPACE

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME

RAINIER LANDING  
PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME

CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP

8192 REGISTERED  
ARCHITECT  
Boyd Blazie  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

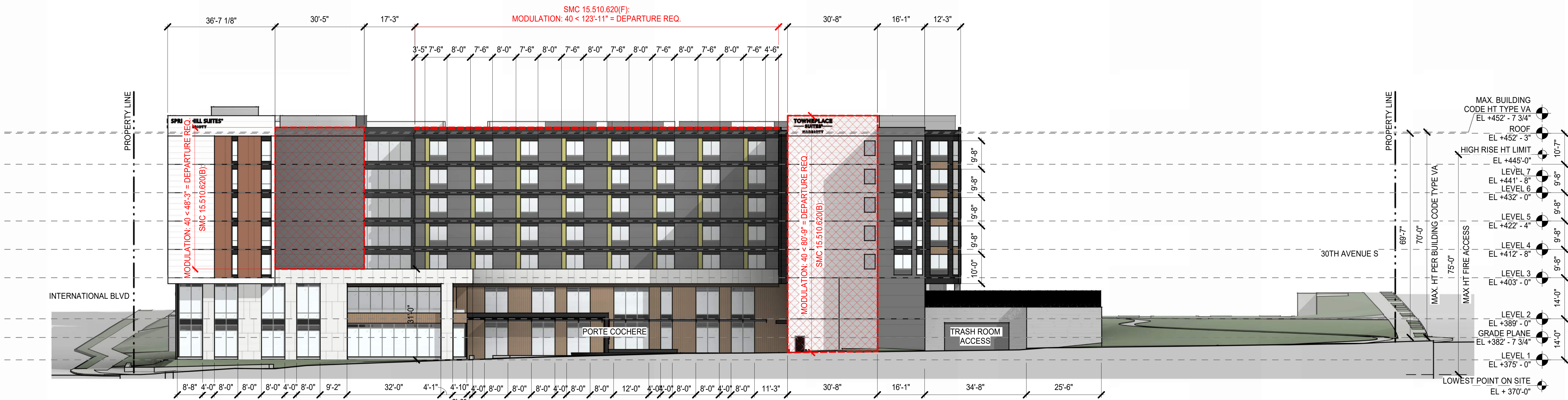
DESCRIPTION  
LAND USE ANALYSIS - OPEN  
SPACE

SHEET NUMBER

SPR G0.16

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.





**SOUTH ELEVATION - DEPARTURES**

SCALE: 1/16" = 1'-0"

**2**  
SPR G0.18



**WEST ELEVATION - DEPARTURES**

SCALE: 1/16" = 1'-0"

**1**  
SPR G0.18

**DEPARTURE 3 - SMC Development Standard(s): SMC 15.510.620(F) Rooflines**

**15.510.620 Character and Massing**

Intent: Reduce the apparent size of new buildings and create visual interest through architectural form and detailing. Architectural features and treatments shall not be restricted to a single facade.

- F. Rooflines. Rooflines shall be varied through two (2) or more of the following methods. The maximum roof length without a variation shall be forty (40) feet.
  1. Dormers. A projection from a sloping roof that contains a window.
  2. Roofline with Architectural Focal Point. A prominent rooftop feature such as a peak, tower, gable, dome, barrel vault or roofline trellis structure.
  3. Roofline Variation. The roofline articulated through a variation or step in roof height or detail, such as:
    - a. Projecting Cornice. Roofline articulated through a variation or step in cornice height or detail. Cornices must be located at or near the top of the wall or parapet.
    - b. Articulated Parapet. Roofline parapets shall incorporate angled, curved or stepped detail elements.
  4. Pitched Roof or Full Mansard. A roof with angled edges, with or without a defined ridgeline and extended eaves.
  5. Terraced Roof. A roofline incorporating setbacks for balconies, roof gardens, or patios.

**Departure Request:**

We are requesting a departure to allow portions of the roofline to extend beyond the standard maximum length of 40 feet.

**How the Project Design Better Meets the Standard:**

The project features a contemporary flat roof design enhanced by an variety of articulated parapets that differ in height and length. These parapets introduce rhythm and depth to the building, effectively breaking down the massing and creating a visually compelling roofline. Rather than relying on traditional pitched forms or dormers, the design employs modern architectural language to achieve the same intent - reducing perceived scale and adding visual interest.

**DEPARTURE 2 - SMC Development Standard(s): SMC 15.510.620(B) Vertical and Horizontal Variation**

**15.510.620 Character and Massing**

Intent: Reduce the apparent size of new buildings and create visual interest through architectural form and detailing. Architectural features and treatments shall not be restricted to a single facade.

- B. Vertical and Horizontal Variation Requirements. Buildings shall employ vertical and/or horizontal facade variation techniques. Vertical variation shall occur at intervals of no more than forty (40) feet.
  1. Methods of Variation. Three (3) or more of the following methods of facade variation shall be used such that the combination of features projects a residential character:
    - a. Vertical Modulation: Projecting/Recessing Facade Elements. Building modulations shall be a minimum of two (2) feet in depth and two (2) feet in width and may include architectural features such as setbacks, indentations, projections, bays, or awnings.
    - b. Window/Entry/Porch Elements. Provision of a balcony, bay window, porch, patio, deck, or clearly defined entry for each vertical variation interval.
    - c. Light Fixture/Landscaping Elements. Provision of a lighting fixture, trellis, prominent ornamental tree or other landscape feature within each vertical variation interval.
    - d. Material Variations. Use of material variations such as contrasting colors, brick or metal banding, or textural changes within each vertical variation interval.
    - e. Horizontal Facade Changes. Design techniques that differentiate the ground floor from upper floors such as:
      - i. Stepping back the upper floors from the ground floor building facade;
      - ii. Changing materials between the building base, middle and top floors;
      - iii. Including a continuous cornice line or pedestrian weather protection element between the ground floor and upper floors.

**Departure Request:**

We are requesting a departure from the requirement that vertical and horizontal modulation of the building occurs at intervals no greater than 40 feet.

**How the Project Design Better Meets the Standard:**

The design exceeds the 40 foot modulation intervals to emphasize the building's proportions and support a more elegant and contemporary architectural expression. To maintain visual interest and reduce perceived scale, the facade incorporates a range of strategies - including window articulation, material variation, and balconies that work together to break up the massing and create a dynamic street presence.

DESIGN PROFESSIONAL STAMP

8192 REGISTERED ARCHITECT  
B. J. BLAZER  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

05/30/25 SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

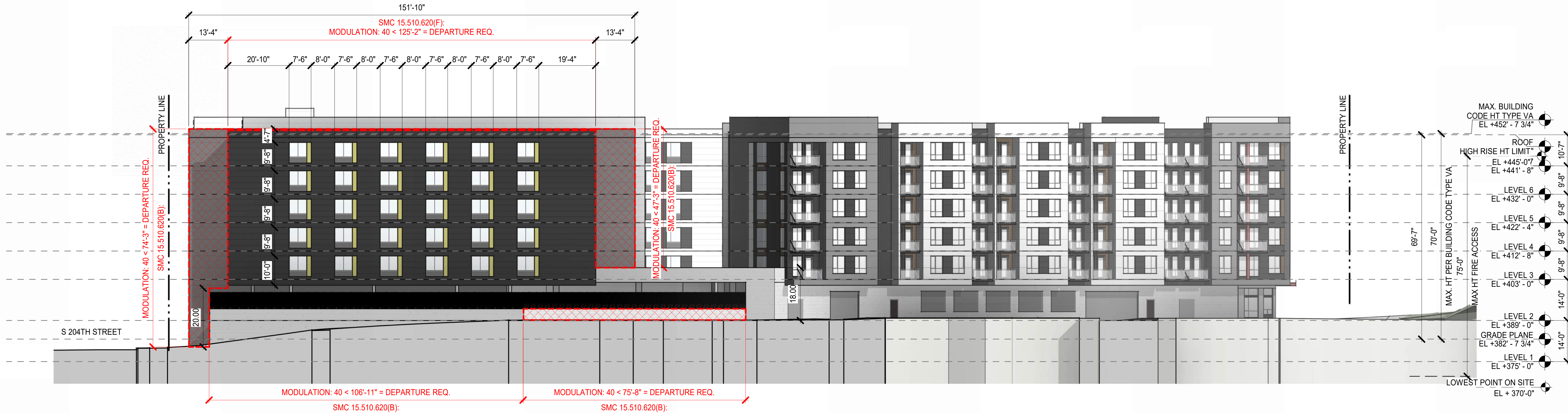
DESCRIPTION  
ZONING CODE ANALYSIS -  
DEPARTURES

SHEET NUMBER

**SPR G0.18**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.





## EAST ELEVATION - DEPARTURES

SCALE: 1/16" = 1'-0"

1  
SPR G0.0



## NORTHEAST ELEVATION - DEPARTURES

SCALE: 1/16" = 1'-0"

2  
SPR G0.0

### DEPARTURE 1 - SMC Development Standard(s): SMC 15.310.460 Structured Parking:

#### SMC 15.310.460.B Ground Floor Uses in Parking Structures:

- Front facade.** A parking structure front facade shall be designed so that a minimum of one hundred (100%) of the length of the exterior ground floor facade(s), excluding vehicle entrances and exits, provides ground floor commercial spaces suitable for retail and commercial uses.
  - Minimum Depth.** The applicable ground floor area shall extend in depth a minimum of twenty (20) feet from the exterior parking structure facade; provided, that the minimum required may be averaged, with no depth less than fifteen (15) feet.
  - Minimum Ceiling Height.** The minimum clear interior ceiling height standard for the retail/commercial or service use portion of the parking structures shall be thirteen (13) feet for all street level building space.
  - Fire Suppression.** Parking structure ground floors shall include fire suppressing sprinkler systems at the time of construction.

#### Departure Request:

For commercial uses, we are requesting a departure for the minimum clear interior ceiling height. While the design has accommodates a nominal thirteen (13) foot clear height, necessary structural and MEP systems will slightly encroach into this space, resulting in a reduced clear height.

#### How the Project Design Better Meets the Standard:

Granting this departure allows the project to add an additional residential level without significantly compromising the quality or functionality of the ground floor commercial space. The proposed commercial spaces maintain an average ceiling height close to the required 13 feet and continue to provide street level activation. This design approach supports housing goals while still meeting the intent of the standard - to create vibrant, pedestrian oriented ground floor uses.

### DEPARTURE 2 - SMC Development Standard(s): SMC 15.510.620(B) Vertical and Horizontal Variation

#### 15.510.620 Character and Massing

**Intent:** Reduce the apparent size of new buildings and create visual interest through architectural form and detailing. Architectural features and treatments shall not be restricted to a single facade.

**B. Vertical and Horizontal Variation Requirements.** Buildings shall employ vertical and/or horizontal facade variation techniques. Vertical variation shall occur at intervals of no more than forty (40) feet.

**1. Methods of Variation.** Three (3) or more of the following methods of facade variation shall be used such that the combination of features projects a residential character:

- Vertical Modulation:** Projecting/Recessing Facade Elements. Building modulations shall be a minimum of two (2) feet in depth and two (2) feet in width and may include architectural features such as setbacks, indentations, projections, bays, or awnings.
- Window/Entry/Porch Elements.** Provision of a balcony, bay window, porch, patio, deck, or clearly defined entry for each vertical variation interval.
- Light Fixture/Landscaping Elements.** Provision of a lighting fixture, trellis, prominent ornamental tree or other landscape feature within each vertical variation interval.
- Material Variations.** Use of material variations such as contrasting colors, brick or metal banding, or textural changes within each vertical variation interval.
- Horizontal Facade Changes.** Design techniques that differentiate the ground floor from upper floors such as:
  - Stepping back the upper floors from the ground floor building facade;
  - Changing materials between the building base, middle and top floors;
  - Including a continuous cornice line or pedestrian weather protection element between the ground floor and upper floors.

#### Departure Request:

We are requesting a departure from the requirement that vertical and horizontal modulation of the building occurs at intervals no greater than 40 feet.

#### How the Project Design Better Meets the Standard:

The design exceeds the 40 foot modulation intervals to emphasize the building's proportions and support a more elegant and contemporary architectural expression. To maintain visual interest and reduce perceived scale, the facade incorporates a range of strategies - including window articulation, material variation, and balconies that work together to break up the massing and create a dynamic street presence.



## NORTH ELEVATION - DEPARTURES

SCALE: 1/16" = 1'-0"

3  
SPR G0.0

### DEPARTURE 3 - SMC Development Standard(s): SMC 15.510.620(F) Rooflines

#### 15.510.620 Character and Massing

**Intent:** Reduce the apparent size of new buildings and create visual interest through architectural form and detailing. Architectural features and treatments shall not be restricted to a single facade.

**F. Rooflines.** Rooflines shall be varied through two (2) or more of the following methods. The maximum roof length without a variation shall be forty (40) feet.

- Dormers.** A projection from a sloping roof that contains a window.
- Roofline with Architectural Focal Point.** A prominent rooftop feature such as a peak, tower, gable, dome, barrel vault or roofline trellis structure.
- Roofline Variation.** The roofline articulated through a variation or step in roof height or detail, such as:
  - Projecting Cornice.** Roofline articulated through a variation or step in cornice height or detail. Cornices must be located at or near the top of the wall or parapet.
  - Articulated Parapet.** Roofline parapets shall incorporate angled, curved or stepped detail elements.
- Pitched Roof or Full Mansard.** A roof with angled edges, with or without a defined ridgeline and extended eaves.
- Terraced Roof.** A roofline incorporating setbacks for balconies, roof gardens, or patios.

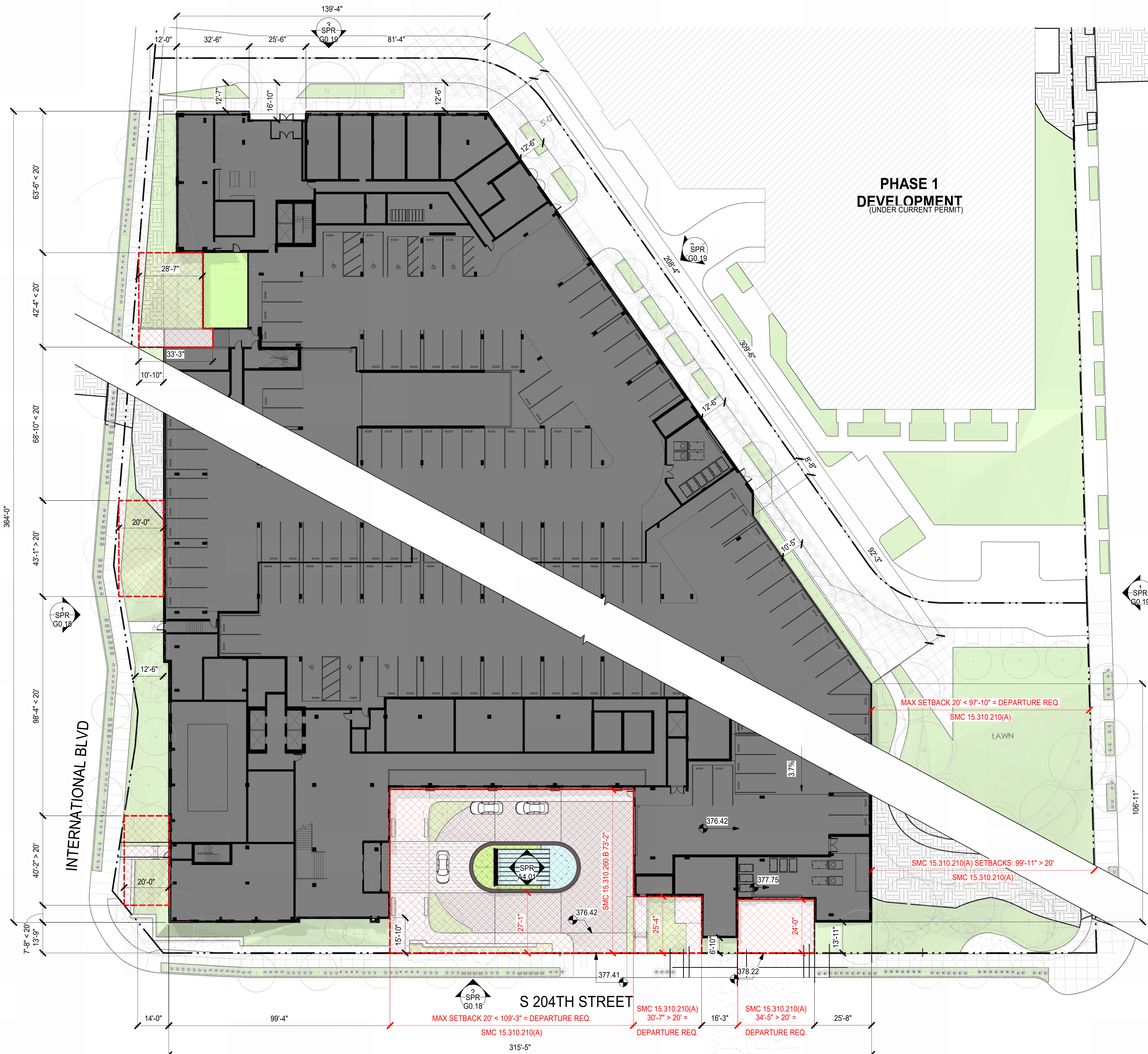
#### Departure Request:

We are requesting a departure to allow portions of the roofline to extend beyond the standard maximum length of 40 feet.

#### How the Project Design Better Meets the Standard:

The project features a contemporary flat roof design enhanced by a variety of articulated parapets that differ in height and length. These parapets introduce rhythm and depth to the building, effectively breaking down the massing and creating a visually compelling roofline. Rather than relying on traditional pitched forms or dormers, the design employs modern architectural language to achieve the same intent - reducing perceived scale and adding visual interest.

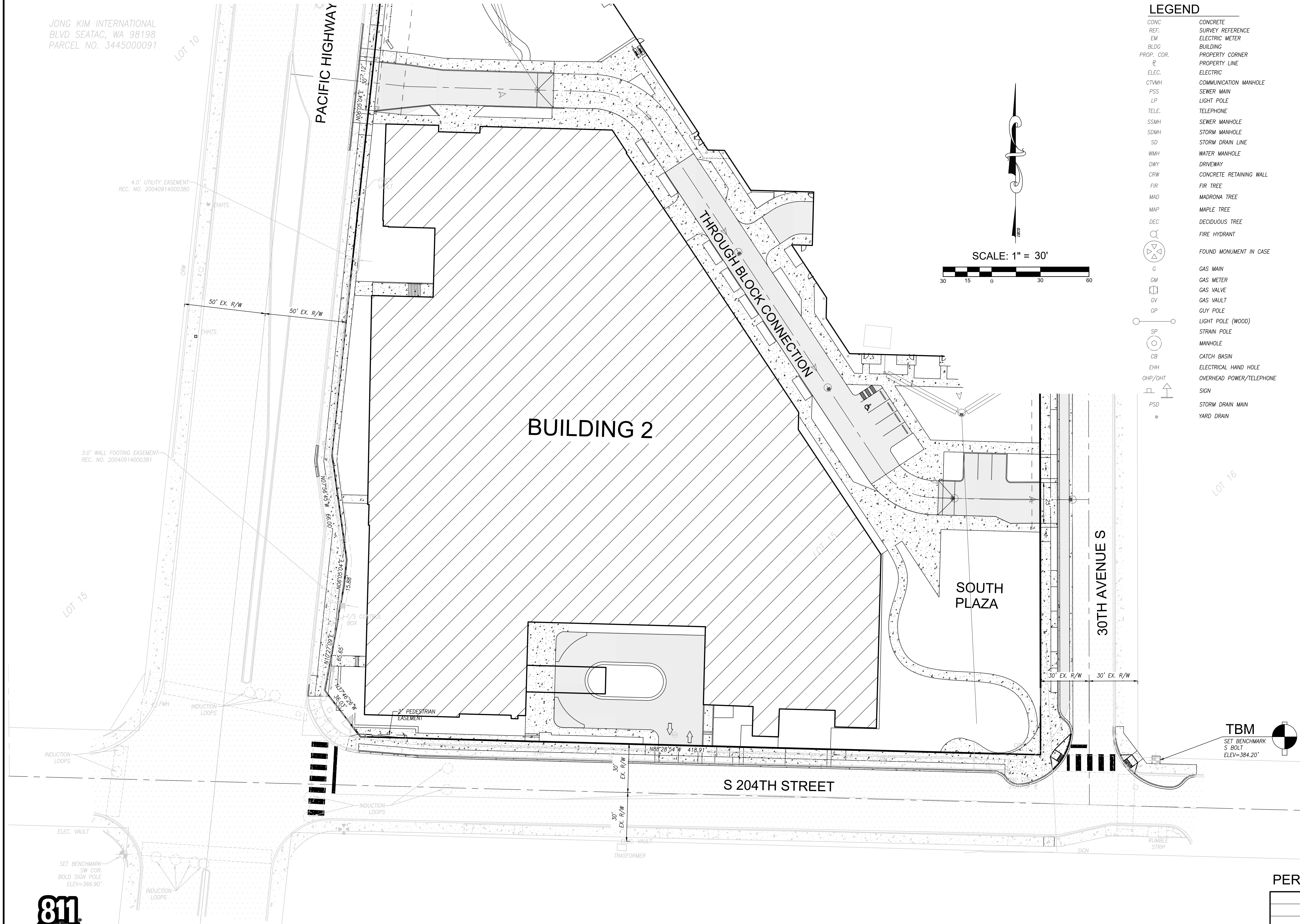






SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON

JONG KIM INTERNATIONAL  
BLVD SEATAC, WA 98198  
PARCEL NO. 3445000091

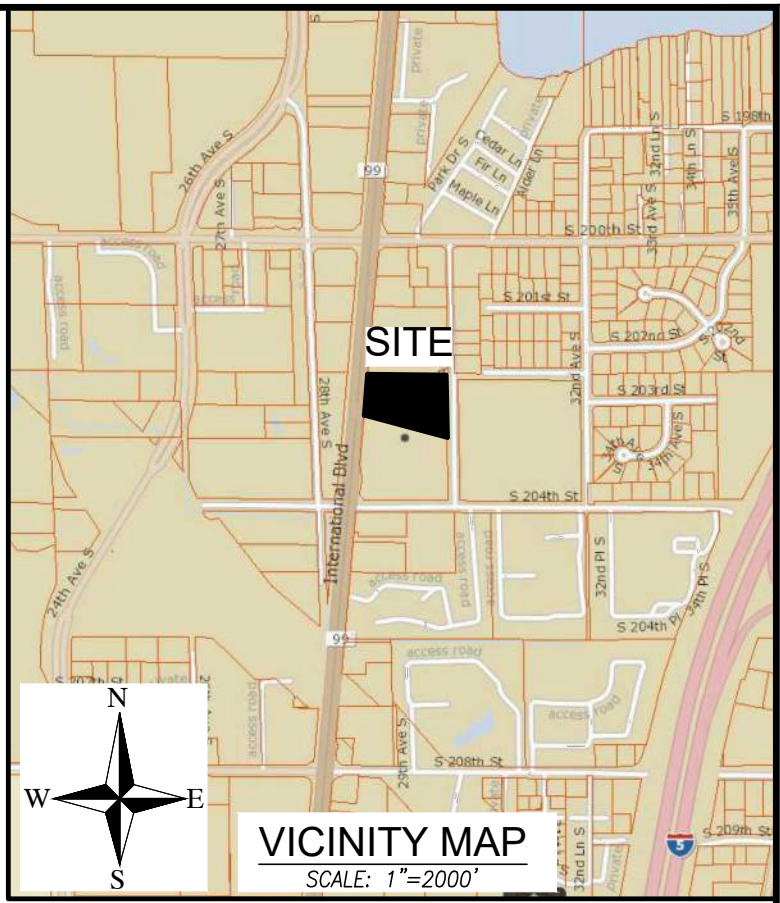


LEGEND

CONC	CONCRETE
REF.	SURVEY REFERENCE
EM	ELECTRIC METER
BLDG.	BUILDING
PROP. COR.	PROPERTY CORNER
R	PROPERTY LINE
ELEC.	ELECTRIC
CTVMH	COMMUNICATION MANHOLE
PSS	SEWER MAIN
LP	LIGHT POLE
TELE.	TELEPHONE
SSMH	SEWER MANHOLE
SDMH	STORM MANHOLE
SD	STORM DRAIN LINE
WMH	WATER MANHOLE
DWY	DRIVEWAY
CRW	CONCRETE RETAINING WALL
FIR	FIR TREE
MAD	MADRONA TREE
MAP	MAPLE TREE
DEC	DECIDUOUS TREE
	FIRE HYDRANT
	FOUND MONUMENT IN CASE
G	GAS MAIN
GM	GAS METER
GV	GAS VALVE
GP	GUY POLE
	LIGHT POLE (WOOD)
SP	STRAIN POLE
CB	MANHOLE
CBH	CATCH BASIN
OHP/OHT	ELECTRICAL HAND HOLE
PSD	OVERHEAD POWER/TELEPHONE
	SIGN
	STORM DRAIN MAIN
	YARD DRAIN

TCD	TELEPHONE CONDUIT
TD	TELEPHONE DUCT
ECD	ELECTRICAL CONDUIT
ED	ELECTRICAL DUCT
TMH	TELEPHONE MANHOLE
EMH	ELECTRIC MANHOLE
(R)	UTILITY BY RECORD
(P)	UTILITY BY PAINT
W	WATER MAIN
WM	WATER METER
	WATER VALVE
	CONCRETE HATCH

	BICYCLE SHARROW
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED STORM DRAINAGE
	PROPERTY LINE
X X	EXISTING FENCE LINE
	EDGE OF PAVEMENT
XXX	EXISTING CONTOURS
	PROPOSED CONTOURS
	PRE-EXISTING DRAINAGE PATTERN
	PROPOSED BUILDING FOOTPRINT
	PROPOSED ASPHALT PAVING
	PROPOSED LANDSCAPE HATCH
	PROPOSED CONCRETE HATCH
	PROPOSED STREET LIGHT
	PROPOSED PEDESTRIAN LIGHT POLES



EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

ENGINEER

INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

SURVEYOR

NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682  
EMAIL: INFO@NORTHPEAKASSOCIATES.COM

APPLICANT / OWNERS

CYMBALUK PROPERTIES, LLC  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

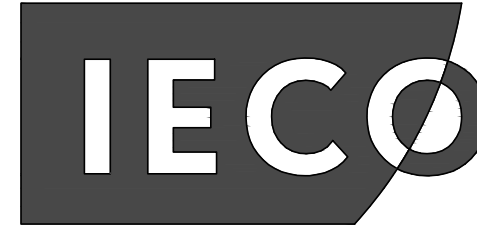
CHARLES MORGAN & ASSOCIATES, LLC  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



INSIGHT ENGINEERING CO.  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198  
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

RAINIER LANDING PHASE II

DWG FILENAME: 221230-BLDG-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=50' JOB NO.: 22-1230

COVER SHEET

SHEET  
C1.0



UTILITY CONFLICT NOTE:

**CAUTION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION,  
DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE  
PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL  
AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE  
CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING  
UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY  
WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN  
ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND  
ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR  
SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL  
PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

RAINIER LANDING PHASE II

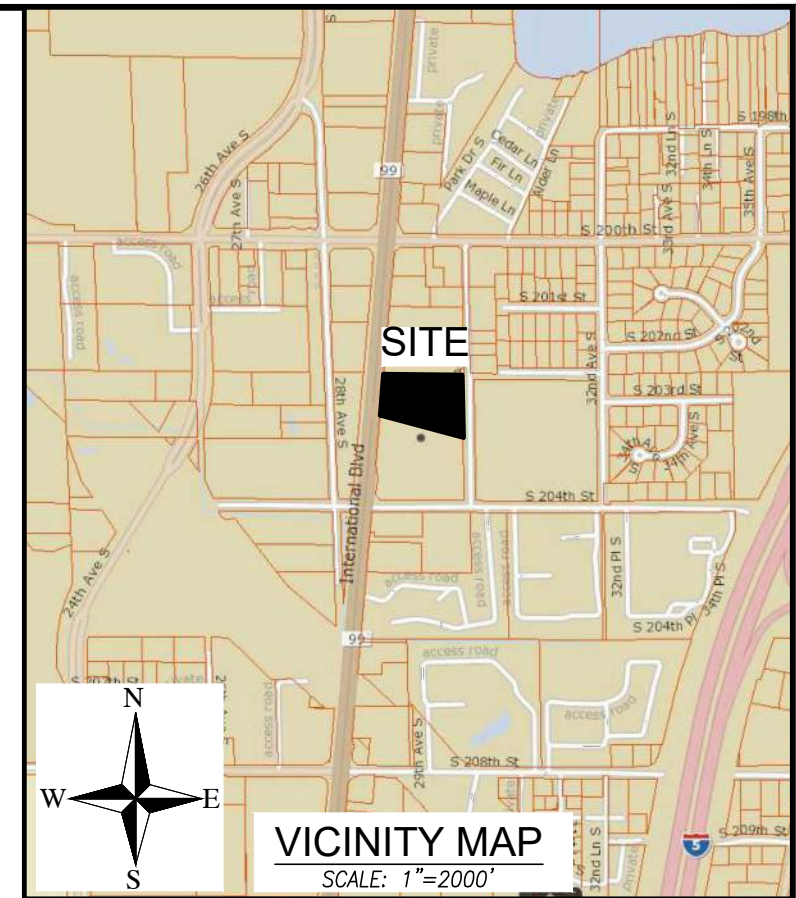
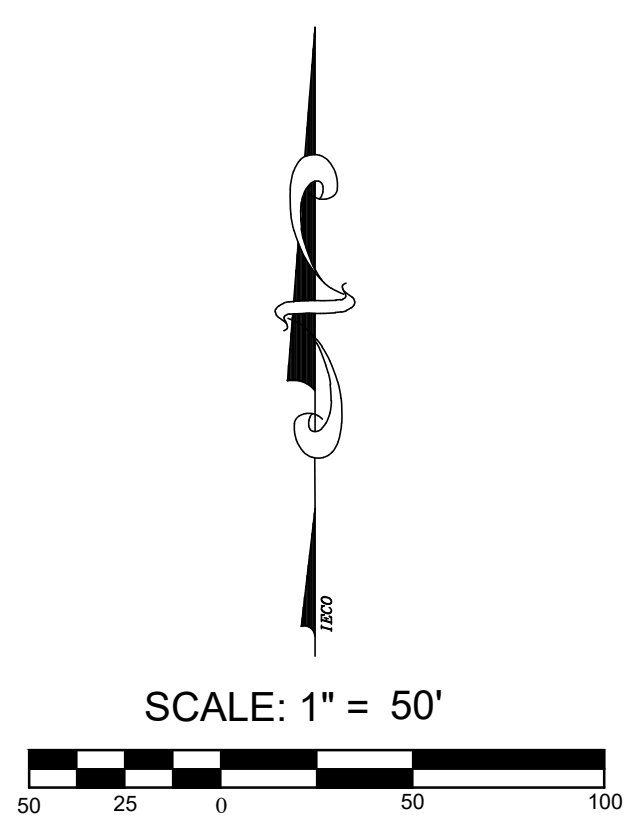
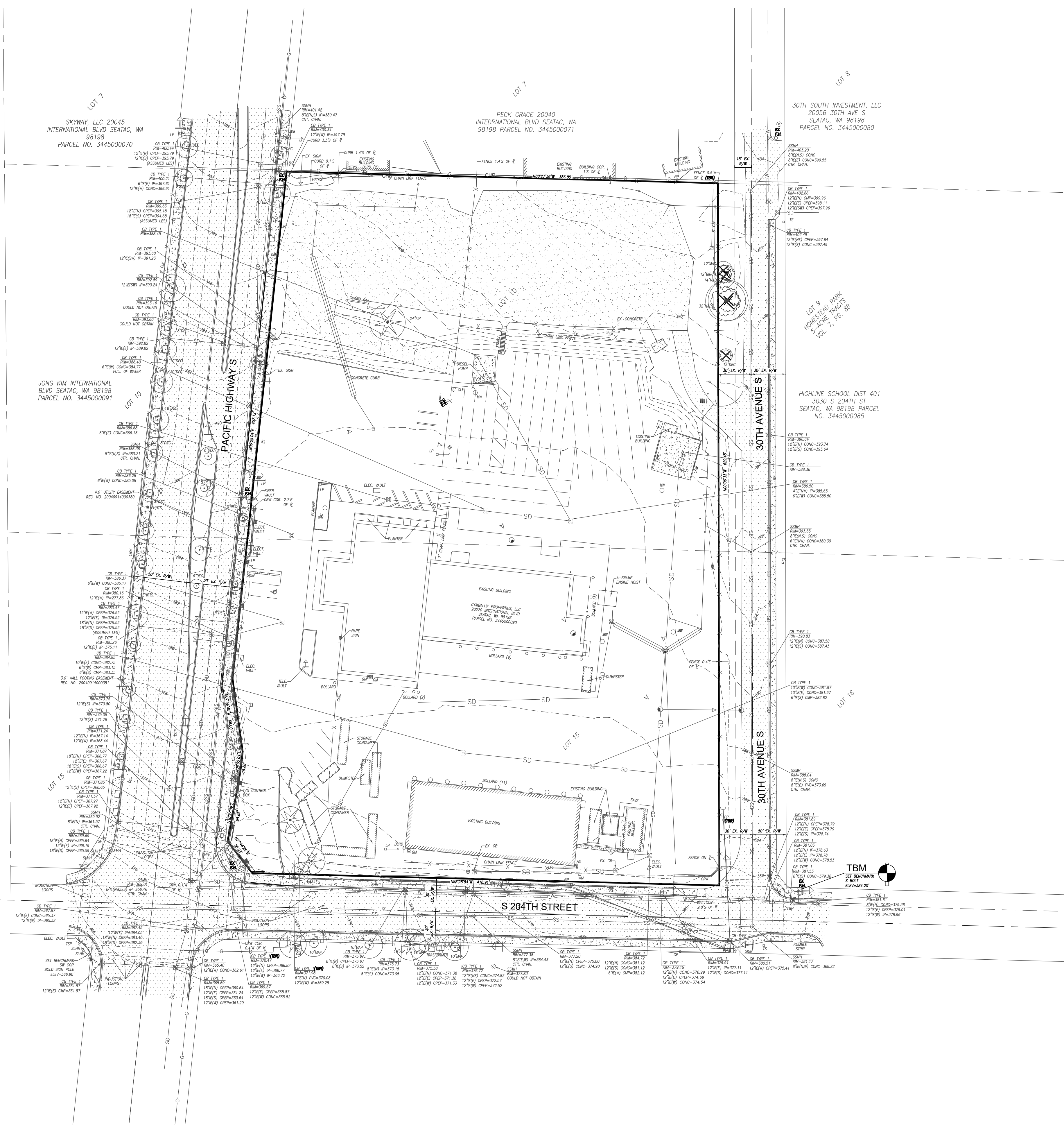
PERMIT # \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE





SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



- LEGEND**
- |            |                          |
|------------|--------------------------|
| CONC       | CONCRETE                 |
| REF.       | SURVEY REFERENCE         |
| EM         | ELECTRIC METER           |
| BLDG       | BUILDING                 |
| PROP. COR. | PROPERTY CORNER          |
| P          | PROPERTY LINE            |
| ELEC.      | ELECTRIC                 |
| CTWH       | COMMUNICATION MANHOLE    |
| PSS        | SEWER MAIN               |
| LP         | LIGHT POLE               |
| TELE.      | TELEPHONE                |
| SSMH       | SEWER MANHOLE            |
| SDMH       | STORM MANHOLE            |
| SD         | STORM DRAIN LINE         |
| WMH        | WATER MANHOLE            |
| DRWY       | DRIVEWAY                 |
| CRW        | CONCRETE RETAINING WALL  |
| FIR        | FIR TREE                 |
| MAD        | MADRONA TREE             |
| MAP        | MAPLE TREE               |
| DEC        | DECIDUOUS TREE           |
| FI         | FIRE HYDRANT             |
| FM         | FOUND MONUMENT IN CASE   |
| G          | GAS MAIN                 |
| GM         | GAS METER                |
| GV         | GAS VALVE                |
| GP         | GAS VAULT                |
| GP         | GUY POLE                 |
| SP         | LIGHT POLE (WOOD)        |
| CB         | STRAIN POLE              |
| EH         | MANHOLE                  |
| OHP/OHT    | CATCH BASIN              |
| PSD        | ELECTRICAL HAND HOLE     |
| TCD        | OVERHEAD POWER/TELEPHONE |
| TD         | SIGN                     |
| ECD        | STORM DRAIN MAIN         |
| ED         | TELEPHONE CONDUIT        |
| TMH        | TELEPHONE DUCT           |
| EMH        | ELECTRIC MANHOLE         |
| (R)        | UTILITY BY RECORD        |
| (P)        | UTILITY BY PAINT         |
| W          | WATER MAIN               |
| WM         | WATER METER              |
| WV         | WATER VALVE              |
| CH         | CONCRETE HATCH           |
| BS         | BICYCLE SHARROW          |

**EQUIPMENT AND PROCEDURE**

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURNED  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

**DATUM:**  
NAVD 88

**ENGINEER**  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
NORTH PEAK ASSOCIATES, LLC  
12270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682  
EMAIL: INFO@NORTHPEAKASSOCIATES.COM

**APPLICANT / OWNERS**  
CYMBALUK PROPERTIES, LLC  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

**ARCHITECT / CONTACT**  
CHARLES MORGAN & ASSOCIATES, LLC  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

**LEGAL DESCRIPTION**

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 20142205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

**SITE ADDRESS:** 20220 INTERNATIONAL BLVD SEATAC, WA 98198

**TAX ACCOUNT NO.'S:** 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

**RAINIER LANDING PHASE II**

DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-BLDG-SEPA.DWG	SPC	05-15-2025	1"=50'	22-1230
TOPOGRAPHIC SURVEY				SHEET C1.1



Know what's below.  
Call before you dig.

**UTILITY CONFLICT NOTE:**

**CAUTION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE 811-800-424-5555 POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSEINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

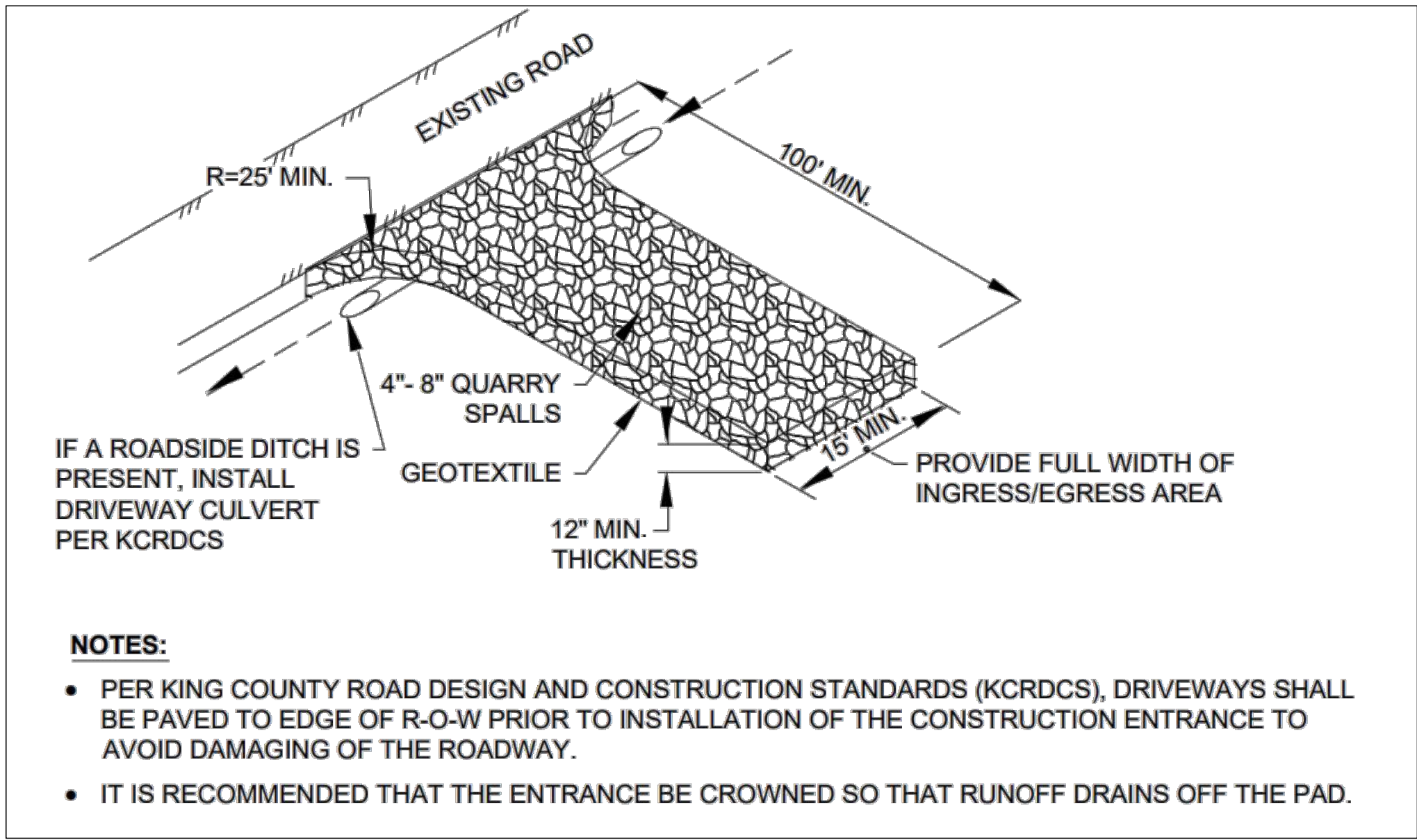
# RAINIER LANDING PHASE II



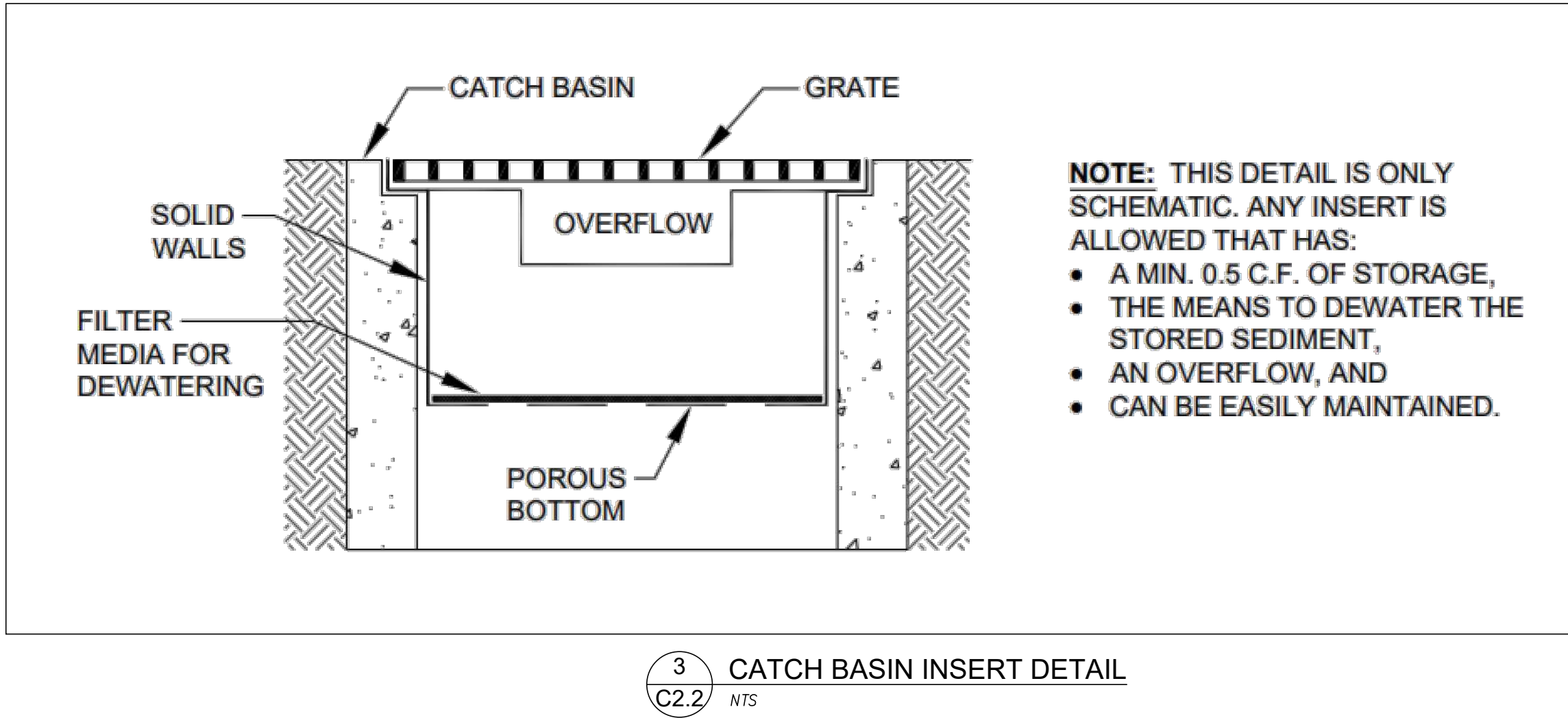




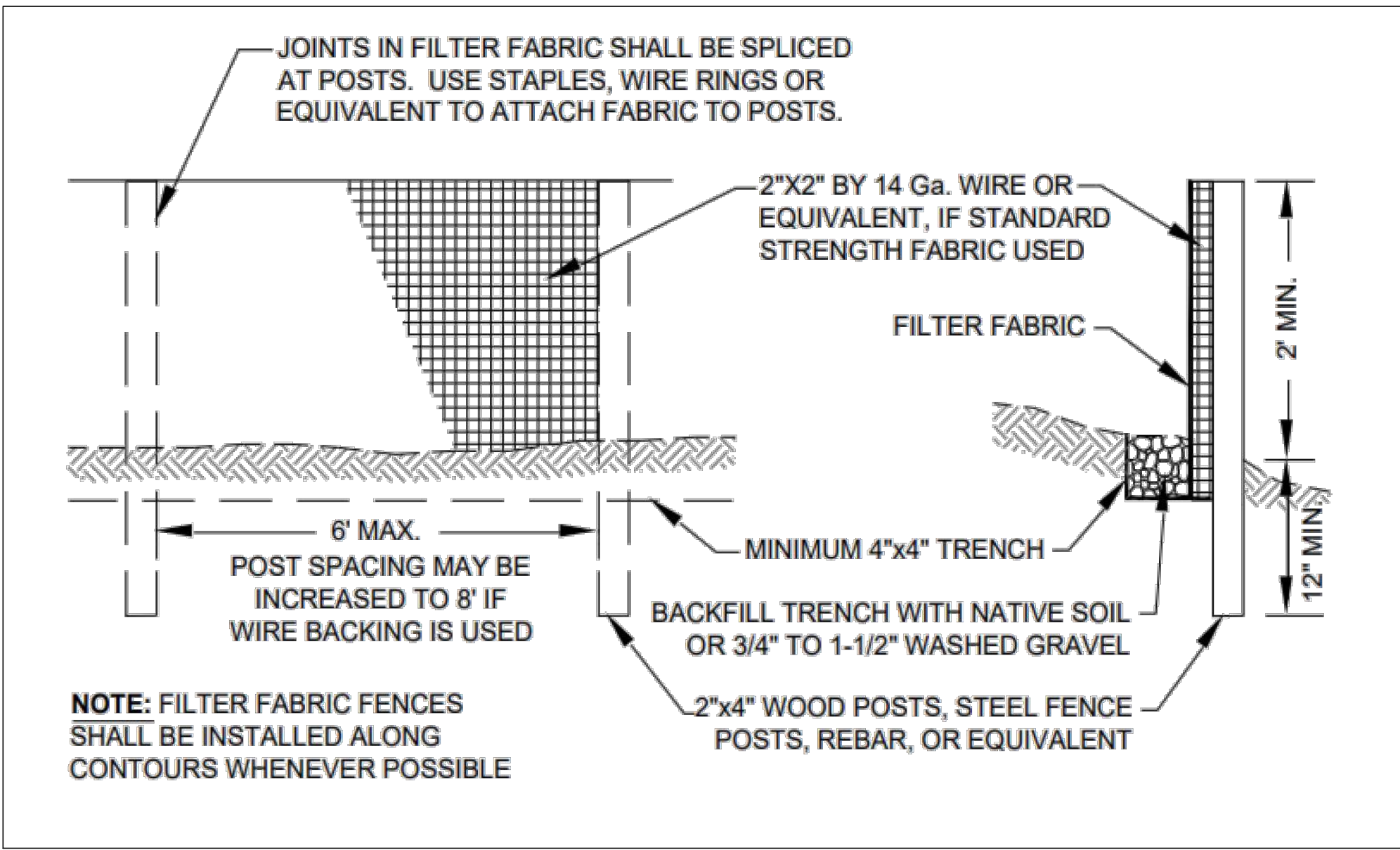
SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



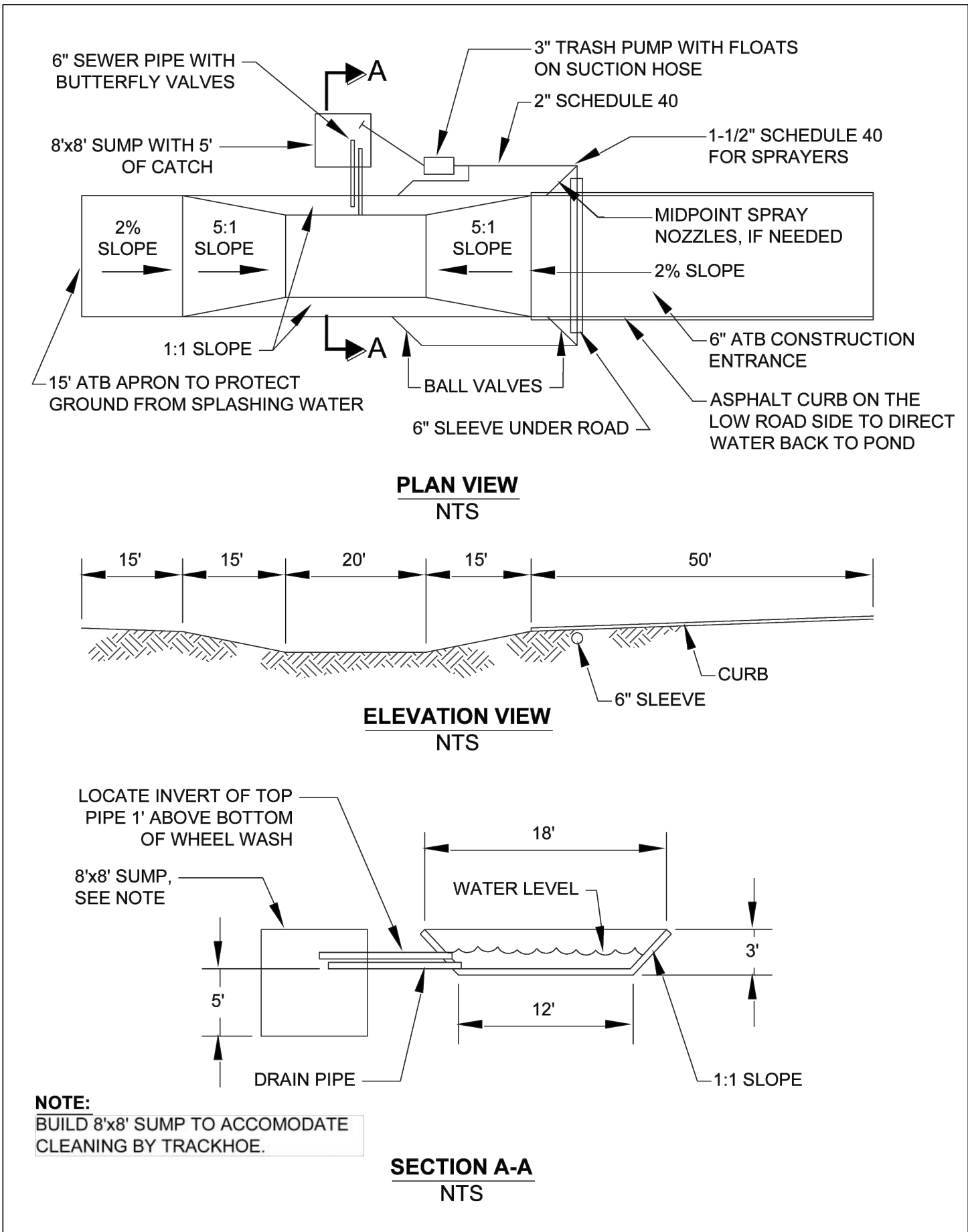
1  
C2.2  
NTS  
CONSTRUCTION ENTRANCE DETAIL



3  
C2.2  
NTS  
CATCH BASIN INSERT DETAIL



2  
C2.2  
NTS  
SILT FENCE DETAIL



4  
C2.2  
NTS  
WHEEL WASH DETAIL

EROSION AND SEDIMENT CONTROL NOTES

- THE APPROVED STORMWATER EROSION AND SEDIMENT CONTROL/POLLUTION PREVENTION PLAN (ESC/SWPPP), IF REQUIRED, MUST BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES.
- APPROVAL OF THE EROSION AND SEDIMENT CONTROL (ESC) MEASURES SHOWN IN THE APPROVED PLANS DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, LID BMPs, UTILITIES, ETC.) UNLESS THAT IS ALSO COVERED BY THIS PERMIT.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC BMPs IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, PRIOR TO CONSTRUCTION (SWDM APPENDIX D AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM), UNLESS SPECIFICALLY ALLOWED BY THE CITY INSPECTOR. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL BMPs, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACKING OUT TO ROAD RIGHT-OF-WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT. PEDESTRIAN ACCESS ROUTE TO BE MAINTAINED AT ALL TIMES.
- PROTECT ALL BIO RETENTION FACILITIES, RAIN GARDENS, AND PERMEABLE PAVEMENT FROM SEDIMENTATION THROUGH INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BMPs. RESTORE PERMANENT BMPs TO THEIR FULLY FUNCTIONING CONDITION IF THEY ACCUMULATE SEDIMENT DURING CONSTRUCTION.
- PREVENT COMPACTION OF BIO RETENTION FACILITIES AND RAIN GARDENS BY EXCLUDING CONSTRUCTION EQUIPMENT AND FOOT TRAFFIC.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION, ETC.).
- THE ESC BMPs SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT BY THE ESC SUPERVISOR OF WEEKLY REVIEWS OF THE ESC BMPs, TO BE COPIED ON REQUEST FOR THE CITY INSPECTOR.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC COVER METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS, DRY SEASON ONLY.
- THE ESC BMPs ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN TWENTY-FOUR (24) HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND ALL CATCH BASIN LINES SHALL BE CLEARED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET BELOW THE FINAL GRADE OF THE PERMANENT FACILITY.
- COVER BMPs WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
- FOR PROJECTS THAT DISTURB GREATER THAN 1 ACRE, OR ARE A PART OF A LARGER COMMON PLAN OF DEVELOPMENT THAT DISTURBS GREATER THAN 1 ACRE, THE FOLLOWING APPLIES:
  - THE DISCHARGE MONITORING LOG/REPORTS MUST BE KEPT ON-SITE AT ALL TIMES.
  - DISCHARGES FROM THE CONSTRUCTION SITE GREATER THAN 25 NTU (NEPHELOMETRIC TURBIDITY UNITS) MUST BE TREATED PRIOR TO DISCHARGE AND SAID TREATMENT METHOD MUST BE APPROVED AND FIELD VERIFIED BY CITY INSPECTION STAFF. [NOTE: TREATMENT APPROVAL AND VERIFICATION DOES NOT RELEASE PROPERTY OWNER/DEVELOPER FROM THE RESPONSIBILITY OR LIABILITY OF ENSURING STATE WATER QUALITY STANDARDS (WAC-173-201A) ARE MET FOR DIRECT OR INDIRECT DISCHARGES TO THE RECEIVING WATER(S)].
  - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDING IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDING WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDING AND THOSE AREAS TO BE COVERED BY OTHER METHODS SHALL BE SUBMITTED TO THE ENGINEERING REVIEW DIVISION. THE CITY ENGINEERING INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
  - THE CONSTRUCTION PROJECT APPROVED BY THIS PERMIT IS SUBJECT TO CITY BUILDING INSPECTION UNDER SEATAC MUNICIPAL CODES TITLE 12 (PUBLIC UTILITIES CODE) AND TITLE 13 (BUILDINGS AND CONSTRUCTION CODE) WITHOUT PRIOR NOTICE.

RECOMMENDED CONSTRUCTION SEQUENCE

- HOLD THE EROSION SEDIMENTATION CONTROL PRE-CONSTRUCTION MEETING ON SITE.
- CONDUCT AN INITIAL EROSION SEDIMENTATION CONTROL (ESC) SITE INSPECTION.
- HOLD THE PRE-CONSTRUCTION MEETING AT THE CITY, VIRTUALLY, OR ON SITE.
- POST A SIGN WITH NAME AND PHONE NUMBER OF THE SITE'S ESC SUPERVISOR.
- FLAG AND/OR FENCE THE CLEARING LIMITS AS REQUIRED BY THE APPROVED PLANS, PERMIT CONDITIONS, OR SEPA CONDITIONS.
- INSPECTION AND SIGN-OFF OF THE CLEARING LIMITS BY A PUBLIC WORKS INSPECTOR.
- INSTALL CATCH BASIN PROTECTION AS REQUIRED.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CLEARLY MARK LOCATIONS OF PROPOSED BIO RETENTION FACILITIES, RAIN GARDENS, AND PERMEABLE PAVEMENT AND INSTALL ESC BMPs TO PROTECT THEM FROM COMPACTION AND SEDIMENTATION.
- CONSTRUCT SEDIMENT PONDS AND TRAPS.
- INSPECTION OF ESC MEASURES BY A PUBLIC WORKS INSPECTOR PRIOR TO COMMENCEMENT OF GRADING ACTIVITY.
- GRADE AND STABILIZE CONSTRUCTION ROADS.
- DEMOLITION OF EXISTING STRUCTURES AND SITE FEATURES.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF SEATAC STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF SEATAC EROSION AND SEDIMENT CONTROL STANDARDS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED AS APPROPRIATE.
- PRIOR TO FINAL INSPECTION APPROVAL, CONDUCT AN INFILTRATION TEST FOR ANY BIO RETENTION OR PERMEABLE PAVEMENT INSTALLATION TO CONFIRM THAT THE PERMANENT BMPs WERE NOT IMPACTED BY CONSTRUCTION ACTIVITIES. IF NEEDED, RESTORE OR REPLACE BIO RETENTION OR PERMEABLE PAVEMENT BMPs, SO THAT THEY ARE FULLY FUNCTIONING UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

PERMIT # \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE



06/02/2025

GRADING QUANTITIES:

CUT: 20,000 Cu.Yds.  
FILL: 2,000 Cu.Yds.

(GRADING QUANTITIES WERE CALCULATED USING THE LAND DEVELOPMENT DESKTOP COMPOSITE METHOD. CALCULATIONS DO NOT ACCOUNT FOR SOIL SWELLING AND SHRINKAGE.)

EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.

**BM**  
BUREN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

ENGINEER SURVEYOR

**INSIGHT ENGINEERING COMPANY**  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**NORTH PEAK ASSOCIATES, LLC**  
17270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-6682

APPLICANT / OWNERS

**CYMBALUK PROPERTIES, LLC**  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

**CHARLES MORGAN & ASSOCIATES, LLC**  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 20142205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
**RAINIER LANDING PHASE II**

DWG FILENAME: 221230-BL02-SEPA.DWG  
DESIGNED BY: SPC  
DATE: 05-15-2025  
SCALE: 1"=40'  
JOB NO.: 22-1230  
SHEET  
TESC NOTES AND DETAILS  
C2.1



Know what's below.  
Call before you dig.

UTILITY CONFLICT NOTE:

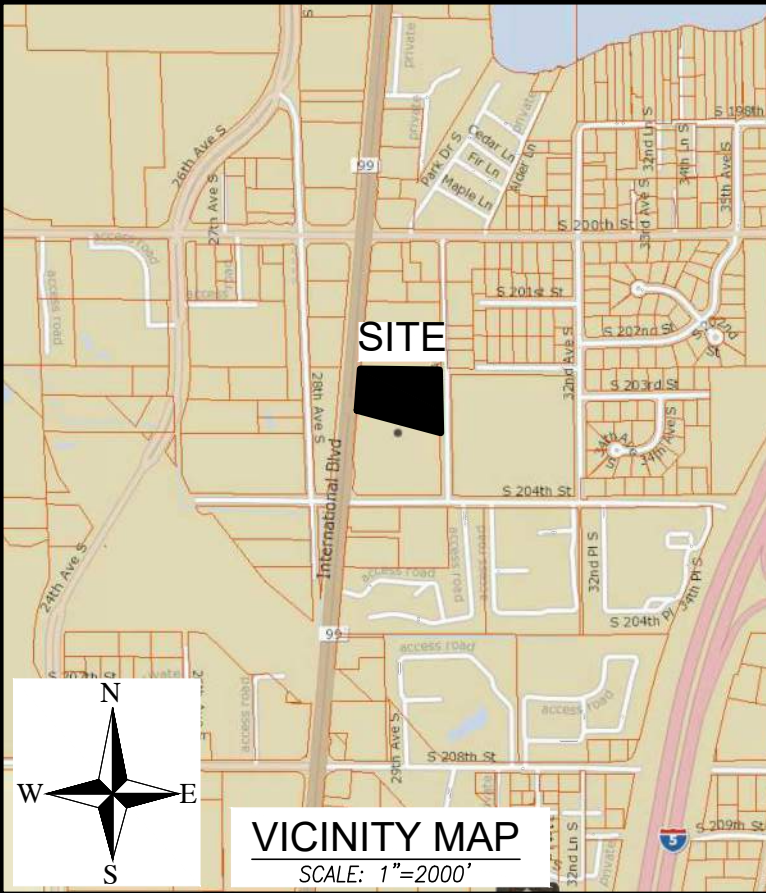
CAUTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

RAINIER LANDING PHASE II



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



PERMIT # \_\_\_\_\_

EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

**ENGINEER**  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

APPLICANT / OWNERS

CYMBALUK PROPERTIES, LLC  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

CHARLES MORGAN & ASSOCIATES, LLC  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEACAT  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEACAT, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
**RAINIER LANDING PHASE II**

DWG FILENAME: 221230-BLD2-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=20' JOB NO.: 22-1230

GRADING PLAN SHEET C2.2

ATAC, WA 98198  
NO. 3445000091

LOT 10

PACIFIC HIGHWAY

**BUILDING 2**

LOWER FINISHED FLOOR = 389.75  
SECOND LEVEL FINISHED FLOOR = 400.0

THROUGH BLOCK CONNECTION

SOUTH PLAZA

30TH AVENUE S

S 204TH STREET

SCALE: 1" = 20'

LEGEND

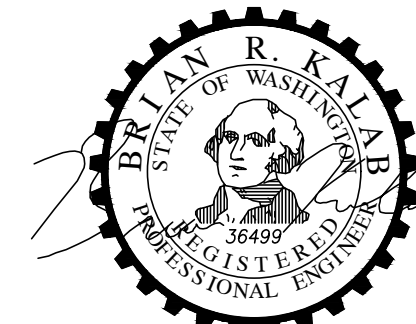
SWALE AREA TO FLOW IN  
THE DIRECTION OF ARROWS

GRADING QUANTITIES:

CUT: 2,500 Cu.Yds.  
FILL: 2,500 Cu.Yds.

(GRADING QUANTITIES WERE CALCULATED USING THE LAND  
DEVELOPMENT DESKTOP COMPOSITE METHOD. CALCULATIONS DO NOT  
ACCOUNT FOR SOIL SWELLING AND SHRINKAGE.)

REV. NO.	DESCRIPTION	INITIALS	DATE



Know what's below.  
Call before you dig.  
UTILITY CONFLICT NOTE:  
CAUTION:

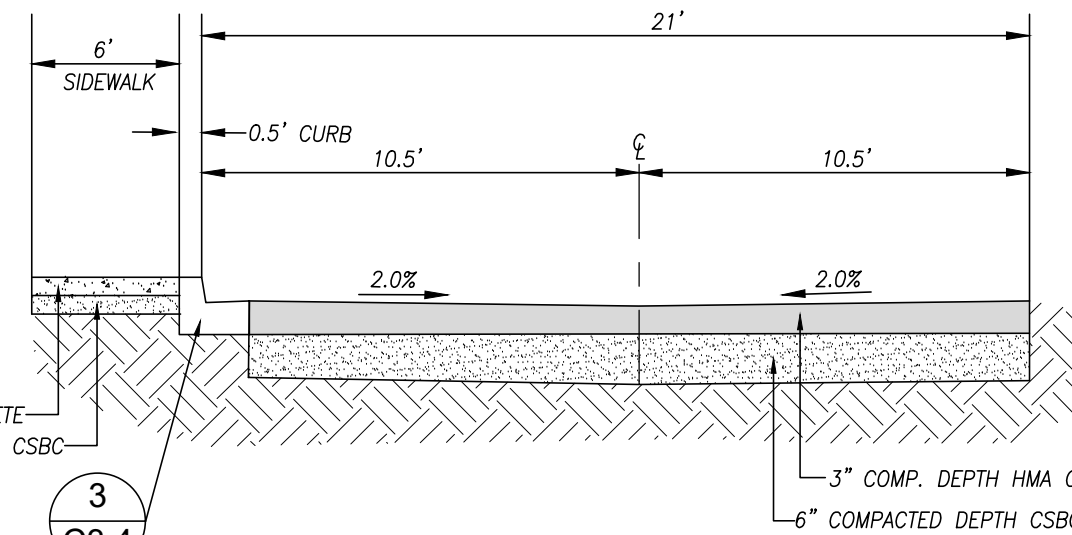
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION,  
DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE  
PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL  
AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE  
CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING  
UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY  
WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN  
ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND  
ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR  
SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL  
PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

RAINIER LANDING PHASE II



JONG KIM INTERNATIONAL  
BLVD SEATAC, WA 98198  
PARCEL NO. 3445000091

SE 1/4 SEC. 04, T. 22 N., R. 4 E., W.M.  
KING COUNTY, WASHINGTON



1 THROUGH BLOCK CONNECTION (SECTION A-A)

C3.0 STA: 11+62 TO STA: 12+60  
NOT TO SCALE DESIGN SPEED = 25 MPH  
TYPICAL DRIVE AISLE - URBAN AREA



#### UTILITY CONFLICT NOTE:

**CAUTION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

#### EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.

**BM**  
BUREN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

#### ENGINEER SURVEYOR

**INSIGHT ENGINEERING COMPANY**  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PHONE: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**NORTH PEAK ASSOCIATES, LLC**  
12770 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

#### APPLICANT / OWNERS

**CYMBALUK PROPERTIES, LLC**  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

#### ARCHITECT / CONTACT

**CHARLES MORGAN & ASSOCIATES, LLC**  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

#### LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 20142005;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



#### INSIGHT ENGINEERING CO.

P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD SEATAC, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R. 4 E., W.M.

#### RAINIER LANDING PHASE II

DWG FILENAME: 221230-BL02-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=40' JOB NO.: 22-1230

SHEET C3.0

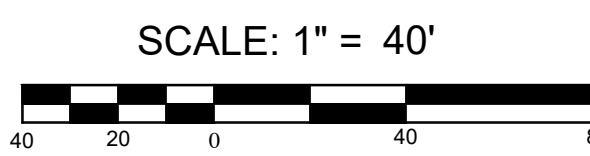
DRAINAGE PLAN

PERMIT # \_\_\_\_\_

REV. NO. DESCRIPTION INITIALS DATE



06/02/2025



SCALE: 1" = 40'

## BUILDING 2

## SOUTH PLAZA

## 30TH AVENUE S

## S 204TH STREET

# RAINIER LANDING PHASE II

#### INSIGHT ENGINEERING CO.

P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD SEATAC, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R. 4 E., W.M.

#### RAINIER LANDING PHASE II

DWG FILENAME: 221230-BL02-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=40' JOB NO.: 22-1230

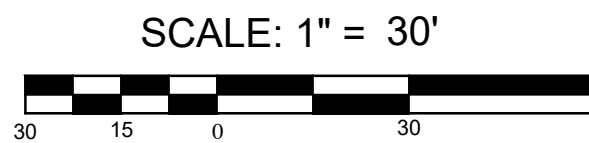
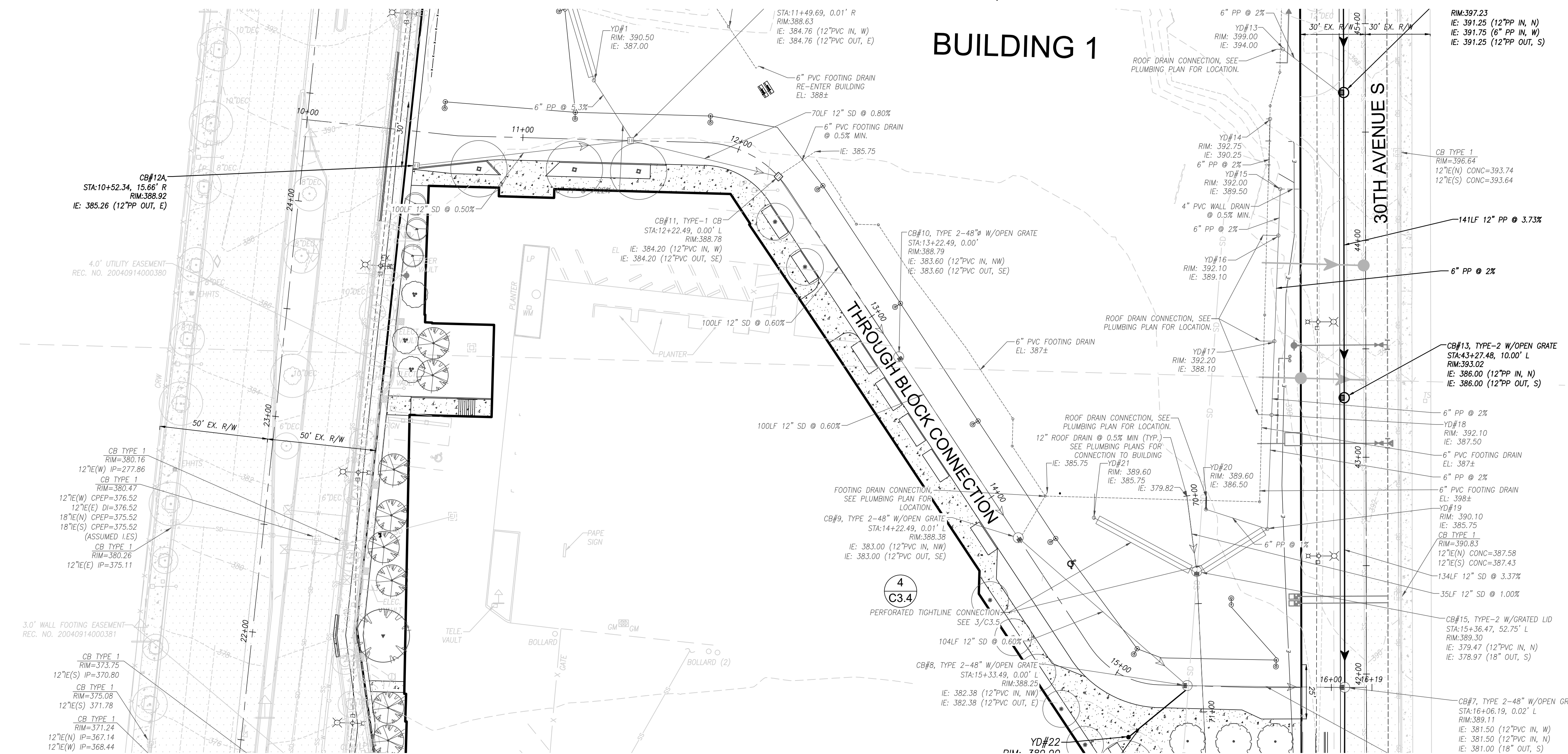
SHEET C3.0

DRAINAGE PLAN



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON

BUILDING 1



EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

ENGINEER

INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

SURVEYOR

NORTH PEAK ASSOCIATES, LLC  
12770 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682  
EMAIL: INFO@NORTHPEAKASSOCIATES.COM

APPLICANT / OWNERS

CYMBALUK PROPERTIES, LLC  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

CHARLES MORGAN & ASSOCIATES, LLC  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 20142205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



INSIGHT ENGINEERING CO.

P.O. BOX 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

TAX ACCOUNT NO.'S: 3445000090

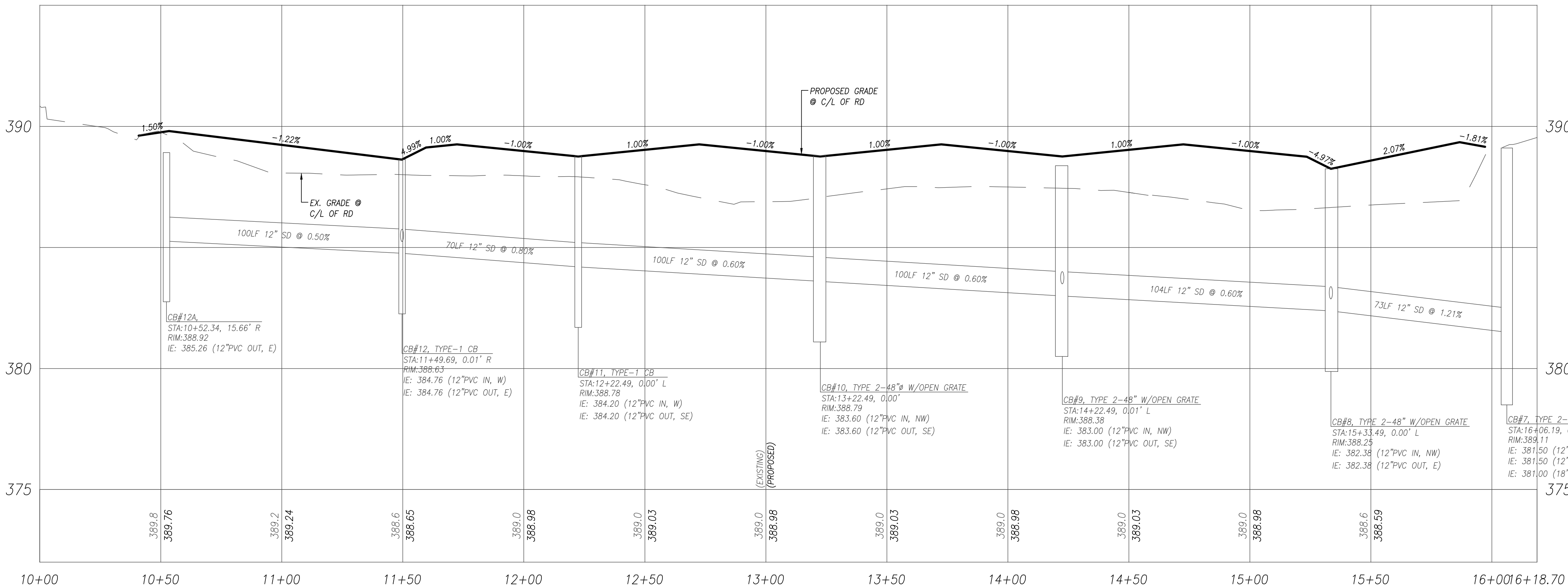
SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

RAINIER LANDING PHASE II

DWG FILENAME: 221230-BL02-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=30' JOB NO.: 22-1230

SHEET

DRAINAGE PLAN AND PROFILE C3.1



THROUGH BLOCK CONNECTION PROFILE

HORIZ. SCALE: 1"=30'  
VERT. SCALE: 1"=3'

RAINIER LANDING PHASE II



Know what's below.  
Call before you dig.

UTILITY CONFLICT NOTE:

CAUTION:

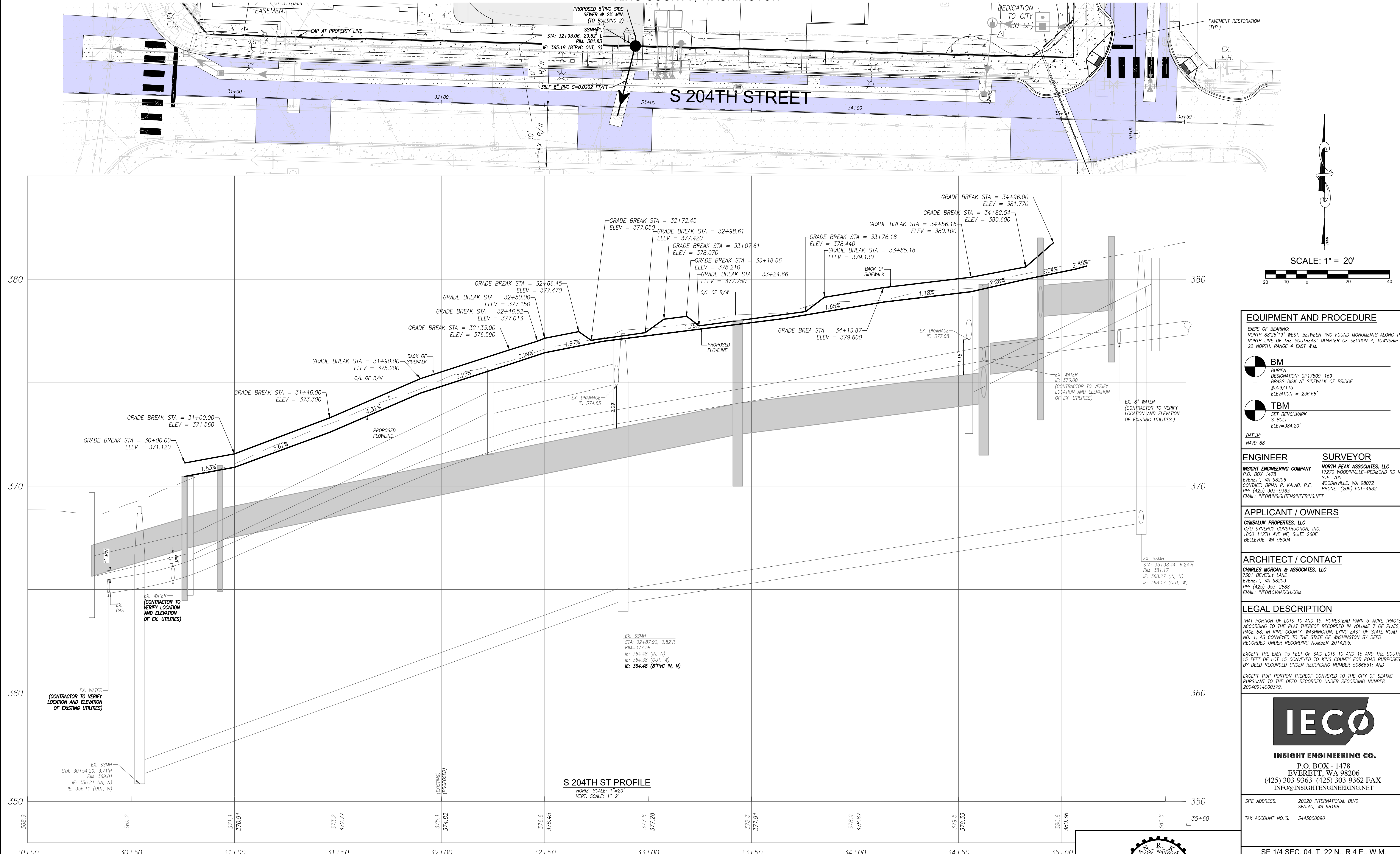
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION,  
DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE  
PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL  
AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE  
CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING  
UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY  
WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN  
ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND  
ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR  
SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL  
PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.







SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



**UTILITY CONFLICT NOTE:**  
**CAUTION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555. POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



# RAINIER LANDING PHASE II

PERMIT # \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE



### EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.

- BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'
- TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 83

**ENGINEER**  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
NORTH PEAK ASSOCIATES, LLC  
12270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

### APPLICANT / OWNERS

**CYMBALUK PROPERTIES, LLC**  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

### ARCHITECT / CONTACT

**CHARLES MORGAN & ASSOCIATES, LLC**  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

### LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 2014205;  
EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198  
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

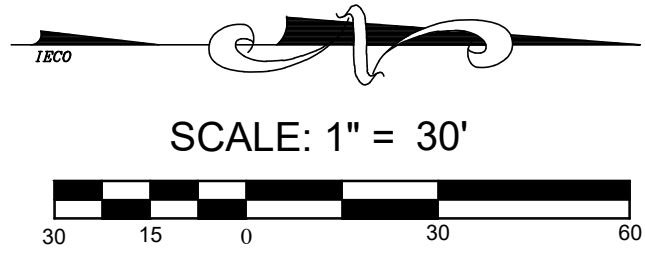
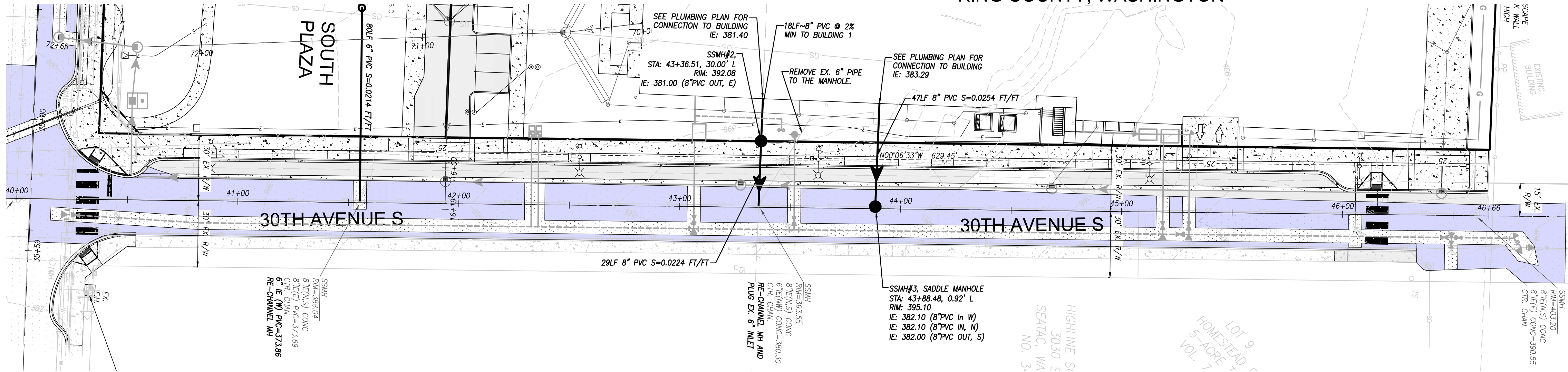
### RAINIER LANDING PHASE II

DWG FILENAME: 221230-BLD2-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=20' JOB NO.: 22-1230 SHEET

SEWER PLAN AND PROFILE C4.1



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



CAUTION:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555. POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19\"/>

BM  
BURDEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

TBM  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

ENGINEER  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

SURVEYOR  
NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

APPLICANT / OWNERS

CYMBALUK PROPERTIES, LLC  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

CHARLES MORGAN & ASSOCIATES, LLC  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEACAT PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



INSIGHT ENGINEERING CO.  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEACAT, WA 98198

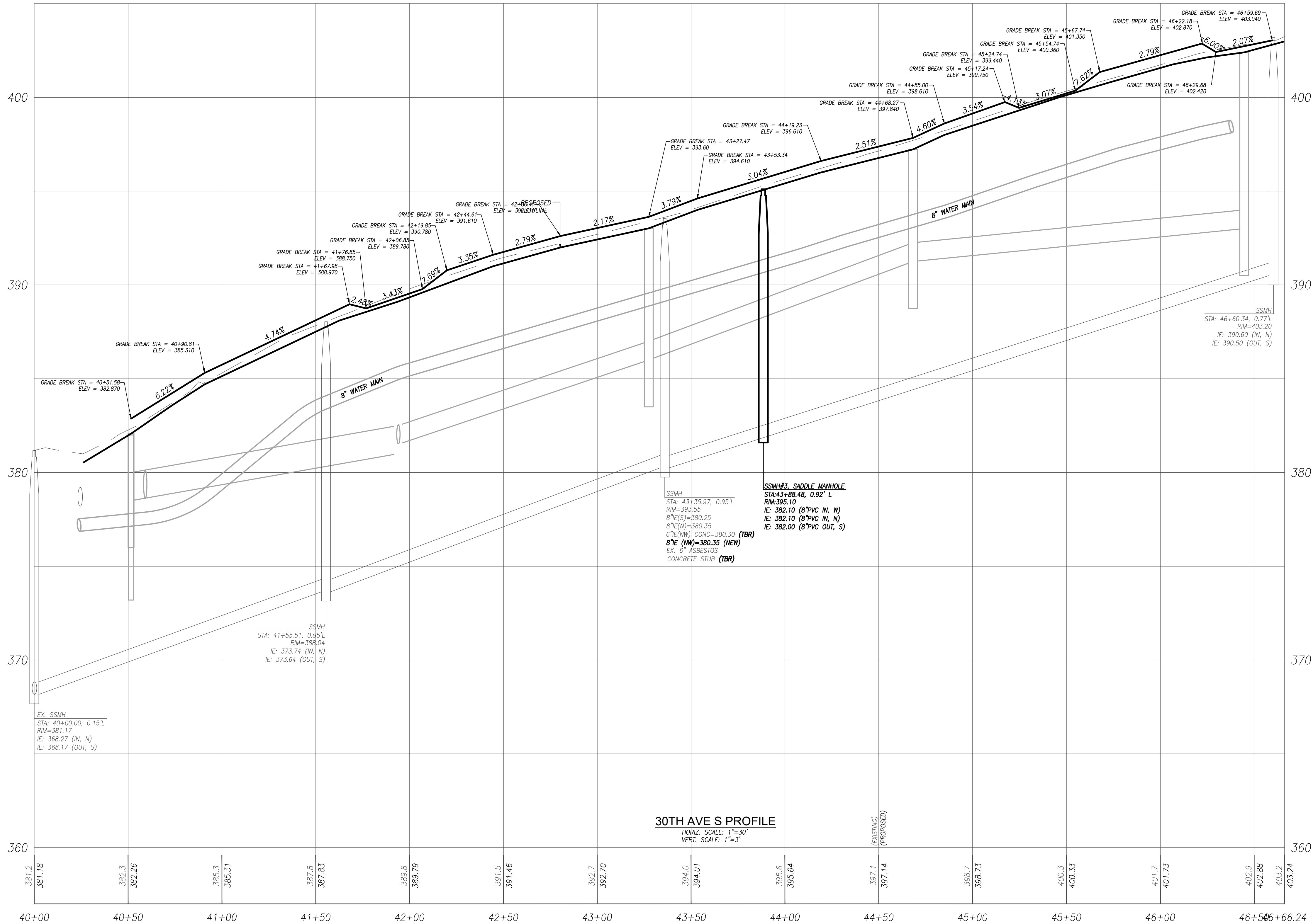
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

RAINIER LANDING PHASE II

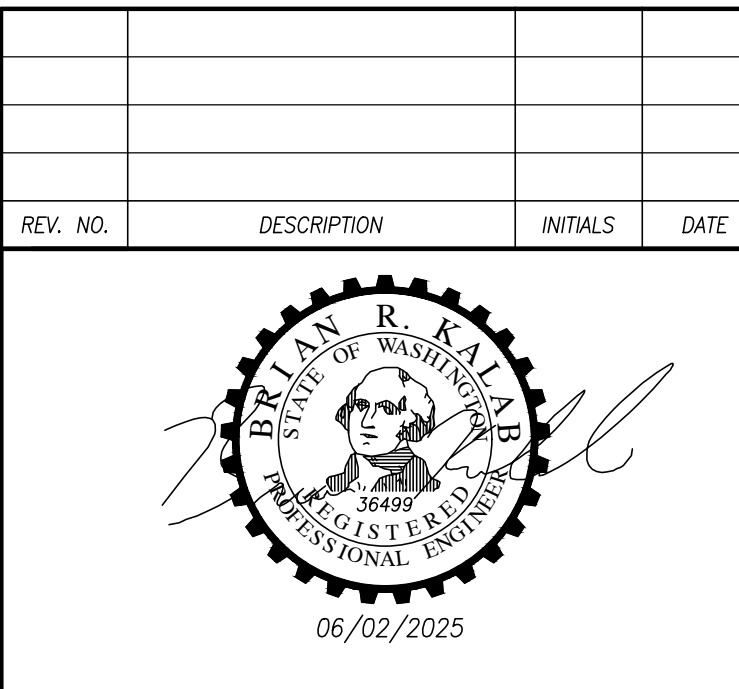
DWG FILENAME: 221230-BL02-SEPA.DWG  
DESIGNED BY: SPC  
DATE: 05-15-2025  
SCALE: 1\"/>

SEWER PLAN AND PROFILE C4.2



# RAINIER LANDING PHASE II

PERMIT # \_\_\_\_\_





"SANITARY SEWER NOTES"

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH MIDWAY SEWER DISTRICT AND THE DEPARTMENT OF ECOLOGY CRITERIA FOR SEWAGE WORK DESIGN.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION.
- THE SANITARY SEWER PIPE SHALL BE PVC, CONFORMING TO ASTM D-3034, SDR 35, UNLESS OTHERWISE SPECIFIED. BEDDING AND BACKFILL SHALL BE AS REQUIRED BY MIDWAY SEWER DISTRICT.
- ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF MIDWAY SEWER DISTRICT.
- A PRECONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION, AND SHOULD BE ATTENDED BY THE CONTRACTOR, ENGINEER, OWNER, OTHER UTILITIES AND REPRESENTATIVES OF MIDWAY SEWER DISTRICT.
- THE NEW SANITARY SEWER LINE SHALL BE PLUGGED AND NOT PUT INTO SERVICE UNTIL ALL LINES HAVE BEEN CLEANED, FLUSHED AND TESTED ALL SANITARY LINES SHALL BE INSPECTED BY THE MIDWAY SEWER DISTRICT AND ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE MIDWAY SEWER DISTRICT REPRESENTATIVE.
- THE LOCATIONS AND SIZES OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY FROM INFORMATION OF TESTED THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND SIZE OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CALL "ONECALL" (1-800-424-5555) FOR UTILITY LOCATIONS (WATER, SANITARY SEWER, STORM SEWER, GAS, POWER, TELEPHONE AND TELEVISION.)
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY MIDWAY SEWER DISTRICT PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
- ALL PIPE INVERTS AND PIPE LENGTHS ARE MEASURED AND CALCULATED TO THE CENTER OF MANHOLES.
- BEDDING MATERIAL FOR SEWER PIPES SHALL BE 4" BEDDING AND 4" PADDING CONSISTING OF EITHER 5/8" CRUSHED ROCK OR PEA GRAVEL.
- BACKFILL SHALL BE COMPACTED IN MULTIPLE LIFTS MEETING 95% COMPACTION PER A.S.T.M. STANDARDS. DEPTH OF LIFTS DEPENDS ON TYPE OF COMPACTOR USED.
- A COLD MIX PATCH WILL BE IMMEDIATELY PLACED AND MAINTAINED OVER COMPACTED BACKFILL IN A MANNE ACCEPTABLE TO THE LOCAL RIGHT OF WAY AUTHORITY.
- A PERMIT HOT MIX PATCH, THE SAME THICKNESS AS THE ORIGINAL ASPHALT OR MINIMUM OF 2", WHICHEVER IS GREATER, WILL BE PLACED AND SEALED WITH PAVING GRADE ASPHALT WITHIN 30 CALENDAR DAYS.
- ALL SIDE SEWERS SHALL BE EXTENDED TO PROPERTY LINES. PIPE PLUGS WILL BE REQUIRED FOR SIDE SEWER IF IMMEDIATE CONNECTION IS NOT TO BE MADE.
- WHERE NEW ASPHALT MEETS EXISTING ASPHALT, CONTRACTOR SHALL SAWCUT OLD TO PROVIDE A CLEAN SHARP EDGE TO MATCH TO, TACK COAT SHALL BE APPLIED TO INSURE A PROPER BOND BETWEEN THE OLD AND NEW ASPHALT.
- ASPHALT SHALL BE CUT TO A WIDTH EQUAL TO THE TRENCH WIDTH PLUS ADDITIONAL FOOT ON BOTH SIDES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- COMPACTION OF SUBGRADES FOR ALL COMMERCIAL DEVELOPMENT PARKING LOTS AND ROADWAYS SHALL COMPLY WITH COMPACTION REQUIREMENTS FOR KING COUNTY MAINTAINED ROADWAYS. THE SUBGRADES UNDER ALL AREAS TO BE PAVED SHALL BE FIRM AND UNYIELDING AND COMPACTED TO 95% OF THE MAXIMUM DENSITY (PER STANDARD PROCTOR TEST.) PROOF ROLLING PRIOR TO PAVING IS REQUIRED TO INSURE STABILITY.
- MANHOLE COVERS SHALL BE CAST IRON BOLT DOWN TYPE.
- FINAL PROJECT ACCEPTANCE BY MIDWAY SEWER DISTRICT IS PENDING APPROVAL OF ENGINEERS AS-BUILT, PROJECT COST, AND ANY NECESSARY QUIT CLAIMS AND OR EASEMENT & BILL OF SALE.
- G.U. LINER MANHOLE BASES OR EQUAL TO BE INSTALLED ON NEW MANHOLES.



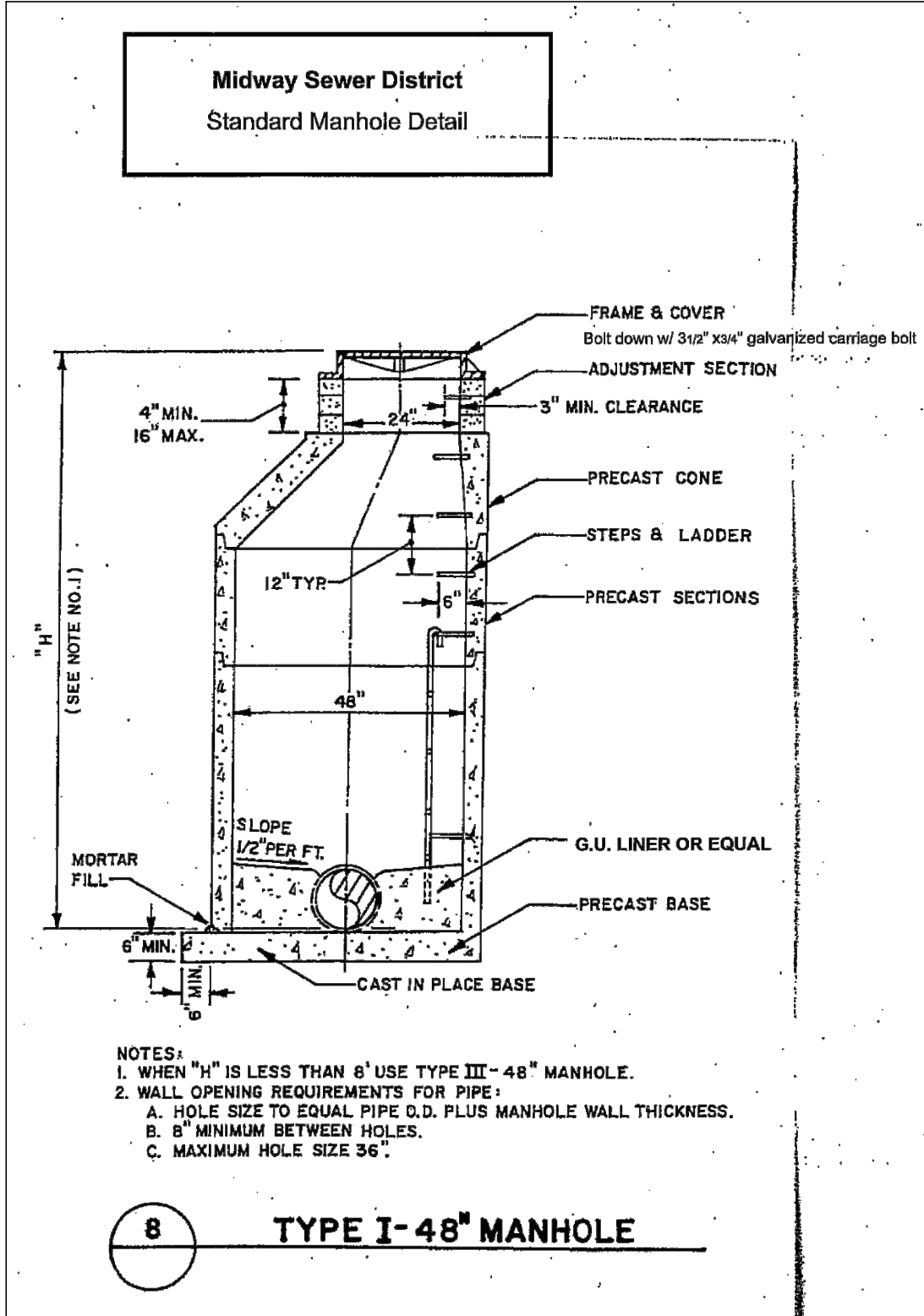
Know what's below.  
Call before you dig.

UTILITY CONFLICT NOTE:

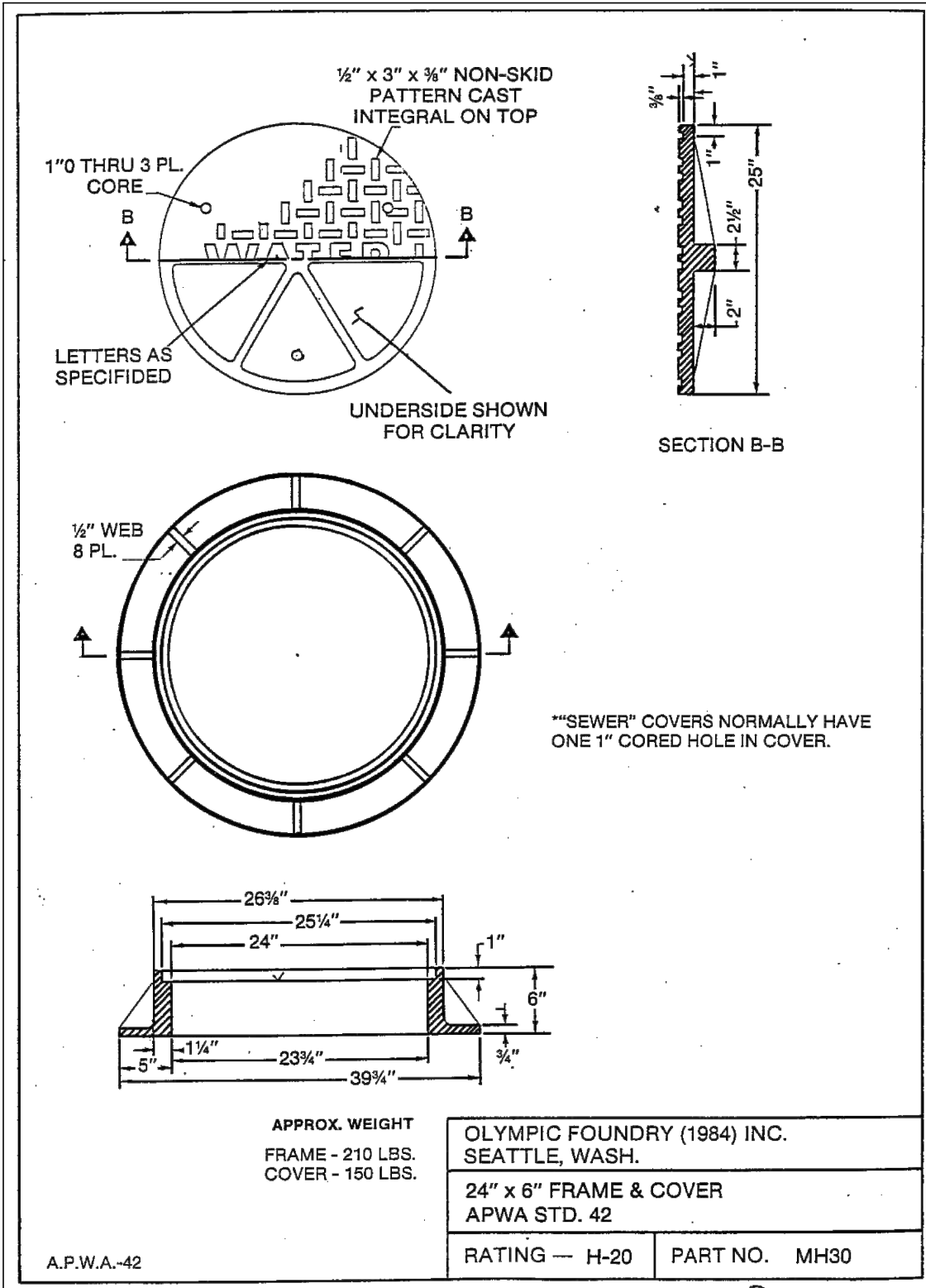
CAUTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

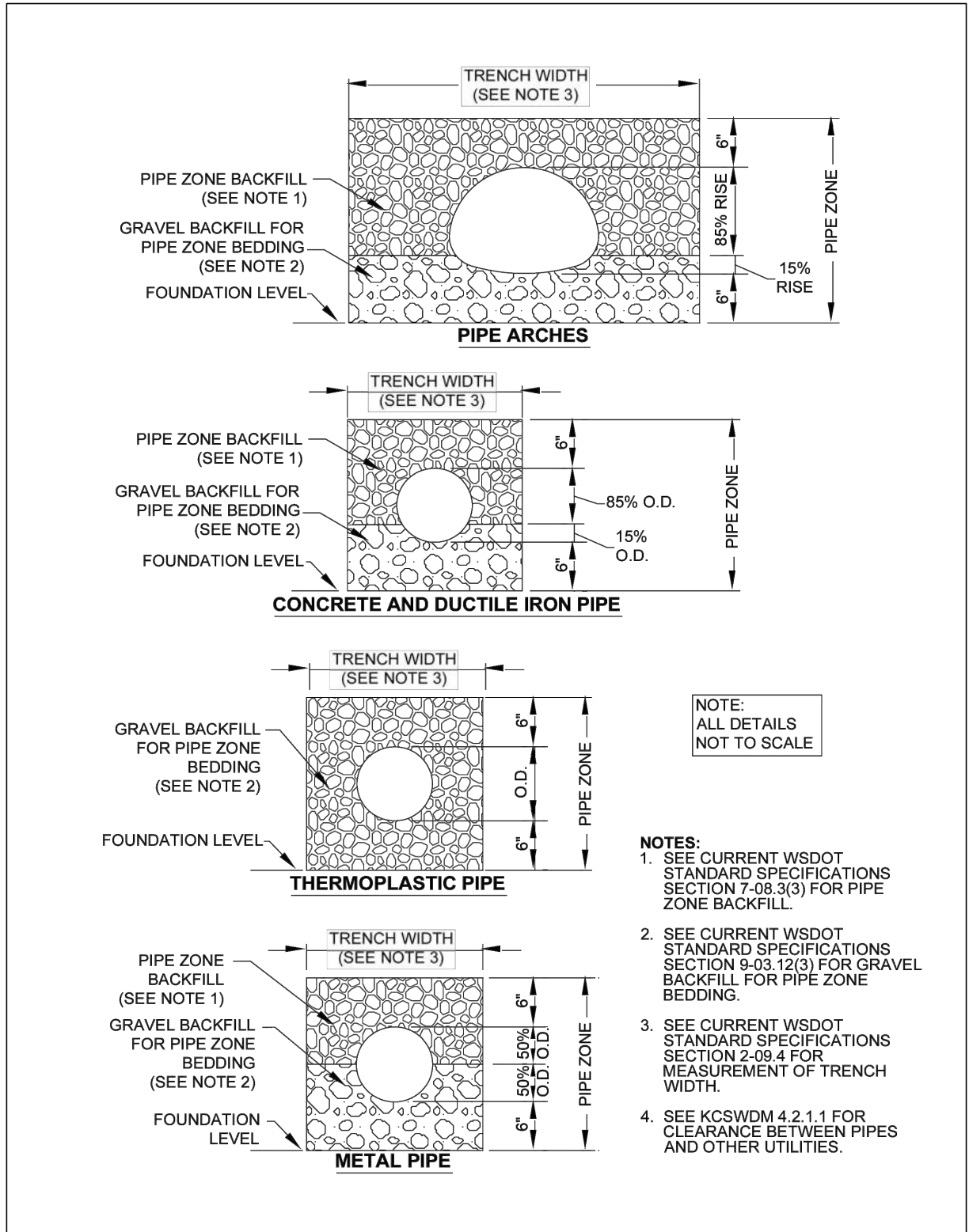
SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



1 TYPE 1-48" MANHOLE DETAIL  
C4.3 NTS



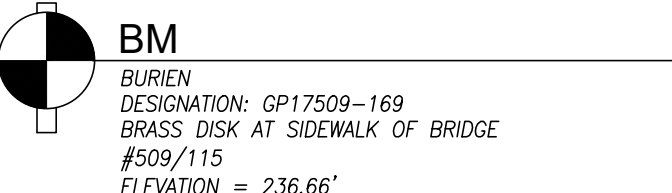
2 MANHOLE COVER DETAIL  
C4.3 NTS



3 PIPE BEDDING AND BACKFILL DETAIL  
C4.3 NTS KCSWM FIG. 4.2.1.A

EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.



DATUM:  
NAVD 88

**ENGINEER**  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682  
EMAIL: INFO@INSIGHTENGINEERING.NET

APPLICANT / OWNERS

CYMBALUX PROPERTIES, LLC  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

CHARLES MORGAN & ASSOCIATES, LLC  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 2014205;  
EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198  
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

RAINIER LANDING PHASE II

DWG FILENAME: 221230-BL02-SEPA.DWG DESIGNED BY: SPC DATE: 05-15-2025 SCALE: 1"=20' JOB NO.: 22-1230

SEWER NOTES AND DETAILS C4.3

PERMIT # \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE



RAINIER LANDING PHASE II



LOT 1

SKYWAY, LLC 20045  
INTERNATIONAL BLVD SEATAC, WA 98198  
PARCEL NO. 3445000070

PECK GRACE 20040  
INTERNATIONAL BLVD SEATAC, WA 98198  
PARCEL NO. 3445000071

30TH SOUTH INVESTMENT, LLC  
20056 30TH AVE S  
SEATAC, WA 98198  
PARCEL NO. 3445000080

LOT 9  
HOMESTEAD PARK  
5-ACRE TRACTS  
VOL. 7, PG. 288

HIGHLINE SCHOOL DISTRICT 401  
3030 S 204TH  
SEATAC, WA 98198  
PARCEL NO. 3445000085

LOT 10

LOT 15

LOT 16

LOT 17

LOT 18

LOT 19

LOT 20

LOT 21

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26

LOT 27

LOT 28

LOT 29

LOT 30

LOT 31

LOT 32

LOT 33

LOT 34

LOT 35

LOT 36

LOT 37

LOT 38

LOT 39

LOT 40

LOT 41

LOT 42

LOT 43

LOT 44

LOT 45

LOT 46

LOT 47

LOT 48

LOT 49

LOT 50

LOT 51

LOT 52

LOT 53

LOT 54

LOT 55

LOT 56

LOT 57

LOT 58

LOT 59

LOT 60

LOT 61

LOT 62

LOT 63

LOT 64

LOT 65

LOT 66

LOT 67

LOT 68

LOT 69

LOT 70

LOT 71

LOT 72

LOT 73

LOT 74

LOT 75

LOT 76

LOT 77

LOT 78

LOT 79

LOT 80

LOT 81

LOT 82

LOT 83

LOT 84

LOT 85

LOT 86

LOT 87

LOT 88

LOT 89

LOT 90

LOT 91

LOT 92

LOT 93

LOT 94

LOT 95

LOT 96

LOT 97

LOT 98

LOT 99

LOT 100

LOT 101

LOT 102

LOT 103

LOT 104

LOT 105

LOT 106

LOT 107

LOT 108

LOT 109

LOT 110

LOT 111

LOT 112

LOT 113

LOT 114

LOT 115

LOT 116

LOT 117

LOT 118

LOT 119

LOT 120

LOT 121

LOT 122

LOT 123

LOT 124

LOT 125

LOT 126

LOT 127

LOT 128

LOT 129

LOT 130

LOT 131

LOT 132

LOT 133

LOT 134

LOT 135

LOT 136

LOT 137

LOT 138

LOT 139

LOT 140

LOT 141

LOT 142

LOT 143

LOT 144

LOT 145

LOT 146

LOT 147

LOT 148

LOT 149

LOT 150

LOT 151

LOT 152

LOT 153

LOT 154

LOT 155

LOT 156

LOT 157

LOT 158

LOT 159

LOT 160

LOT 161

LOT 162

LOT 163

LOT 164

LOT 165

LOT 166

LOT 167

LOT 168

LOT 169

LOT 170

LOT 171

LOT 172

LOT 173

LOT 174

LOT 175

LOT 176

LOT 177

LOT 178

LOT 179

LOT 180

LOT 181

LOT 182

LOT 183

LOT 184

LOT 185

LOT 186

LOT 187

LOT 188

LOT 189

LOT 190

LOT 191

LOT 192

LOT 193

LOT 194

LOT 195

LOT 196

LOT 197

LOT 198

LOT 199

LOT 200

LOT 201

LOT 202

LOT 203

LOT 204

LOT 205

LOT 206

LOT 207

LOT 208

LOT 209

LOT 210

LOT 211

LOT 212

LOT 213

LOT 214

LOT 215

LOT 216

LOT 217

LOT 218

LOT 219

LOT 220

LOT 221

LOT 222

LOT 223

LOT 224

LOT 225

LOT 226

LOT 227

LOT 228

LOT 229

LOT 230

LOT 231

LOT 232

LOT 233

LOT 234

LOT 235

LOT 236

LOT 237

LOT 238

LOT 239

LOT 240

LOT 241

LOT 242

LOT 243

LOT 244

LOT 245

LOT 246

LOT 247

LOT 248

LOT 249

LOT 250

LOT 251

LOT 252

LOT 253

LOT 254

LOT 255

LOT 256

LOT 257

LOT 258

LOT 259

LOT 260

LOT 261

LOT 262

LOT 263

LOT 264

LOT 265

LOT 266

LOT 267

LOT 268

LOT 269

LOT 270

LOT 271

LOT 272

LOT 273

LOT 274

LOT 275

LOT 276

LOT 277

LOT 278

LOT 279

LOT 280

LOT 281

LOT 282

LOT 283

LOT 284

LOT 285

LOT 286

LOT 287

LOT 288

LOT 289

LOT 290

LOT 291

LOT 292

LOT 293

LOT 294

LOT 295

LOT 296

LOT 297

LOT 298

LOT 299

LOT 300

LOT 301

LOT 302

LOT 303

LOT 304

LOT 305

LOT 306

LOT 307

LOT 308

LOT 309

LOT 310

LOT 311

LOT 312

LOT 313

LOT 314

LOT 315

LOT 316

LOT 317

LOT 318

LOT 319

LOT 320

LOT 321

LOT 322

LOT 323

LOT 324

LOT 325

LOT 326

LOT 327

LOT 328

LOT 329

LOT 330

LOT 331

LOT 332

LOT 333

LOT 334

LOT 335

LOT 336

LOT 337

LOT 338

LOT 339

LOT 340

LOT 341

LOT 342

LOT 343

LOT 344

LOT 345

LOT 346

LOT 347

LOT 348

LOT 349

LOT 350

LOT 351

LOT 352

LOT 353

LOT 354

LOT 355

LOT 356

LOT 357

LOT 358

LOT 359

LOT 360

LOT 361

LOT 362

LOT 363

LOT 364

LOT 365

LOT 366


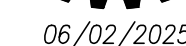
LOT 367




SCOPE OF PROJECT									
WATER MAIN TYPE	SIZE	LF	#HYDRANTS	#SERVICES	SIZE	#VALVES	SIZE		
DUCTILE IRON	8"	629	1	2	6" & 2"	5	8"		
			1	1	6"	4	8"		
ESTIMATED COST			CONTRACTOR			ATTN:			
STATE LICENSE#			ADDRESS			CITY			
CITY LICENSE #			STATE		ZIP	PHONE			
SIZE OF FIRE DEVICE		8"	SIZE OF BY-PASS METER						
NUMBER OF COMBINED DOMESTIC/FIRE SERVICES				SIZE(\$)					
# Services to be Removed:		Account/Meter number	Meter size	Date removed from Service	By:	Final Read			

PERMIT # -

REV. NO.	DESCRIPTION	INITIALS	DATE



BM  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'



**TBM**  
 SET BENCHMARK  
 S BOLT  
 ELEV=384.20'

DATUM:  
NAVD 83

ENGINEER	SURVEYOR
<b>INSIGHT ENGINEERING COMPANY</b> P.O. BOX 1478 EVERETT, WA 98206 CONTACT: BRIAN R. KALAB, P.E. PH: (425) 303-9363 EMAIL: <a href="mailto:INFO@INSIGHTENGINEERING.NET">INFO@INSIGHTENGINEERING.NET</a>	<b>NORTH PEAK ASSOCIATES, LLC</b> 17270 WOODINVILLE—REDMOND RD NE STE. 705 WOODINVILLE, WA 98072 PHONE: (206) 601-4682

APPLICANT / OWNERS	
--------------------	--

**CYMBALUK PROPERTIES, LLC**  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 260E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

**CHARLES MORGAN & ASSOCIATES, LLC**  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMAARCH.COM

LEGAL DESCRIPTION
-------------------

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
PORTIONED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS:	20220 INTERNATIONAL BLVD SEATAC, WA 98198
TAX ACCOUNT NO.'S:	3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

## RAINIER LANDING PHASE II

DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-BLD2-SEPA.DWG	SPC	05-15-2025	1"=40'	22-1230

WATER PLAN TITLE SHEET	SHEET C5.0
------------------------	---------------

UTILITY CONFLICT NOTE:

**CAUTION:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

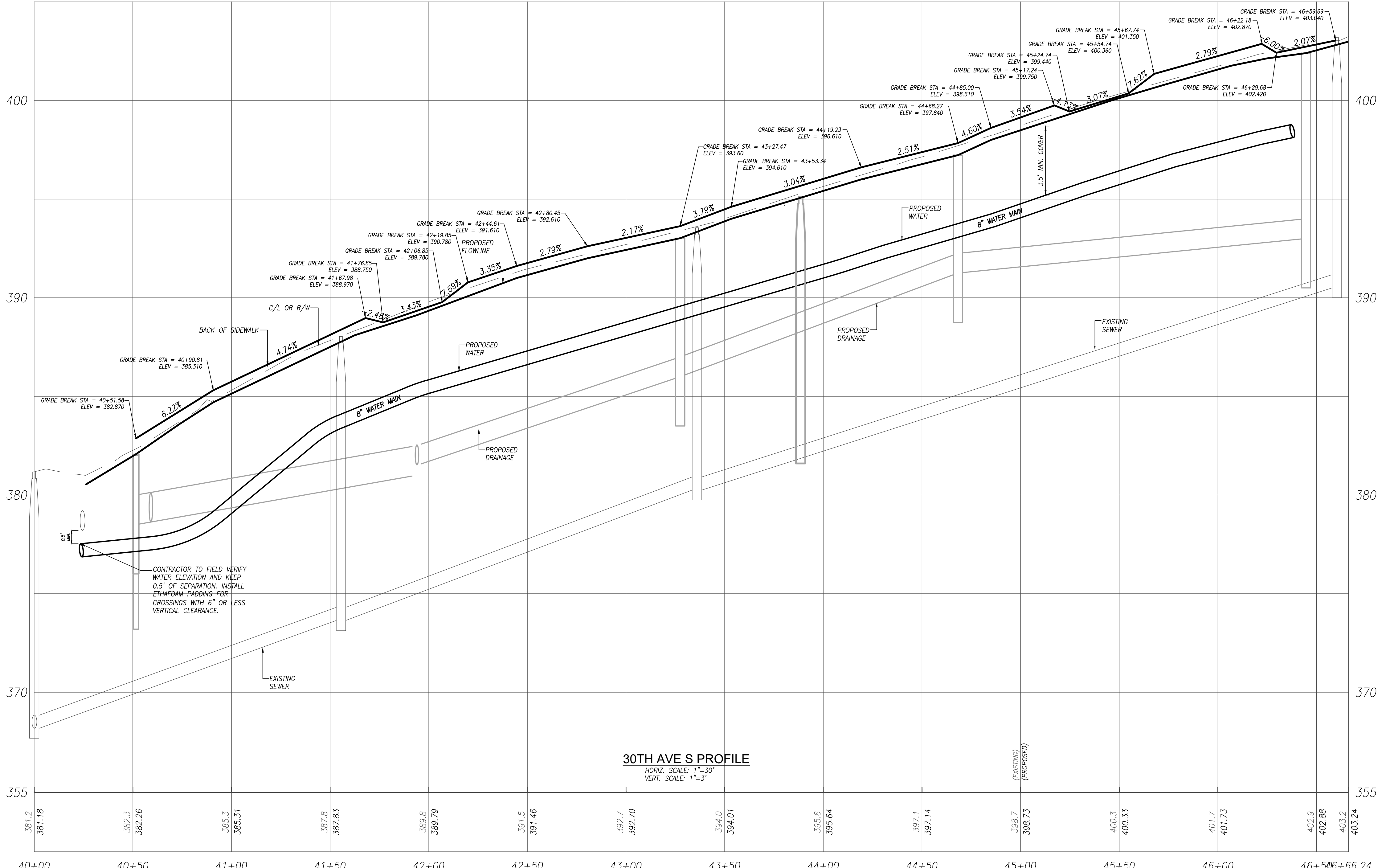
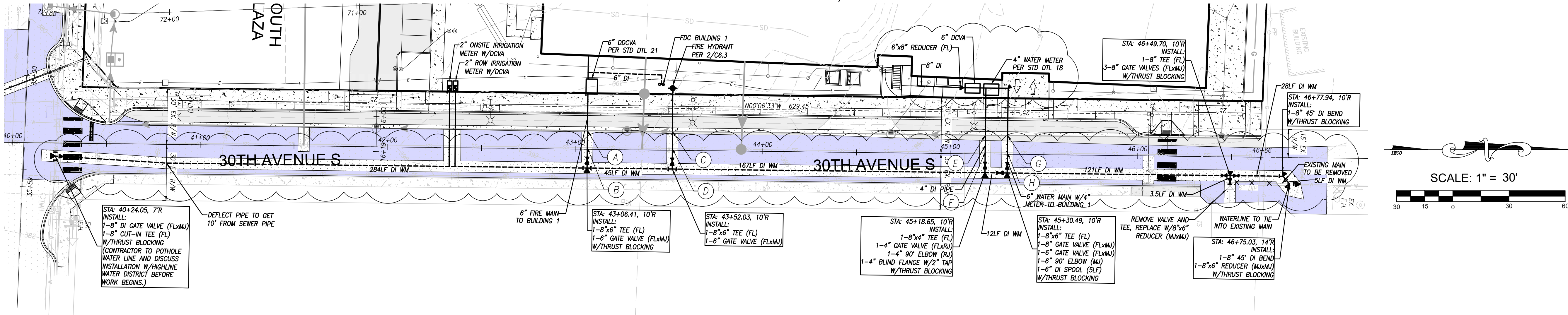


Know what's **below**.  
**Call** before you dig

# RAINIER LANDING PHASE II



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



UTILITY CROSSINGS			
	WATER	STORM	SEWER
(A)	IE=388.1	TOP=386.25	
(B)	IE=388.1		TOP=379.25
(C)	IE=389.8	TOP=387.85	
(D)	IE=389.8		TOP=381.9
(E)	IE=395.1	TOP=393.1	
(F)	IE=395.0		TOP=386.6
(G)	IE=395.8		TOP=387.1
(H)	IE=395.8	TOP=393.4	



Know what's below.  
**Call** before you dig.

## UTILITY CONFLICT NOTE

## CAUTION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POTHOLES ALL OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY WHETHER OR NOT CONFLICTS EXIST, LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(5) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

## RAINIER LANDING PHASE II

DESIGNED BY:	DATE:	SCALE:	JOB NO.:
SPC	05-15-2025	1"=30'	22-1230

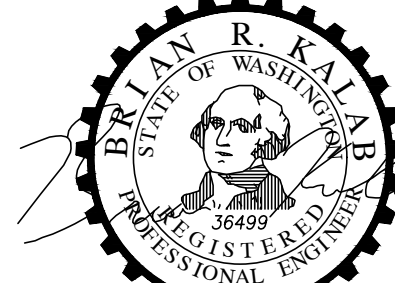
SHEET

WATER PLAN AND PROFILE | C5.1

HIGHLINE WATER DISTRICT

APPROVED FOR CONSTRUCTION BY: \_\_\_\_\_  
DISTRICT ENGINEER

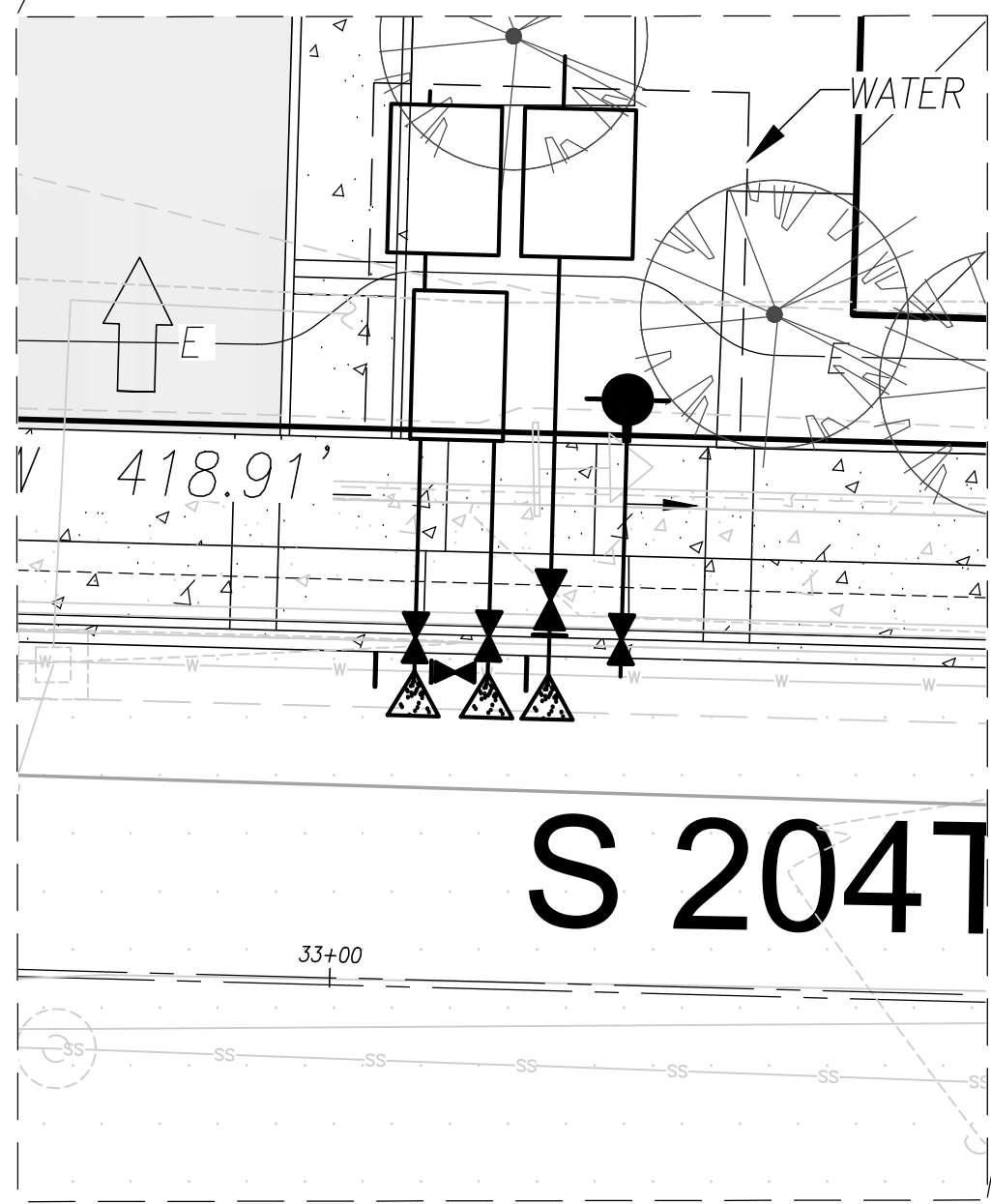
PLAN APPROVAL EXPIRES 18 MONTHS FROM DATE OF SIGNATURE



06/02/2025

# RAINIER LANDING PHASE II



[illegible]

A north arrow pointing upwards, labeled 'N' at the top and 'REV' at the bottom. Below the arrow is a graphic scale bar with alternating black and white segments, marked with the numbers 20, 10, 0, 20, and 40. The text 'SCALE: 1" = 20\'' is printed above the scale bar.



Know what's below.  
**Call** before you dig.

UTILITY CONFLICT NOTE:

**CAUTION:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS. PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

# RAINIER LANDING PHASE II

HIGHLINE WATER DISTRICT

APPROVED FOR CONSTRUCTION BY: \_\_\_\_\_  
DISTRICT ENGINEER

PLAN APPROVAL EXPIRES 18 MONTHS FROM DATE OF SIGNATURE



PERMIT # \_\_\_\_\_ - \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS:	20220 INTERNATIONAL BLVD SEATAC, WA 98198
TAX ACCOUNT NO.'S:	3445000090

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.

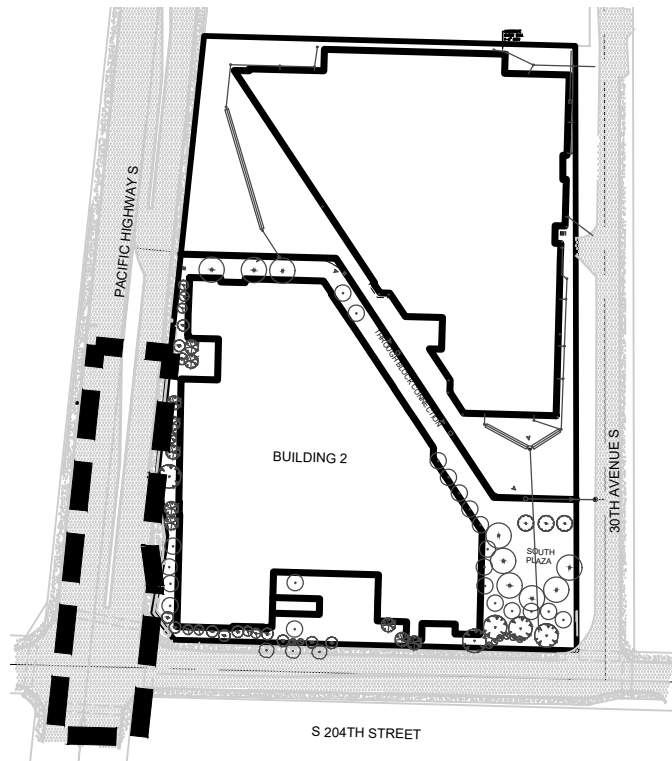
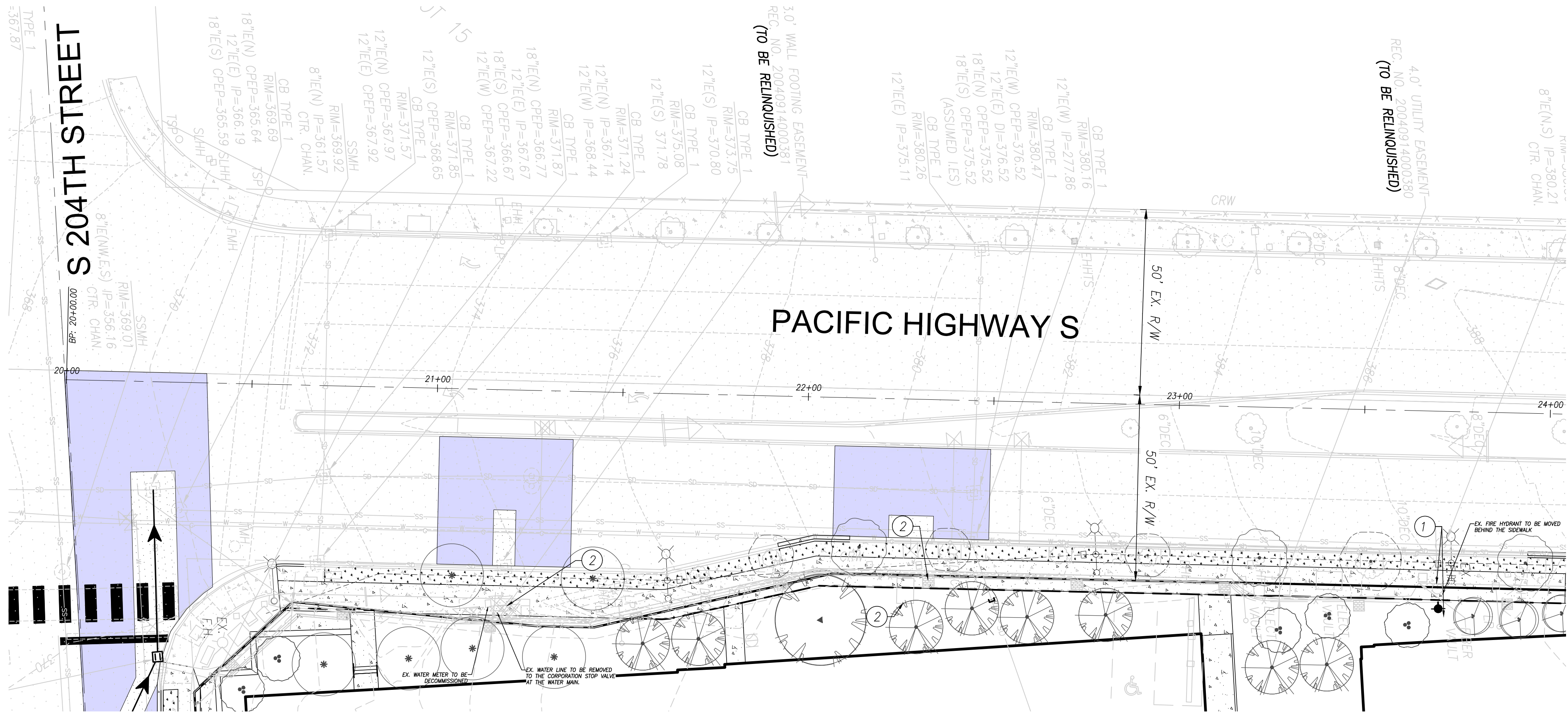
## RAINIER LANDING PHASE II

DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-BLD2-SEPA.DWG	SPC	05-15-2025	1"=30'	22-1230

WATER PLAN	SHEET C5.2
------------	---------------



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



KEY MAP

EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURDEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

**ENGINEER**  
**INSIGHT ENGINEERING COMPANY**  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
**NORTH PEAK ASSOCIATES, LLC**  
12270 WOODINVILLE-REDMOND RD NE  
STE. 705  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

APPLICANT / OWNERS

**CYMBALUK PROPERTIES, LLC**  
C/O SYNERGY CONSTRUCTION, INC.  
1800 112TH AVE NE, SUITE 280E  
BELLEVUE, WA 98004

ARCHITECT / CONTACT

**CHARLES MORGAN & ASSOCIATES, LLC**  
7301 BEVERLY LANE  
EVERETT, WA 98203  
PH: (425) 353-2888  
EMAIL: INFO@CMAARCH.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 20142205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
**RAINIER LANDING PHASE II**

DWG FILENAME: 221230-BL02-SEPA.DWG DESIGNED BY: SPC DATE: 11-06-2024 SCALE: 1"=20' JOB NO.: 22-1230

WATER PLAN

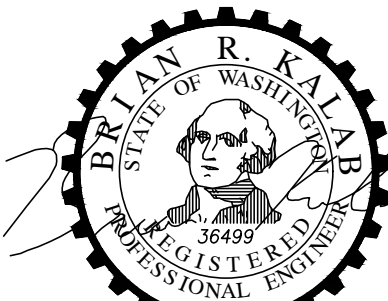
SHEET  
C5.3

CONSTRUCTION NOTES:

- EX. FIRE HYDRANT TO BE MOVED BEHIND SIDEWALK.
- EX. WATER LINE TO BE REMOVED TO THE CORPORATION STOP VALVE AT THE WATER MAIN. SEE HIGHLINE WATER PLANS FOR DETAILS.

PERMIT # \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE



06/02/2025

HIGHLINE WATER DISTRICT  
APPROVED FOR CONSTRUCTION BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DISTRICT ENGINEER  
PLAN APPROVAL EXPIRES 18 MONTHS FROM DATE OF SIGNATURE



Know what's below.  
Call before you dig.

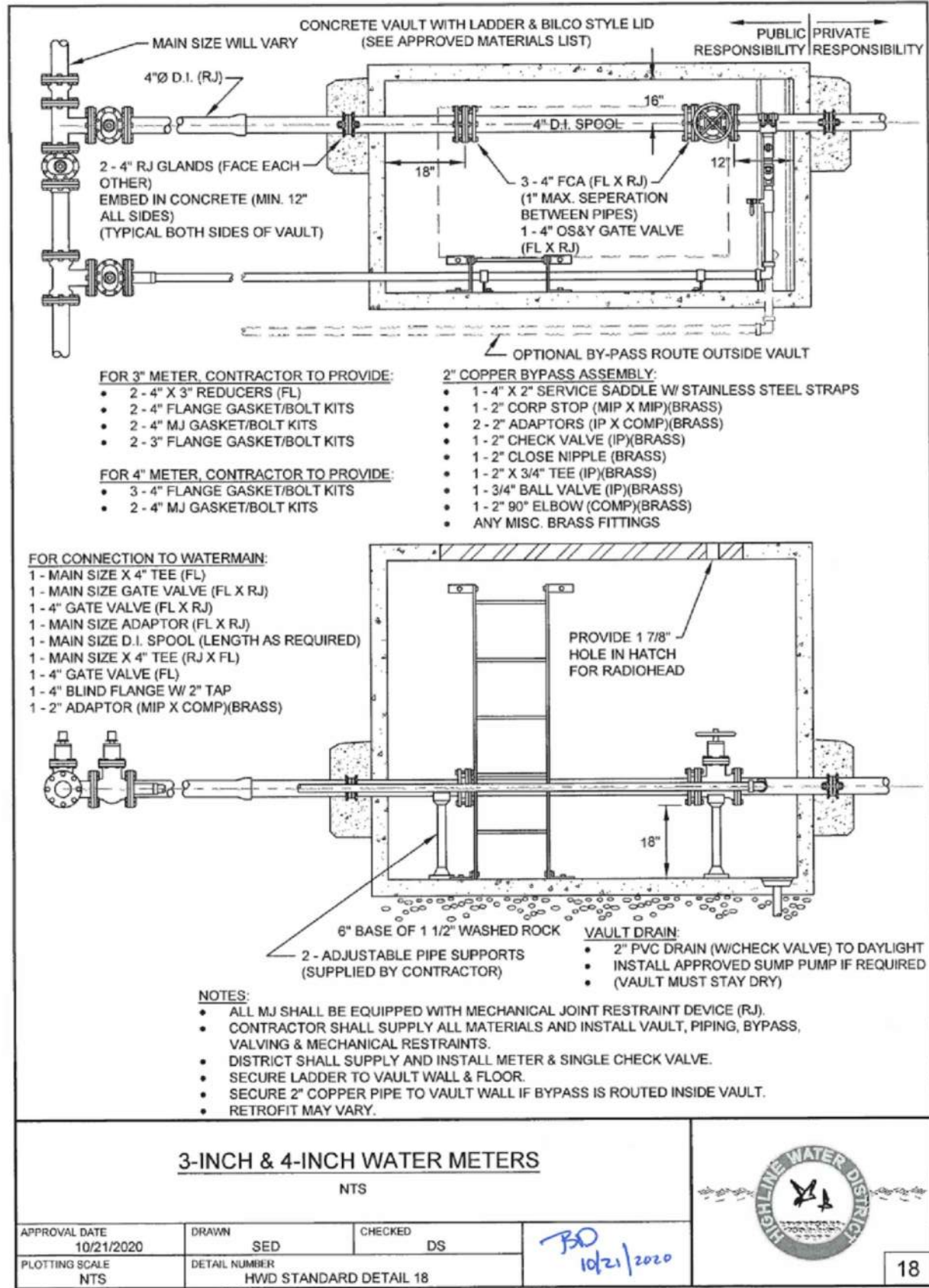
UTILITY CONFLICT NOTE:

CAUTION:

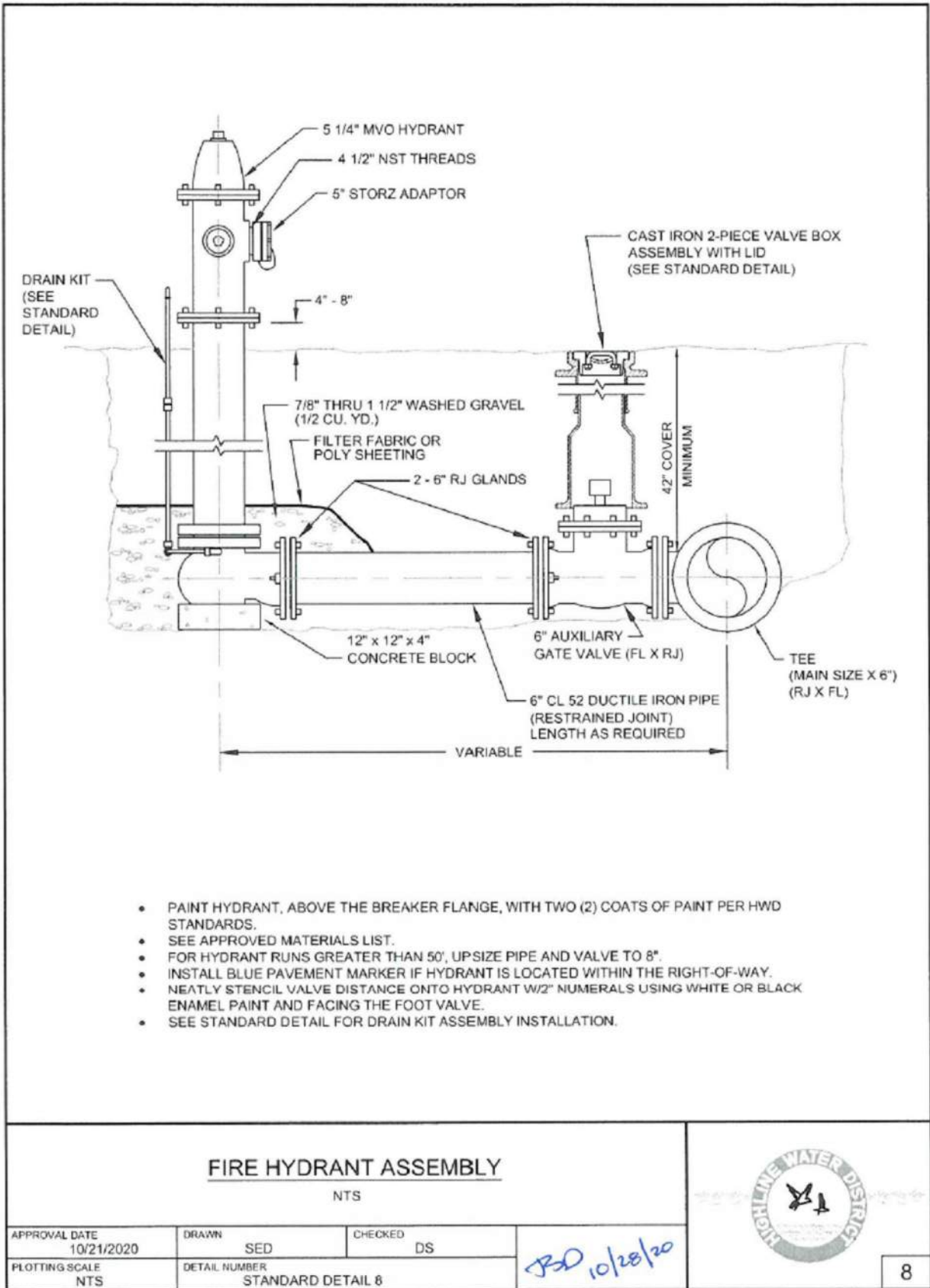
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-6555 POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



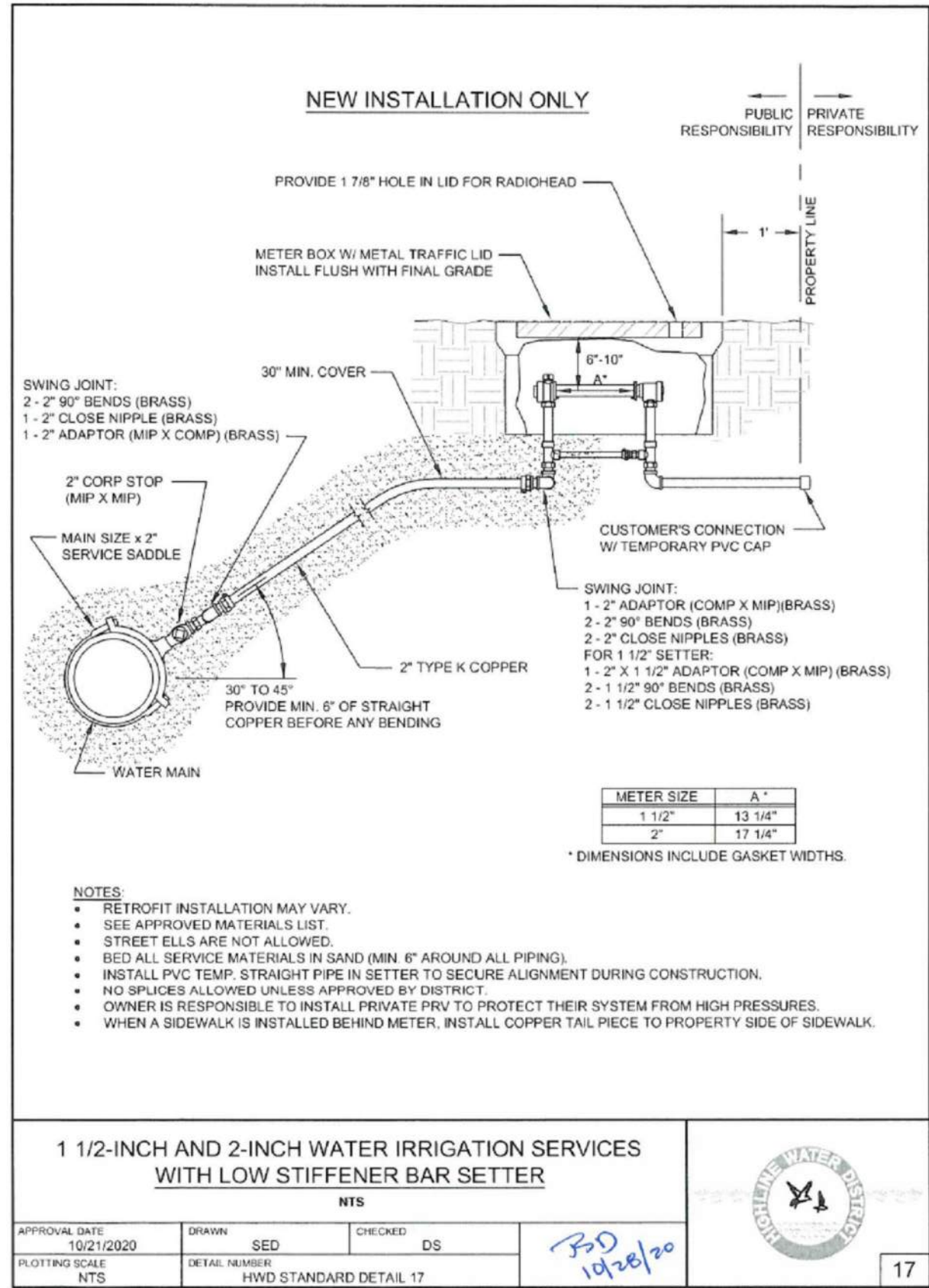
SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



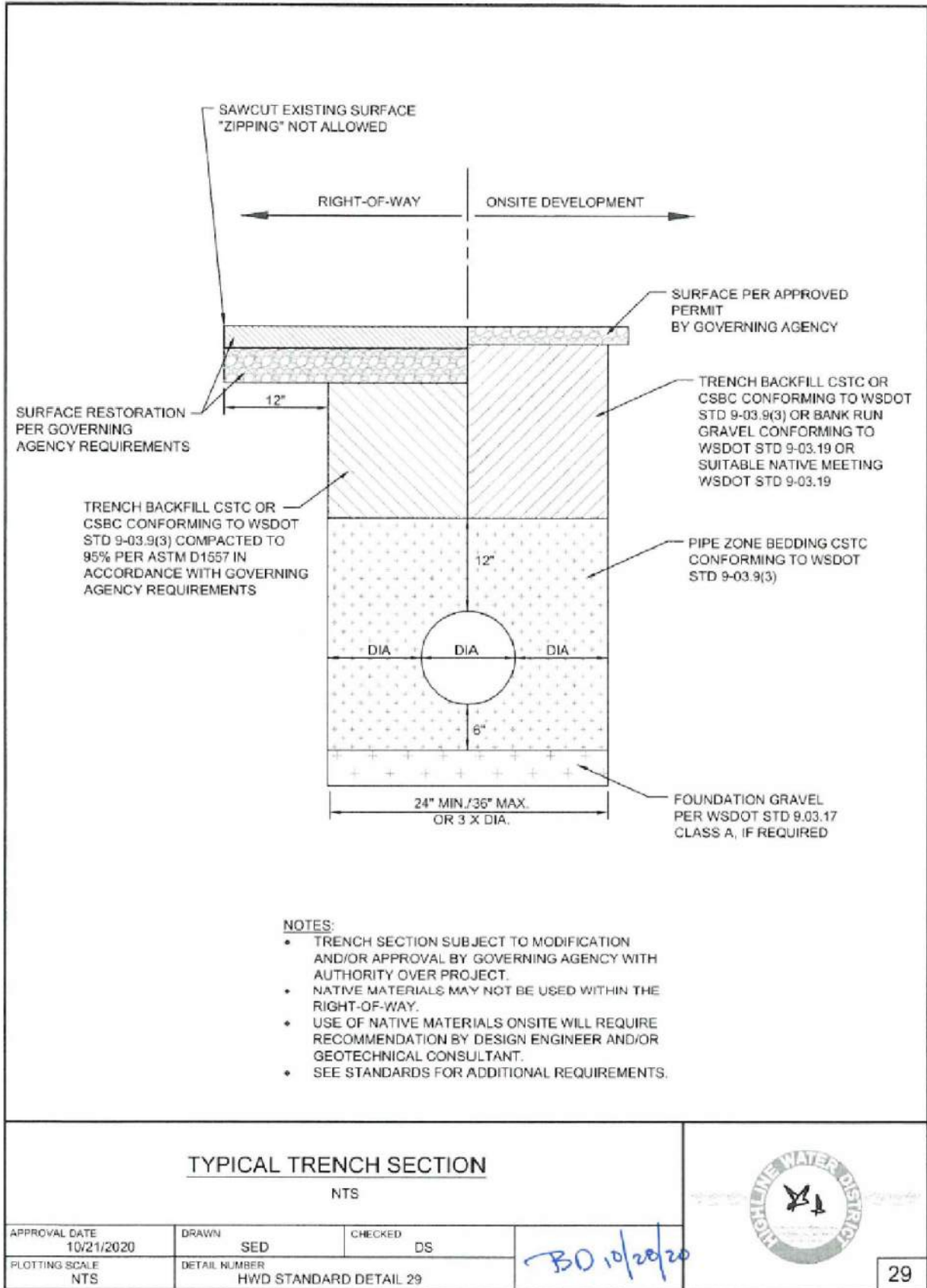
1  
C5.4  
3" & 4" WATER METERS  
NOT TO SCALE



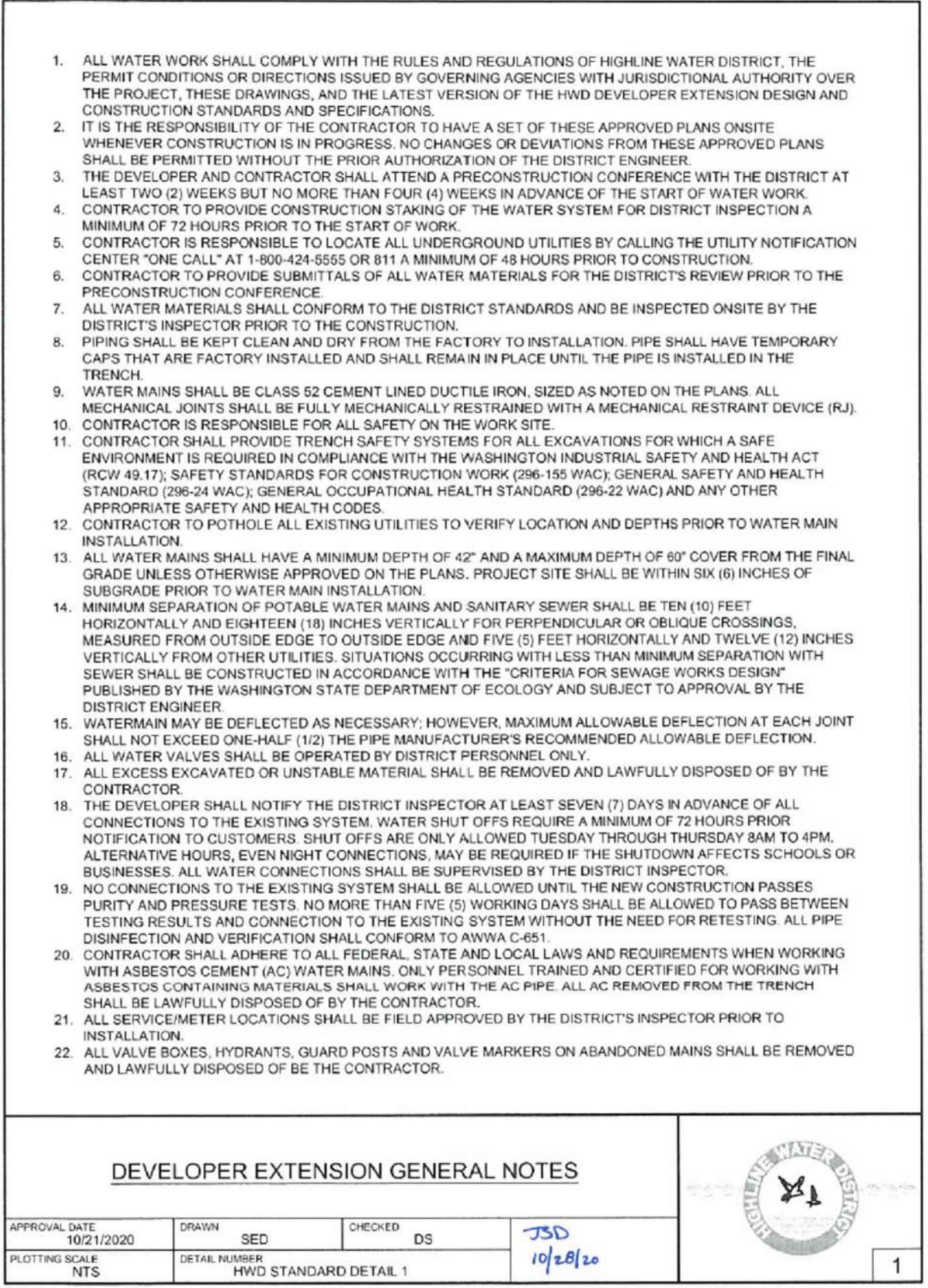
2  
C5.4  
FIRE HYDRANT ASSEMBLY  
NOT TO SCALE



3  
C5.4  
WATER IRRIGATION SERVICES  
NOT TO SCALE



4  
C5.4  
TYPICAL TRENCH SECTION  
NOT TO SCALE



5  
C5.4  
GENERAL NOTES  
NOT TO SCALE

# RAINIER LANDING PHASE II

HIGHLINE WATER DISTRICT  
APPROVED FOR CONSTRUCTION BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DISTRICT ENGINEER  
PLAN APPROVAL EXPIRES 18 MONTHS FROM DATE OF SIGNATURE

**811**  
Know what's below.  
Call before you dig.

**UTILITY CONFLICT NOTE:**  
**CAUTION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

**PERMIT #** \_\_\_\_\_

REV. NO.	DESCRIPTION	INITIALS	DATE

**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

**RAINIER LANDING PHASE II**  
DWG FILENAME: 221230-BL02-SEPA.DWG  
DESIGNED BY: SPC  
DATE: 05-15-2025  
SCALE: 1"=30'  
JOB NO.: 22-1230  
SHEET: C5.4

**WATER NOTES AND DETAILS**

06/02/2025

**IECO**  
**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

**SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.**

**RAINIER LANDING PHASE II**  
DWG FILENAME: 221230-BL02-SEPA.DWG  
DESIGNED BY: SPC  
DATE: 05-15-2025  
SCALE: 1"=30'  
JOB NO.: 22-1230  
SHEET: C5.4

**WATER NOTES AND DETAILS**





LANDSCAPE REQUIREMENT SUMMARY

REQUIREMENT	WHAT IS PROVIDED
FRONTAGE: PEDESTRIAN ZONE, SMC 15.310.320 ALONG INTERNATIONAL BLVD.	
8' PAVED SIDEWALK	PROVIDED
4' PLANTING STRIP/ BUFFER ZONE, W/ STREET TREES	DECIDUOUS STREET TREES, SEE PLANT LEGEND: (1) EXTG, (5) NEW, 25' O.C., WITH CLEARANCES FROM LIGHTS, DRIVEWAY, AND EXISTING TREES. GROUNDCOVER AND SHRUBS PROVIDED FOR ADDITIONAL PEDESTRIAN SAFETY AND TREE SOIL VOLUME
OPEN SPACE, COMMERCIAL	
MINIMUM 5% SITE = 6529 SF	PLAZA/PARK: =4500+2200=6700 SF
PRIORITY 1: ENHANCED SIDEWALKS	2' ADDITIONAL WIDTH ALONG 205TH AND 30TH IS PROVIDED.
PRIORITY 2: PLAZA/PARK	PLAZA/PARK PROVIDED IN (2) LOCATIONS, SEE PLAN.
PLAZA/PARK OPEN SPACE TO CONTAIN: 50% DECORATIVE PAVING 6529*50%=3265 SF	DECORATIVE PAVING SHOWN: 3010 SF
1 TREE PER 200 SF PAVING=3265/200=17	TREES PROVIDED: 23
1 LF SEATING PER 40 SF PLAZA/PARK=6529/40=164 LF	SEATING PROVIDED: 170 LF (18' HT. CIP CONC SEATWALLS)
TYPE V LANDSCAPING, 5' REQUIRED	NOTE: GREATER THAN 5' PROVIDED, SEE PLAN.
NATIVE/ DROUGHT TOLERANT SHRUBS MAX. 5' OC.	SEE PLANT LIST
NATIVE/ DROUGHT TOLERANT GROUNDCOVER	

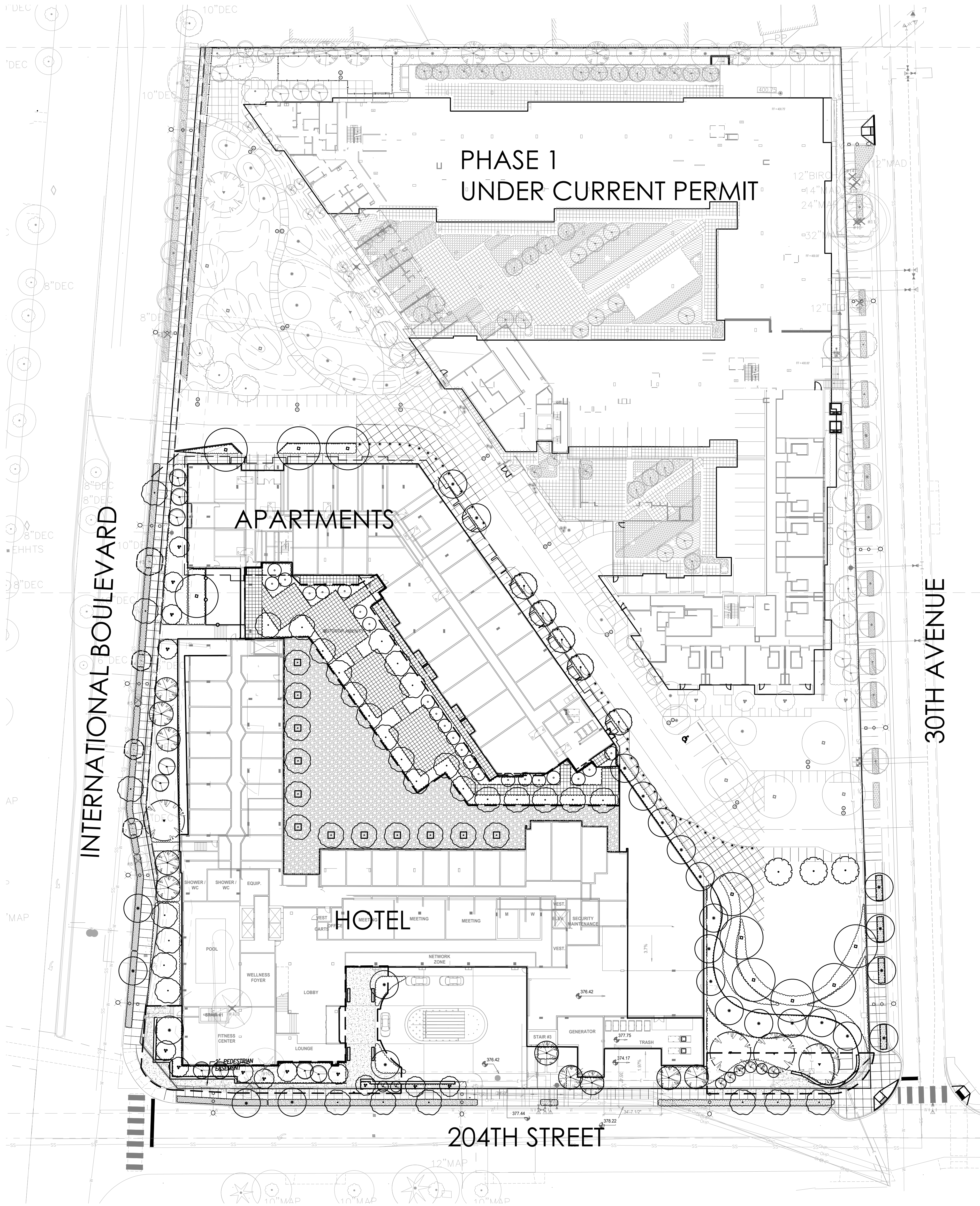
- #1 EXISTING TREE TO REMAIN, PROTECT THROUGH CONSTRUCTION AND  
PROVIDE MULCH AT BASE OF EXISTING TREES.  
NUMBERS CORRESPOND TO TABLE.  
SEE EXISTING TREE LEGEND FOR SIZE, CANOPY.
- #14 EXISTING TREE TO BE REMOVED

EXISTING TREE LEGEND  
NOTE: SIZE PER SURVEY. SPECIES APPROXIMATE PER L.A.

I.D. #		APPROX. DSH IN INCHES	SIGNIFICANT?	NOTES
3*	STREET TREES: LIQUIDAMBAR STYRACIFLUA/SWEETGUM	10	NO	SAVE
4*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO	SAVE
5*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO	REMOVE
6*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO	SAVE
7*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO	SAVE
8*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO	SAVE
103*	ON SITE TREES: PSEUDOTSUGA MENZIESII / DOUGLAS FIR	22	YES	REMOVE FOR BUILDING
104*	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	16	YES	REMOVE FOR BUILDING
105*	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	12	YES	REMOVE FOR UTILITIES EASMENT

MINIMUM SETBACK OF TREES IN RIGHT-OF WAY FROM FIXED  
OBJECTS SHALL MEET THE FOLLOWING CRITERIA:

- 50 FEET FROM INTERSECTION VERTICAL CURB LINE
- 20 FEET FROM LUMINARIES AND UTILITY POLES
- 20 FEET FROM SIGNS
- 15 FEET FROM BUS SHELTERS,
- 10 FEET FROM DRIVEWAYS
- 10 FEET FROM UTILITY VAULTS/BOXES
- 10 FEET BACK OF SIDEWALK FOR ALL EVERGREEN TREES
- 5 FEET FROM HYDRANTS
- 2 FEET FROM BACK OF SIDEWALK FOR ALL DECIDUOUS  
TREES
- OUTSIDE IDENTIFIED SIGHT DISTANCE RESTRICTED AREAS





ON SITE PLANTS:

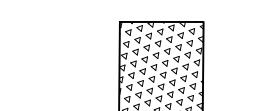
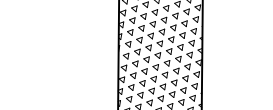

TREES:

	MILVUS PARVIFOLIA 'EMER II' / ALLEE LACEBARK ELM	2 1/2" CAL.	B&B	PER PLAN
	PARROTIA PERSICA / PERSIAN IRONWOOD 2" CAL.		B&B	PER PLAN
	CORNUS 'STARLIGHT' / STARLIGHT DOGWOOD	2" CAL.	B&B	PER PLAN
	ACER CIRCINATUM/VINE MAPLE	6'-8" HT., MIN. 3 B&B STEMS		PER PLAN
	ACER JAPONICUM / FULL MOON MAPLE (GREEN LEAFED VARIETY)	6'-8" HT., MIN. 3 B&B STEMS		PER PLAN
	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ HYBRID SERVICEBERRY	6'-8" HT.	B&B	PER PLAN
	MAGNOLIA STELATTA 'ROYAL STAR'/ STAR MAGNOLIA	#15	CONT.	PER PLAN
	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	10'-12" HT.	B&B	PER PLAN
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / LIMBAR PINE	6'-8" HT.	B&B	15' O.C. SPACING TYP.



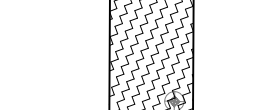
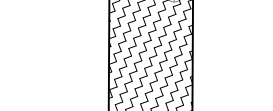

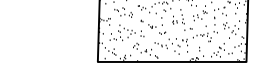
TYPE III / V LANDSCAPING:

	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	1 GAL.	CONT.	36" O.C. TRIANG. SPACING
	VIBURNUM BODANTENSE 'DAWN'/ DAWN VIBURNUM	5 GAL.	CONT.	AS SHOWN
	HAMAMELIS / WITCH HAZEL 'ARNOLD'S PROMISE'	5 GAL.	CONT.	AS SHOWN
	CAMELIA SASANQA 'JEAN MAY' / JEAN MAY CAMELLIA	5 GAL.	CONT.	5' O.C.
	ILEX CRENATA 'NORTHERN BEAUTY' / JAPANESE HOLLY	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	SARCOCOCCA HOOKERIANA HUMILIS/ SWEETBOX	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	NANDINA DOMESTICA 'MOON BAY'/ DWARF HEAVENLY BAMBOO	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	PIERIS JAPONICA / ANDROMEDA	1 GAL.	CONT.	36" O.C. TRIANG. SPACING
	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'/ MINI FOUNTAINGRASS	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	VIBURNUM DAVIDII / DAVIDS VIBURNUM	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	LIRIOPE SPICATA / CREEPING LILYTURF	1 GAL.	CONT.	18" O.C. TRIANG. SPACING
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	4"	POT	18" O.C. TRIANG. SPACING

PRIVATE DRIVE / PARKING PLANTING STRIP:

	VIBURNUM DAVIDII/ DAVID'S VIBURNUM	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	LIRIOPE SPICATA / CREEPING LILYTURF	1 GAL.	CONT.	18" O.C. TRIANG. SPACING
	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA	1 GAL.	CONT.	30" O.C. TRIANG. SPACING






DECORATIVE LOBBY ENTRY PLANTINGS:

	PIERIS JAPONICA 'CAVATINE' / CAVATINE DWARF PIERIS	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	HELLEBORE ORIENTALIS / ORIENTAL HYBRID HELLEBORE	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	POLYSTICHUM SETIFERUM / SOFT SHIELD FERN	1 GAL.	CONT.	30" O.C. SPACING
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'/ MINI FOUNTAINGRASS	1 GAL.	CONT.	18" O.C. TRIANG. SPACING
	OPHIPOGON PLANISCAPUS 'NIGRESCENS'/ BLACK MONDO GRASS	1 GAL.	CONT.	18" O.C. TRIANG. SPACING
	LAWN - SOD			

RIGHTS OF WAY:

TREES:




NOTE: SMALL TREES DUE TO 4' WIDE PLANTING STRIP.

	CORNUS 'STARLIGHT' / STARLIGHT DOGWOOD *	1.75" CAL. SINGLESTEM	B&B	PER PLAN, APPROX. 25' O.C.
	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ HYBRID SERVICEBERRY	1.75" CAL. SINGLESTEM	B&B	PER PLAN, APPROX. 25' O.C.
	MAACKIA AMURENSIS / AMUR MAACKIA	1.75" CAL. SINGLESTEM	B&B	PER PLAN, APPROX. 25' O.C.
	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE' / MUSKOGEE CREPE MYRTLE	1.75" CAL. SINGLESTEM	B&B	PER PLAN, APPROX. 25' O.C.
	PARROTIA PERSICA / PERSIAN IRONWOOD	1.75" CAL. SINGLESTEM	B&B	PER PLAN, APPROX. 25' O.C.

SHRUBS/PERENNIALS UNDER 24" HT.

	MAHONIA REPENS / CREEPING OREGON GRAPE	1 GAL.	CONT.	18" O.C. TRIANG. SPACING
	VIBURNUM DAVIDII/ DAVID'S VIBURNUM	1 GAL.	CONT.	36" O.C. TRIANG. SPACING
	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	1 GAL.	CONT.	36" O.C. TRIANG. SPACING
	ILEX CRENATA 'NORTHERN BEAUTY' / JAPANESE HOLLY	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA	1 GAL.	CONT.	30" O.C. TRIANG. SPACING
	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE	1 GAL.	CONT.	30" O.C. TRIANG. SPACING

GROUNDCOVER:

	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	4"	POT	18" O.C. TRIANG. SPACING
	LIRIOPE SPICATA / CREEPING LILYTURF	1 GAL.	CONT.	24" O.C. TRIANG. SPACING
	RUBUS CALYCNOIDES 'EMERALD CARPET'/ CREEPING RASPBERRY	1 GAL.	CONT.	24" O.C. TRIANG. SPACING


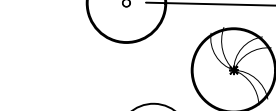

PODIUM PLANT LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE
--------	-----------------------------	------

NOTE: ALL PLANTING AREAS TO BE ON AUTOMATIC IRRIGATION SYSTEM

ON STRUCTURE PLANTING:

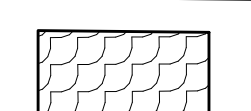
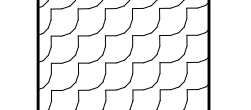
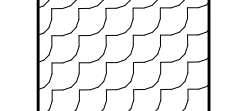
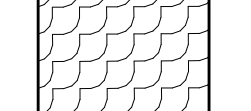
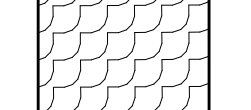
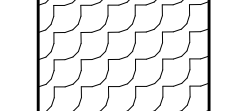
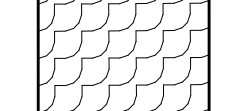
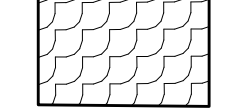






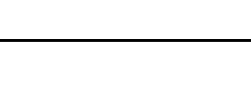
LARGER SHRUBS:

	ACER CIRCINATUM/VINE MAPLE	#10	MULTI
	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ HYBRID SERVICEBERRY	#10	
	MAGNOLIA STELATTA 'ROYAL STAR'/ STAR MAGNOLIA	#5 CONT	
	ARBUTUS UNEDO 'COMPACTA' / COMPACT STRAWBERRYTREE	#5 CONT	
	LAGERSTROEMIA X 'NATCHEZ'/ NATCHEZ CREPE MYRTLE	#10 CONT	MULTI
	HAMAMELIS / WITCH HAZEL 'ARNOLD'S PROMISE'	#5 CONT	

UNDERSTORY PLANT MIXES

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE/CONDITION/SF
--------	-----------------------------	-------------------

PODIUM MIX #1

	EPIMEDIUM RUBRUM	4" POTS, 18" O.C.
	PIERIS JAPONICA 'LITTLE HEATH' / LITTLE HEATH PIERIS	1 GAL., CONT., 30" O.C.
	BUXUS MICROPHYLLA 'WINTER GEM' / WINTER GEM BOXWOOD	1 GAL., CONT., 30" O.C.
	LIRIOPE SPICATA / CREEPING LILYTURF	1 GAL., CONT., 30" O.C.
	ANEMONE 'HONORINE JOBERT' / JAPANESE ANEMONE	1 GAL., CONT., 30" O.C.
	VIBURNUM BODANTENSE 'DAWN'/ DAWN VIBURNUM	2 GAL., CONT., AS SHOWN
	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA	1 GAL., CONT., 30" O.C.
	PACHYSANDRA TERMINALIS / JAPANESE SPURGE	4" POTS, 18" O.C.
	POLYSTICHUM MUNITUM / SWORDFERN	1 GAL., CONT., 30" O.C.
	NANDINA DOMESTICA 'MOON BAY'/ DWARF HEAVENLY BAMBOO	1 GAL., CONT., 30" O.C.
	VIBURNUM DAVIDII / DAVIDS VIBURNUM	1 GAL., CONT., 30" O.C.
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	4" POTS, 18" O.C.
	DRYOPTERIS ERYTHROSORA / AUTUMN FERN	1 GAL., CONT., 30" O.C.
	ILEX CRENATA 'NORTHERN BEAUTY' / JAPANESE HOLLY	1 GAL., CONT., 30" O.C.
	OPHIPOGON PLANISCAPUS 'NIGRESCENS'/ BLACK MONDO GRASS	1 GAL. CONT., 8 PER PLANTER

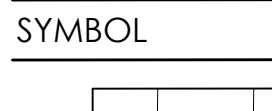
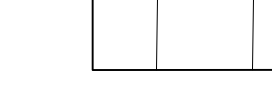
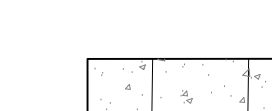
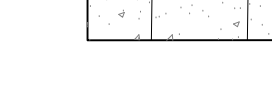
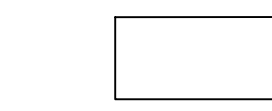
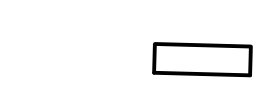
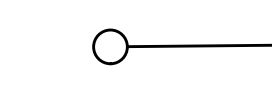

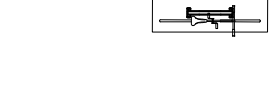


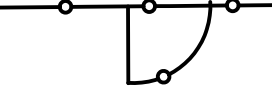
SOIL AT LAWN AREAS:

- TOPSOIL: TWO-WAY MIX, AVAILABLE AT CEDAR GROVE COMPOSTING, MAPLE VALLEY, WA, (877) 764-5748, OR APPROVED EQUAL. TOPSOIL MUST HAVE AN ORGANIC MATTER CONTENT OF 5% DRY WEIGHT IN TURF AREAS, PH 5.5 TO 7.5.
- COMPOST USED TO ACHIEVE THE REQUIRED SOIL MATTER CONTENT MUST MEET THE DEFINITION OF "COMPOSTED MATERIALS" IN WAC 173-350-220.
- SOIL PREPARATION: LOOSEN SUBGRADE SOIL TO A DEPTH OF 4-6 INCHES W/CULTIMULCHER OR SIMILAR EQUIPMENT. REMOVE STONES, GRAVEL, STICKS, ETC.
- PLACEMENT: TOPSOIL MINIMUM DEPTH 8". SPREAD 2" OF PLANTING SOIL MIX OVER LOOSENED SUBGRADE. MIX THOROUGHLY INTO TOP 4-INCHES OF SUBGRADE. SPREAD REMAINDER TO MEET REQUIRED GRADES. HOLD 3" BELOW ADJACENT PAVED WALKS, CURBS, AND PLANTER WALLS TO ACCOMMODATE MULCH.
- INSPECTION: AT FINAL STAGE OF CONSTRUCTION, CALL CITY OF SEATAC AT 206-973-4764 TO REQUEST A FINAL EROSION SEDIMENTATION CONTROL INSPECTION (FESC), PROVIDING RECEIPTS FOR AMENDMENTS AND SOIL PH TEST RESULTS COMPLYING WITH SEATAC SOIL AMENDMENT REQUIREMENTS.


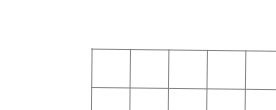
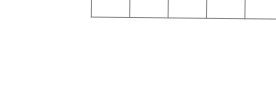
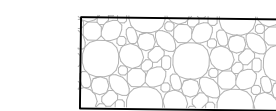
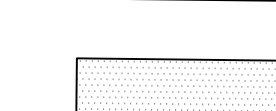



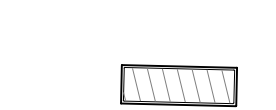
ON SITE MULCH:

- COARSE BARK MULCH
- MINIMUM DEPTH 2".

MATERIALS AND FINISHES

SYMBOL	DESCRIPTION
	CIP PAVING. LIGHT BROOM FINISH. DEEP TOOL JOINTS. NO SHINERS. SECTION: REF. CIVIL. CONTRACTION JOINTS @ 5' O.C. U.O.N. EXP. JT @ 10' O.C. U.O.N., REF. CITY OF SEATAC.
	DECORATIVE CIP PAVING AT PUBLIC OPEN SPACE
	
	
	MULCH AREAS ONLY (UNDER TREES IN LAWN, ADJACENT TO BUILDING, UNDER EXTG. TREES)
	CIP CONC SEATWALL, 18" HT, 18" D, LENGTH PER PLAN
	STREET LIGHT, REF. CIVIL AND ELEC. (STANDARD PER CITY)
	PEDESTRIAN POLE LIGHT, MIN. 18" FROM FACE OF CURB, REF. CIVIL AND ELEC.
	OAHU BIKE RACK, STAINLESS STEEL, FROM SPORTWORKS, SURFACE MOUNT
	ARCHITECTURAL BOLLARD: 36" HT, 4" DIA. ST. STL., DOME TOP, EMBEDDED, SSF03040 BY CAL-PIPE, FOOTING PER MFR. 5' O.C. AT FLUSH CURB CONDITIONS ALONG THOUGH BLOCK CONNECTOR
	PICKET FENCING, 4' HT: MONTAGE PLUS, STYLE: MAGESTIC, 4' HT, POSTS 8' MAX. O.C. SPACING. POST SET IN 36" DEEP. 12" DIA CONC FOOTING. COLOR: BLACK. HARDWARE/LOCK/KEYCARD DETECTOR PER OWNER
	DOG AREA: 6" DEEP PEA GRAVEL OVER FILTER FABRIC, CONTAINED BY 4X6 PT HEADER, FLUSH W/ ADJACENT PAVING

PODIUM MATERIALS AND FINISHES

SYMBOL	DESCRIPTION
	PAVERS ON PEDESTALS: 24"x24X2" THICK PRECAST CONCRETE PAVERS, TEXADA HYDRAPRESSED SLABS, COLOR: CHARCOAL AVAILABLE FROM BELGARD.
	DRAIN ROCK/ PEBBLE MULCH
	
	ARTIFICIAL PLAY TURF, PLAYGROUND TURF BY FOREVER LAWN, INSTALL PER MFR RECOMMENDATIONS.
	
	ALL PLANTINGS ON STRUCTURE: AVRS MULTILAYER GREENROOF SYSTEM BY COLUMBIA GREEN TECHNOLOGIES, 503.684.9123. INSTALL SYSTEM PER MFG. INSTRUCTIONS. SOIL DEPTH: 5' TO 10". ALL ON-STRUCTURE PLANTING MEDIA (ROOF SOIL) PER COLUMBIA GREEN, FOR WEIGHT, DRAINAGE, AND WARRANTY. DRAINS WITHIN PLANTING: ZURN Z350 PLANTER DOME.
	FIBERGLASS PLANTER, 2' W X 3' HT X 6' L WILSHIRE, BY TOURNESOL, TEL. 510-305-3035. ALT: ORE, TEL. 801-936-0499
	6" TALL BLACK METAL EDGING: SHIM AT BASE OVER DRAINAGE VALLEYS TO PROVIDE LEVEL TOP 2" ABOVE PAVERS.
	POWDERCOAT ALUMINUM PLANTER, 18" HT, DIMENSIONS PER PLAN, AVAILABLE FROM: DIADEM TEL. 503-894-5187, ORE TEL. 801-936-0499, GREEN THEORY TEL. 604.765.7002, OR TOURNESOL TEL. 510-305-3035.

# AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME

## RAINIER LANDING PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME

### CYMBALUK PROPERTIES, LLC

4103 10TH STREET SE  
EVERETT WA 98028

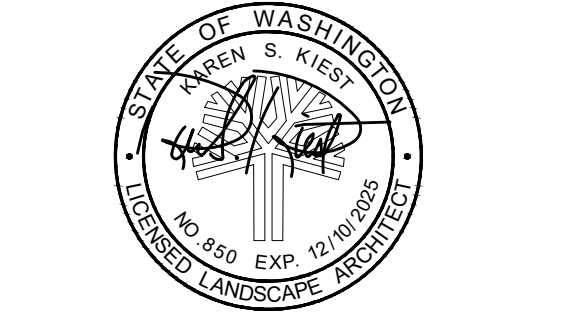
JURISDICTION STAMP

Karen Kiest

Landscape Architects

111 west john street suite 306  
seattle washington 98119  
206 323 6032  
www.kk-la.com

DESIGN PROFESSIONAL STAMP



SCALE

AS SHOWN

PROJECT NUMBER

24.343

DESCRIPTION

LANDSCAPE LEGEND

SHEET NUMBER

## SPR L1.10

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.







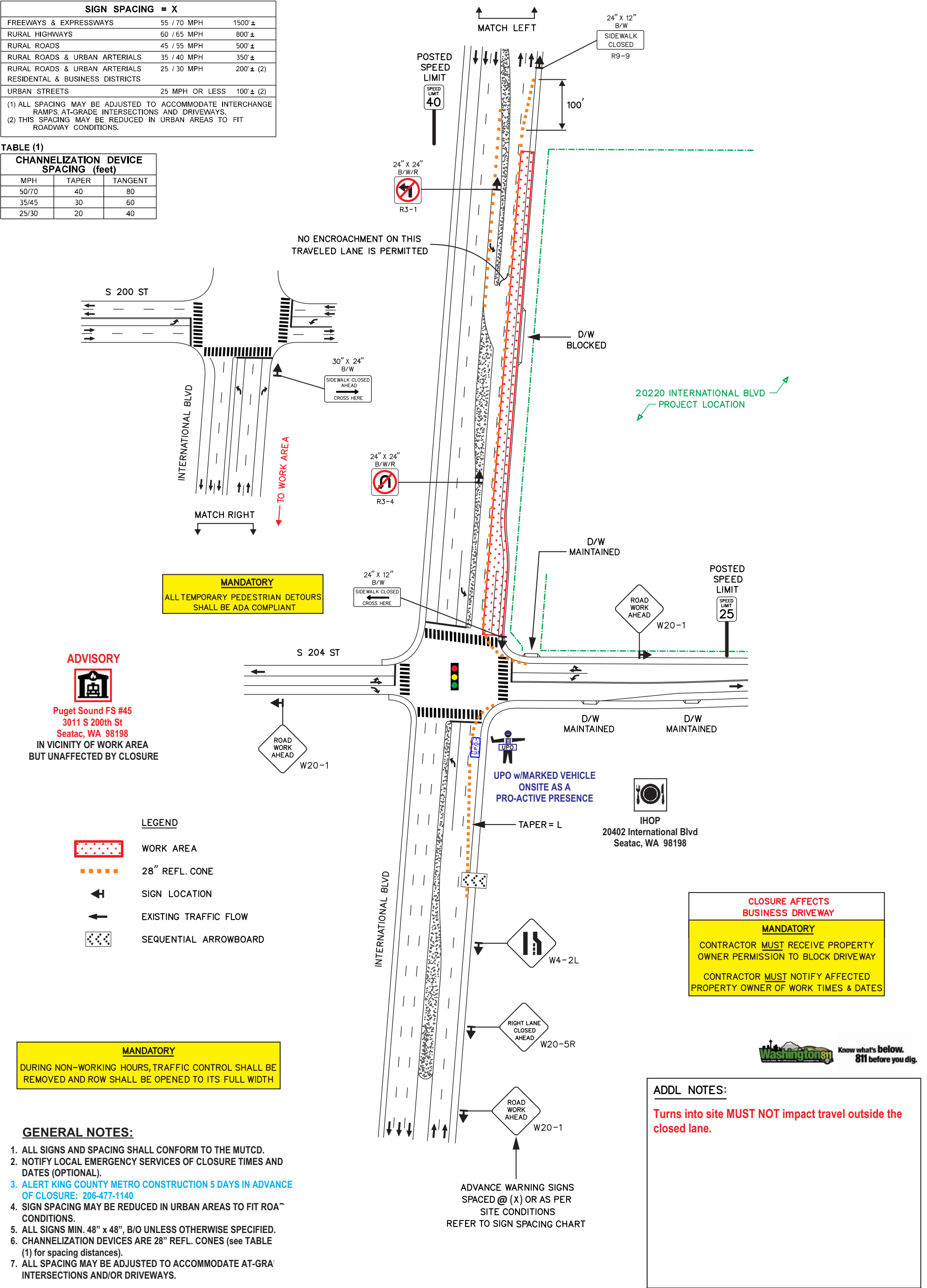
MINIMUM LANE CLOSURE TAPER LENGTH = L (feet)										
LANE WIDTH (feet)	Posted Speed (mph)									
	25	30	35	40	45	50	55	60	65	70
10	105	150	205	270	450	500	550	-	-	-
11	115	165	225	295	495	550	605	660	-	-
12	125	180	245	320	540	600	660	720	780	840

SIGN SPACING = X		
FREEWAYS & EXPRESSWAYS	55 / 70 MPH	1500' ±
RURAL HIGHWAYS	60 / 65 MPH	800' ±
RURAL ROADS	45 / 55 MPH	500' ±
RURAL ROADS & URBAN ARTERIALS	35 / 40 MPH	350' ±
RURAL ROADS & URBAN ARTERIALS RESIDENTIAL & BUSINESS DISTRICTS	25 / 30 MPH	200' ± (2)
URBAN STREETS	25 MPH OR LESS	100' ± (2)
(1) ALL SPACING MAY BE ADJUSTED TO ACCOMMODATE INTERCHANGE RAMP, AT-GRADE INTERSECTIONS AND DRIVEWAYS.		
(2) THIS SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROADWAY CONDITIONS.		

TABLE (1) CHANNELIZATION DEVICE SPACING (feet)		
MPH	TAPER	TANGENT
50/70	40	80
35/45	30	60
25/30	20	40

THIS TCP IS "STAND ALONE" AND SHALL NOT BE ACTIVE CONCURRENTLY WITH ANY OTHER TCP

TRAFFIC CONTROL PLAN  
SEATAC, WA



SYNERGYCD

TPN#  
3445000090  
PROJECT LOCATION  
SEATAC, WA  
DATE PREPARED  
REVISED 8/15/24

PREPARED BY  
CHRIS GROSE  
PHONE #  
253-258-1419  
EMAIL  
CHRIS@TRAFFICCONTROLPLAN.NET

EST. 2016

Traffic Control Plan Co. of WA

WASHINGTON STATE TRAFFIC CONTROL SUPERVISOR

Name: Christopher Grose  
LIC. No.: 406836  
Card No.: ES2 090350  
Date of Expiration: 11/30/2027  
Valid with photo ID  
Christopher D. Grose



TRAFFIC CONTROL PLAN  
SEATAC, WA



NOT TO SCALE

THIS TCP IS "STAND ALONE" AND SHALL NOT  
BE ACTIVE CONCURRENTLY WITH ANY OTHER TCP

TABLE (1)

CHANNELIZATION DEVICE SPACING (feet)		
MPH	TAPER	TANGENT
50/70	40	80
35/45	30	60
25/30	20	40

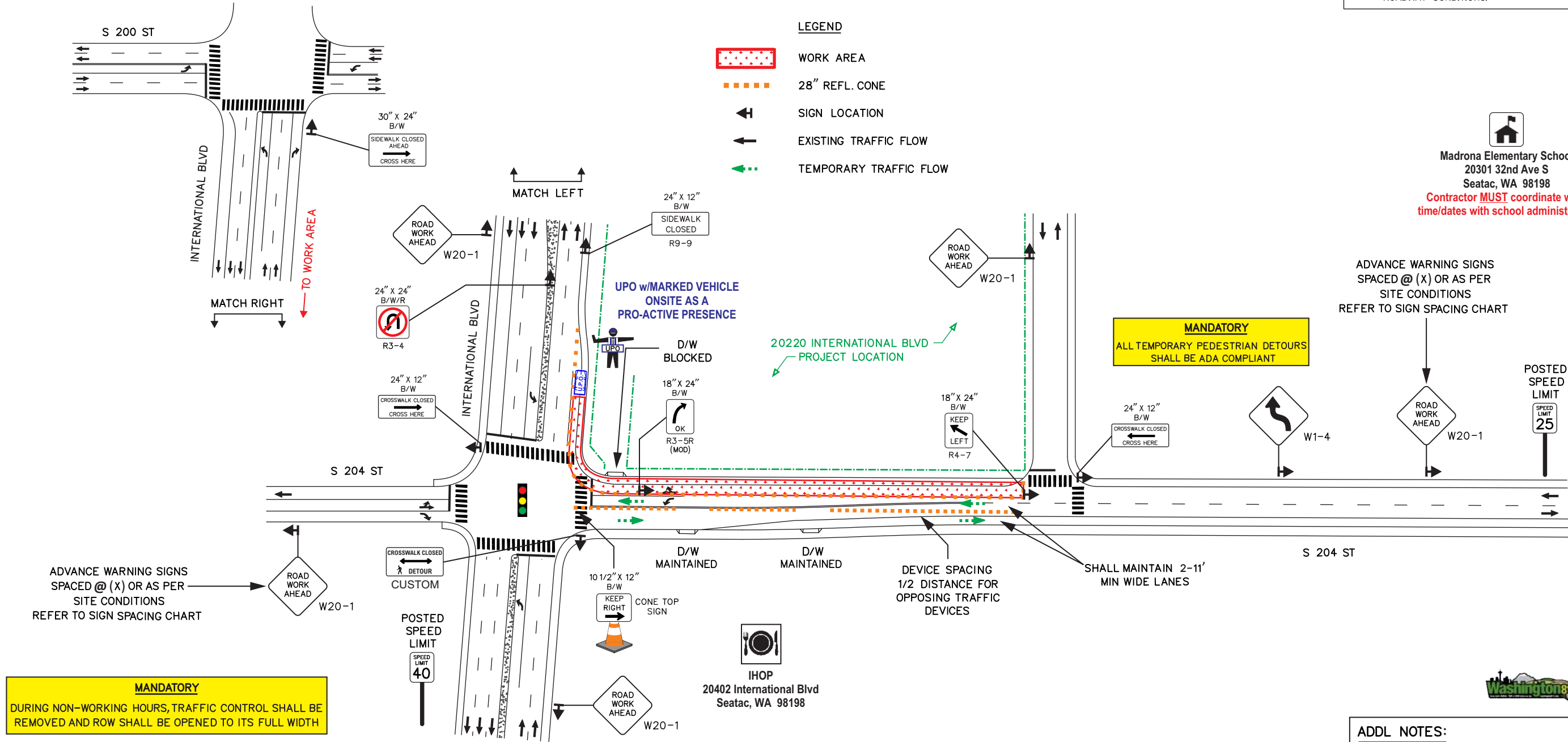
LANE WIDTH (feet)	MINIMUM LANE CLOSURE TAPER LENGTH = L (feet)									
	Posted Speed (mph)									
	25	30	35	40	45	50	55	60	65	70
10	105	150	205	270	450	500	550	-	-	-
11	115	165	225	295	495	550	605	660	-	-
12	125	180	245	320	540	600	660	720	780	840

SIGN SPACING = X		
FREeways & EXPRESSWAYS	55 / 70 MPH	1500' ±
RURAL HIGHWAYS	60 / 65 MPH	800' ±
RURAL ROADS	45 / 55 MPH	500' ±
RURAL ROADS & URBAN ARTERIALS	35 / 40 MPH	350' ±
RURAL ROADS & URBAN ARTERIALS	25 / 30 MPH	200' ± (2)
RESIDENTIAL & BUSINESS DISTRICTS		
URBAN STREETS	25 MPH OR LESS	100' ± (2)

(1) ALL SPACING MAY BE ADJUSTED TO ACCOMMODATE INTERCHANGE RAMPs, AT-GRADE INTERSECTIONS AND DRIVEWAYS.  
(2) THIS SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROADWAY CONDITIONS.

LEGEND

- WORK AREA
- 28" REFL. CONE
- SIGN LOCATION
- EXISTING TRAFFIC FLOW
- TEMPORARY TRAFFIC FLOW



**MANDATORY**  
DURING NON-WORKING HOURS, TRAFFIC CONTROL SHALL BE REMOVED AND ROW SHALL BE OPENED TO ITS FULL WIDTH

GENERAL NOTES:

- ALL SIGNS AND SPACING SHALL CONFORM TO THE MUTCD.
- NOTIFY LOCAL EMERGENCY SERVICES OF CLOSURE TIMES AND DATES (OPTIONAL).
- ALERT KING COUNTY METRO CONSTRUCTION 5 DAYS IN ADVANCE OF CLOSURE: 206-477-1140
- SIGN SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROAD CONDITIONS.
- ALL SIGNS MIN. 48" x 48", B/O UNLESS OTHERWISE SPECIFIED.
- CHANNELIZATION DEVICES ARE 28" REFL. CONES (see TABLE (1) for spacing distances).
- ALL SPACING MAY BE ADJUSTED TO ACCOMMODATE AT-GRADE INTERSECTIONS AND/OR DRIVEWAYS.

**CLOSURE AFFECTS  
BUSINESS DRIVEWAY**  
**MANDATORY**  
CONTRACTOR **MUST** RECEIVE PROPERTY OWNER PERMISSION TO BLOCK DRIVEWAY  
CONTRACTOR **MUST** NOTIFY AFFECTED PROPERTY OWNER OF WORK TIMES & DATES

**ADVISORY**  
  
Puget Sound FS #45  
3011 S 200th St  
Seatac, WA 98198  
IN VICINITY OF WORK AREA  
BUT UNAFFECTED BY CLOSURE

ADDL NOTES:

Traffic flow in both directions of International Blvd  
unaffected by closure.



TPN#	3445000090	PREPARED BY	CHRIS GROSE
PROJECT LOCATION	SEATAC, WA	PHONE #	253-258-1419
DATE PREPARED	REVISED 8/15/24	EMAIL	CHRIS@TRAFFICCONTROLPLAN.NET
SHEET #	SYN.02		



CONTRACTOR	SYNERGYCD
SUPERVISOR	BILL SIMMONS
PHONE NUMBER	(425) 488-5400







SIGN SPACING = X		
FREEWAYS & EXPRESSWAYS	55 / 70 MPH	1500' ±
RURAL HIGHWAYS	60 / 65 MPH	800' ±
RURAL ROADS	45 / 55 MPH	500' ±
RURAL ROADS & URBAN ARTERIALS	35 / 40 MPH	350' ±
RURAL ROADS & URBAN ARTERIALS	25 / 30 MPH	200' ± (2)
RESIDENTIAL & BUSINESS DISTRICTS		
URBAN STREETS	25 MPH OR LESS	100' ± (2)
(1) ALL SPACING MAY BE ADJUSTED TO ACCOMMODATE INTERCHANGE RAMP, AT-GRADE INTERSECTIONS AND DRIVEWAYS. (2) THIS SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROADWAY CONDITIONS.		

ONE LANE, TWO-WAY TRAFFIC TAPER SPECS		
TAPER TYPE	LENGTH (feet)	# OF DEVICES
UPSTREAM TAPER	50' TO 100'	6 DEVICE MIN.
DOWNSTEAM TAPER	50' TO 100'	6 DEVICE MIN.

TABLE (1) CHANNELIZATION DEVICE SPACING (FEET)		
MPH	TAPER	TANGENT
50/65	10 TO 20	80
35/45	10 TO 20	60
25/30	10 TO 20	40

ADVISORY



Puget Sound FS #45  
3011 S 200th St  
Seatac, WA 98198

IN VICINITY OF WORK AREA  
BUT UNAFFECTED BY CLOSURE

IF APPLICABLE

THESE SIGNS SHALL BE DISPLAYED  
DURING NON-WORKING HOURS  
ACCORDING TO RCW 47.36.200



STEEL PLATES SHALL BE TACKED DOWN WITH COLD  
MIX TO PREVENT MOVEMENT DURING OFF HOURS

THIS TCP IS "STAND ALONE" AND SHALL NOT  
BE ACTIVE CONCURRENTLY WITH ANY OTHER TCP

TRAFFIC CONTROL PLAN  
SEATAC, WA



NOT TO SCALE

**MANDATORY**  
FLAGGERS SHALL CONFORM TO  
WAC 468.95.3015, 468.95.302 & 296.155.305

**MANDATORY**  
DURING HOURS OF DARKNESS, FLAGGER STATIONS SHALL BE  
ILLUMINATED WITHOUT CAUSING GLARE TO THE TRAVELING PUBLIC  
USING PORTABLE LIGHT TOWER OR APPROVED ALTERNATIVE  
WAC 296-155-305 SECTION 9(c)

LEGEND



WORK AREA



28" REFL. CONE



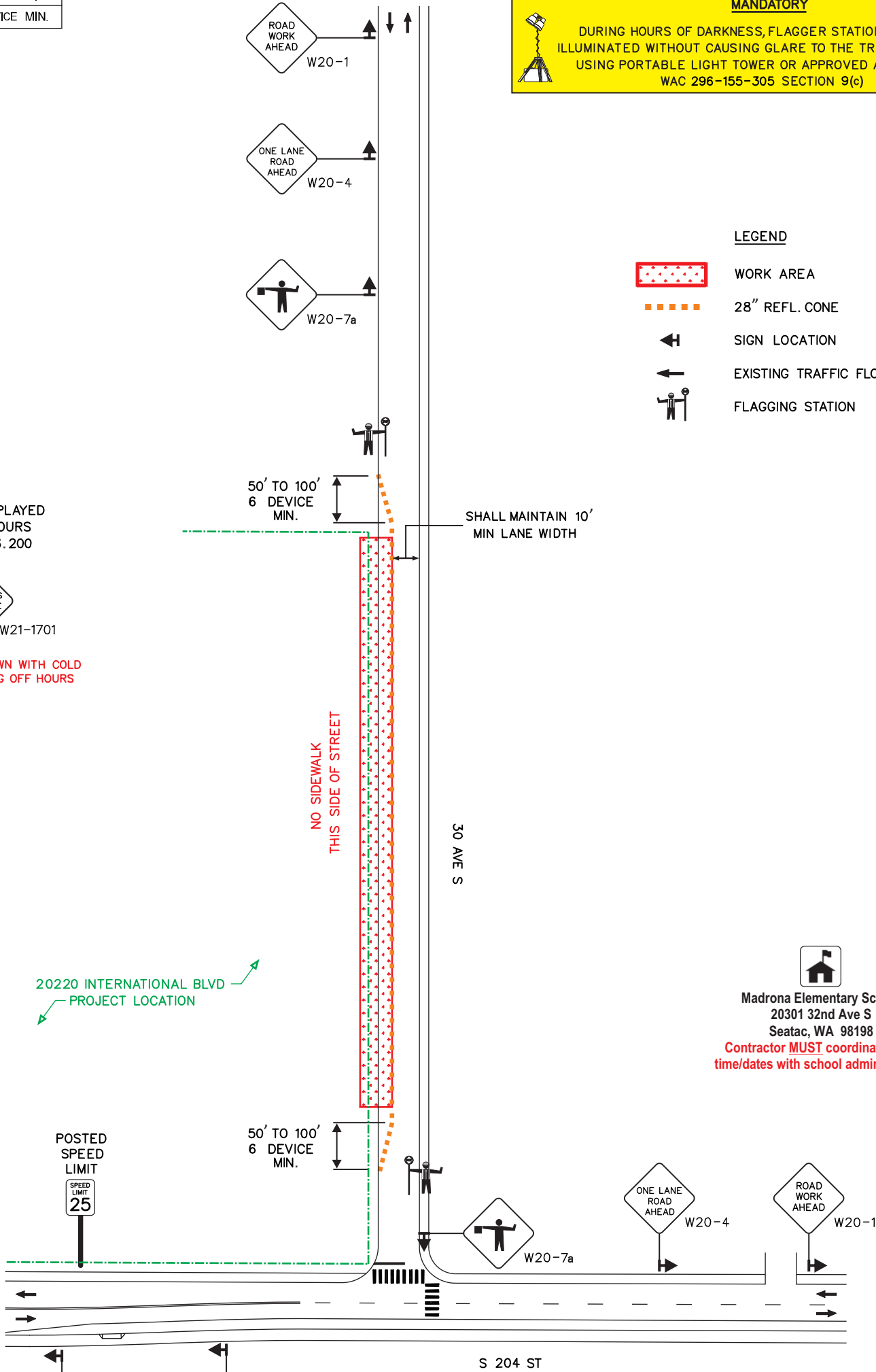
SIGN LOCATION



EXISTING TRAFFIC FLOW



FLAGGING STATION



ADVANCE WARNING SIGNS  
SPACED @ (X) OR AS PER  
SITE CONDITIONS  
REFER TO SIGN SPACING CHART

GENERAL NOTES:

- ALL SIGNS AND SPACING SHALL CONFORM TO THE MUTCD.
- NOTIFY LOCAL EMERGENCY SERVICES OF CLOSURE TIMES AND DATES (OPTIONAL).
- SIGN SPACING MAY BE REDUCED IN URBAN AREAS TO FIT ROAD CONDITIONS.
- ALL SIGNS MIN. 48" x 48", B/O UNLESS OTHERWISE SPECIFIED.
- CHANNELIZATION DEVICES ARE 28" REFL. CONES (see TABLE (1) for spacing distances).
- ALL SPACING MAY BE ADJUSTED TO ACCOMMODATE AT-GRADE INTERSECTIONS AND/OR DRIVEWAYS.

**MANDATORY**  
DURING NON-WORKING HOURS, TRAFFIC CONTROL SHALL BE  
REMOVED AND ROW SHALL BE OPENED TO ITS FULL WIDTH

ADDL NOTES:



Know what's below.  
811 before you dig.

CONTRACTOR SYNERGYCD
SUPERVISOR BILL SIMMONS
PHONE NUMBER (425) 488-5400

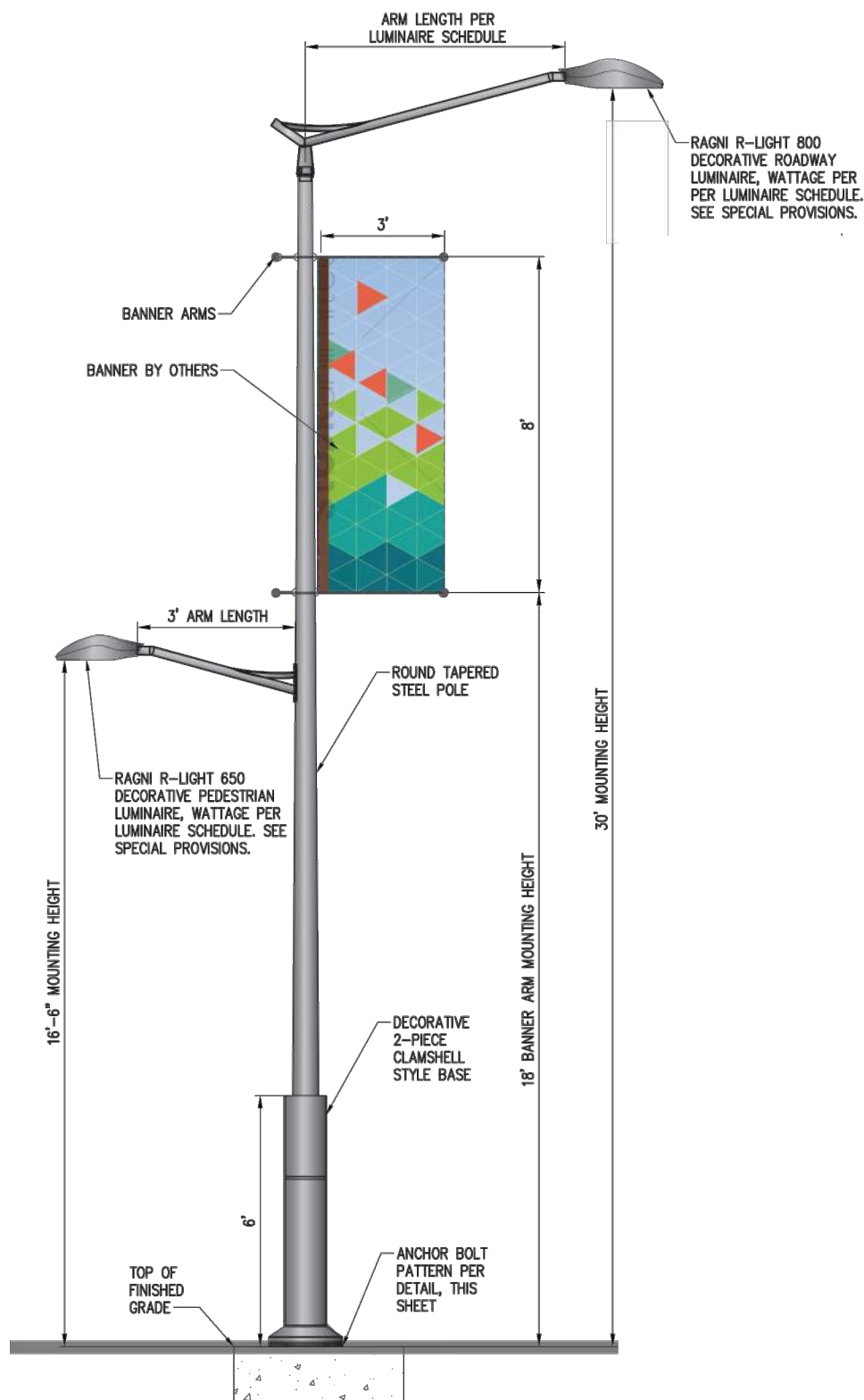
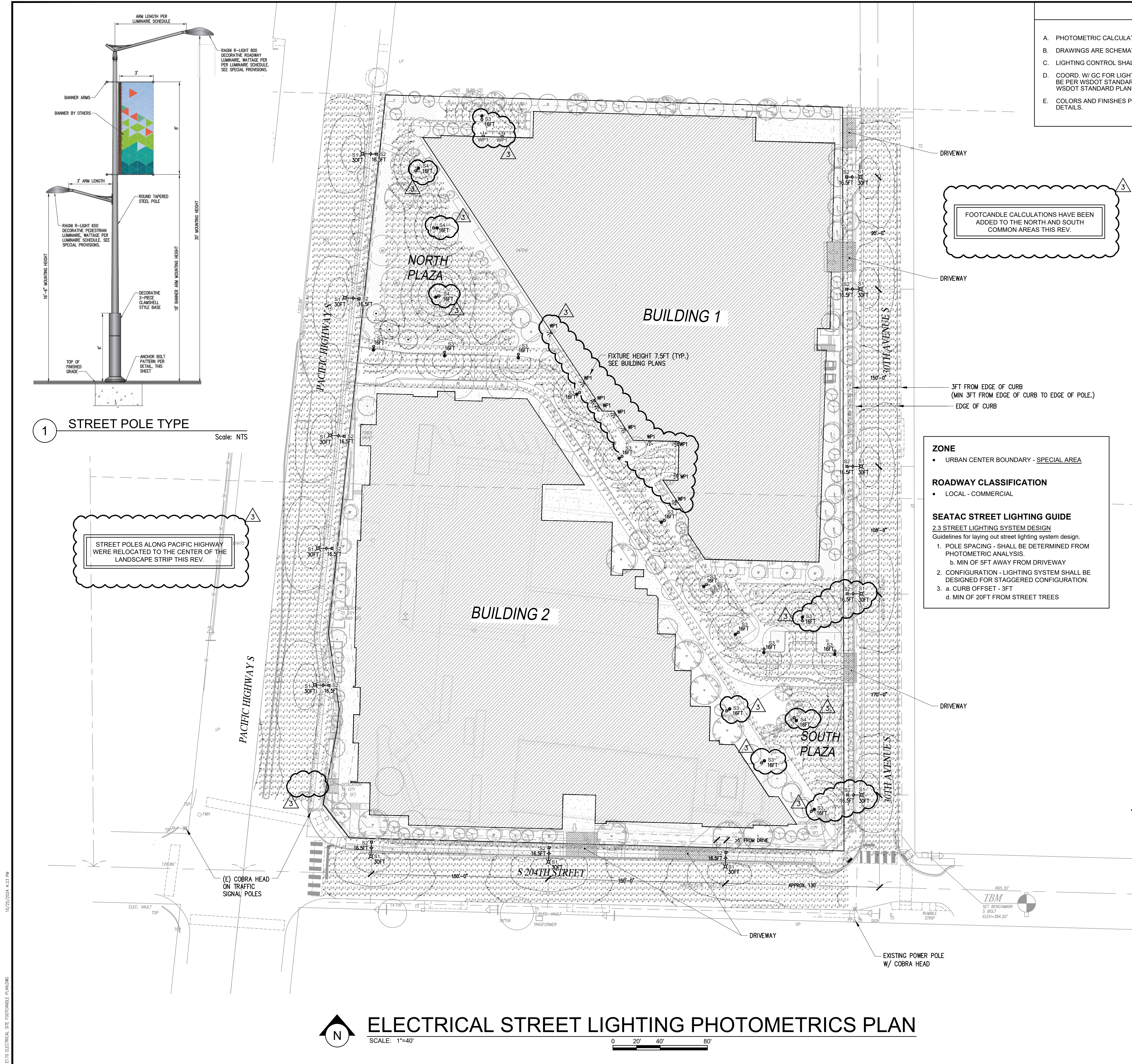


TPN# 3445000090	PROJECT LOCATION SEATAC, WA
DATE PREPARED 7/30/24	SHEET # SYN.04

PREPARED BY CHRIS GROSE
PHONE # 253-258-1419
EMAIL CHRIS@TRAFFICCONTROLPLAN.NET

EST. 2016 Traffic Control Plan Co. of WA	WASHINGTON STATE TRAFFIC CONTROL SUPERVISOR Name: Christopher Grose LIC. No.: 406836 Card No.: ES2 090350 Date of Expiration: 11/30/2027 Valid with photo ID Christopher D. Grose
---------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------





1 STREET POLE TYPE

Scale: NTS

STREET POLES ALONG PACIFIC HIGHWAY WERE RELOCATED TO THE CENTER OF THE LANDSCAPE STRIP THIS REV.

FOOTCANDLE CALCULATIONS HAVE BEEN ADDED TO THE NORTH AND SOUTH COMMON AREAS THIS REV.

- ZONE**
- URBAN CENTER BOUNDARY - SPECIAL AREA
- ROADWAY CLASSIFICATION**
- LOCAL - COMMERCIAL
- SEATAC STREET LIGHTING GUIDE**
- 2.3 STREET LIGHTING SYSTEM DESIGN
- Guidelines for laying out street lighting system design.
1. POLE SPACING - SHALL BE DETERMINED FROM PHOTOMETRIC ANALYSIS.  
b. MIN OF 5FT AWAY FROM DRIVEWAY
  2. CONFIGURATION - LIGHTING SYSTEM SHALL BE DESIGNED FOR STAGGERED CONFIGURATION.
  3. a. CURB OFFSET - 3FT  
d. MIN OF 20FT FROM STREET TREES

GENERAL NOTES

- A. PHOTOMETRIC CALCULATIONS ASSUME A 0.8 LIGHTING LOSS FACTOR

B. DRAWINGS ARE SCHEMATIC & NOT ALL SHOWN TO SCALE.

C. LIGHTING CONTROL SHALL BE BY FIXTURE MOUNTED PE CELL.

D. COORD. W/ GC FOR LIGHT STANDARD FOUNDATION. DESIGN SHALL BE PER WSDOT STANDARD PLAN J-28.30-03. SLIP BASE SHALL BE PER WSDOT STANDARD PLAN J-28.42

E. COLORS AND FINISHES PER CITY OF SEATAC STANDARDS AND DETAILS.
- F. ALL STREET LIGHTS SHALL BE DARK SKY COMPLIANT FIXTURES.

G. PROVIDE AND INSTALL J-BOXES OF THE SIZE AND TYPE AS INDICATED ON PLANS PER WSDOT STANDARD PLAN J-40.10-04. BOXES SHALL BE ADJUSTED TO MATCH FINISH GRADE.

H. COORDINATE WITH PSE FOR INSTALLATION OF NEW UTILITY SERVICE, INCLUDING SERVICE TRANSFORMER, FEEDER LATERALS, ETC. TO ACCOMMODATE COMPLETE SYSTEM PER CITY OF SEATAC AND PSE STANDARDS AND SPECIFICATIONS.

I. COORDINATE WITH UTILITY PROVIDERS FOR PROPER CLEARANCE BETWEEN FIXTURES AND OVERHEAD LINES.

STREET LIGHTING ANALYSIS

Per City of SeaTac Policy Number PW-018: City Wide ROW Lighting Policy

DESCRIPTION	IESNA RECOMMENDED ILLUMINATION LEVEL (IESNA HANDBOOK 10th Edition)	CITY OF SEATAC STANDARDS	ACTUAL PER PHOTOMETRIC PLAN
<b>Road Class: Principal Arterial</b>			
<b>Pacific Highway South</b>			
<b>Roadways</b>			
Max. Pole Height	--	35 FT	30 FT
S1: Fixture Type for "Special Areas"	Fixture: Ragni Lighting R-Light 800, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.4 fc
Average Maintained Illuminance	--	1.3 fc	1.2 fc
Uniformity Ratio (AVG:MIN)	--	3:1	3.0:1
<b>Sidewalks</b>			
Max. Pole Height	--	16-1/2 FT	16-1/2 FT
S2: Fixture Type for "Special Areas"	Fixture: Ragni Lighting R-Light 650, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.2 fc
Average Maintained Illuminance	--	0.5 fc	1.0 fc
Uniformity Ratio (AVG:MIN)	--	4:1	5.0:1
<b>Road Class: Local - Commercial Road</b>			
<b>South 204th St</b>			
<b>Roadways</b>			
Max. Pole Height	--	35 FT	30 FT
S1: Fixture Type for "Special Areas"	Fixture: Ragni Lighting R-Light 800, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.3 fc
Average Maintained Illuminance	--	0.8 fc	1.0 fc
Uniformity Ratio (AVG:MIN)	--	6:1	3.3:1
<b>Sidewalks</b>			
Max. Pole Height	--	16-1/2 FT	16-1/2 FT
S2: Fixture Type for "Special Areas"	Fixture: Ragni Lighting R-Light 650, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.2 fc
Average Maintained Illuminance	--	0.5 fc	0.6 fc
Uniformity Ratio (AVG:MIN)	--	4:1	3.0:1
<b>Road Class: Local - Commercial Road</b>			
<b>30th Ave South</b>			
<b>Roadways</b>			
Max. Pole Height	--	35 ft	30 ft
S1: Fixture Type for "Special Areas"	Fixture: Ragni Lighting R-Light 800, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.3 fc
Average Maintained Illuminance	--	0.8 fc	1.1 fc
Uniformity Ratio (AVG:MIN)	--	6:1	3.7:1
<b>Sidewalks</b>			
Max. Pole Height	--	16-1/2 ft	16-1/2 ft
S2: Fixture Type for "Special Areas"	Fixture: Ragni Lighting R-Light 650, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.2 fc
Average Maintained Illuminance	--	0.5 fc	0.6 fc
Uniformity Ratio (AVG:MIN)	--	4:1	3.0:1
<b>Private Driveway</b>			
Max. Pole Height	--	16 ft	16 ft
S3: Fixture Type for Residential	Fixture: Cyclone Dornia Pendant, Dist. Type III See Lighting Fixture Schedule for additional information.		
Fixture Color Temperature	--	4000K	4000K
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.2 fc
Average Maintained Illuminance	0.8 fc	Per IES *	1.2 fc
Uniformity Ratio (AVG:MIN)	--	--	6:1
<b>South Plaza</b>			
Average Maintained Illuminance	0.5 fc	Per IES *	0.9 fc
Uniformity Ratio (AVG:MIN)	--	--	7:1
<b>North Plaza</b>			
Average Maintained Illuminance	0.5 fc	Per IES *	0.6 fc
Uniformity Ratio (AVG:MIN)	--	--	6:1
<b>North Plaza Walkway</b>			
Minimum Illuminance (Low)	0.2 fc min.	Per IES *	0.2 fc
Average Maintained Illuminance	--	0.5 fc	1.3 fc
Uniformity Ratio (AVG:MIN)	--	4:1	6.5:1
<b>Dog Park</b>			
Average Maintained Illuminance	0.5 fc	Per IES *	1.6 fc
Uniformity Ratio (AVG:MIN)	--	--	8:1

\* where code requirements are indicated w/ 'undefined', IESNA values shall be used as basis of design.

**RENSCH ENGINEERING**

MECHANICAL AND ELECTRICAL BUILDING DESIGN

111 AVE. C, SUITE 104  
SNOHOMISH, WA 98290

office: 360-863-6677  
fax: 360-863-3565



PROJECT  
NEW CONSTRUCTION  
**SEATAC APARTMENT** SITE LIGHTING

Address  
20220 INTERNATIONAL BLVD  
SEATAC, WASHINGTON 98198

REVISIONS	
1	CITY COMMENTS 08-15-2024
2	CITY COMMENTS 08-28-2024
3	CITY COMMENTS 10-25-2024

DATE \_\_\_\_\_

SHEET TITLE \_\_\_\_\_

ELECTRICAL STREET LIGHTING PHOTOMETRICS PLAN

PERMIT SET

DESIGNER: Jeff Hudson

CHECKED BY: Jeff Hudson

SHEET \_\_\_\_\_



**GENERAL NOTES**

1. ALL FINISH/COLOR BASED ON CITY OF SEATAC STANDARDS
2. CONFIRM ALL FIXTURE TYPES WITH CITY ENGINEER AND ENSURE FIXTURES INSTALLED DO NOT EXCEED INPUT WATTS INDICATED.
3. EC SHALL BE RESPONSIBLE TO INSTALL ALL CONTROL COMPONENTS AND WIRING PER MANUF'S REQUIREMENTS.
4. PROVIDE CONNECTIONS AND ACCESSORIES AS NEEDED.
5. SEE PLAN FOR OVERALL POLE HEIGHT
6. BUG RATING FROM IES PHOTOMETRICS

NOTES:

- \* IF RECEPTACLE LOAD IS OVER 10KW THEN THE AMOUNT OVER 10KW IS COUNTED AS 50% FOR NON-DWELLING UNITS PER 2020 NEC 220.44.
- \*\* THE LARGEST MOTOR OF THIS PANEL OR THE LARGEST MOTOR OF ANY SUBPANEL IS TAKEN AT 125%, ANY OTHER MOTORS ARE TAKEN AT 100%.



Другой вариант — это использование «облака» для хранения информации. В этом случае информация хранится в облаке, а на устройстве пользователя хранятся только метаданные. Это позволяет избежать необходимости хранить всю информацию на устройстве, что может быть полезно для устройств с ограниченной памятью. Однако, в этом случае информация хранится в облаке, что может быть нежелательно для устройств с ограниченной памятью.

GENERAL NOTES		KEY NOTES	LOAD TRADE - PACIFIC HWY S REMOVE (E) METAL HALIDE ST LTG: 4 * 200W = 800W ADD LED ST AND PED LTG: 6 * 73W + 6 * 19W = 552W	
---------------	-------------------------------------------------------------------------------------	-----------	-----------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

0/02/2024 4:23 PM

CAL SHEET - POWER PLANNING

A. PHOTOMETRIC CALCULATIONS ASSUME A 0.8 LIGHTING LOSS FACTOR

B. DRAWINGS ARE SCHEMATIC & NOT ALL SHOWN TO SCALE.

C. LIGHTING CONTROL SHALL BE BY FIXTURE MOUNTED PCE CELL.

D. COORD. W/ GC FOR LIGHT STANDARD FOUNDATION. DESIGN SHALL BE PER WSDOT STANDARD PLAN J-28 30-03. SLIP BASE SHALL BE PER WSDOT STANDARD PLAN J-28 42.

E. COLORS AND FINISHES PER CITY OF SEATAC STANDARDS AND DETAILS.

F. ALL STREET LIGHTS SHALL BE DARK SKY COMPLIANT FIXTURES.

G. PROVIDE AND INSTALL J-BOXES OF THE SIZE AND TYPE AS INDICATED ON PLANS PER WSDOT STANDARD PLAN J-40.10-04. BOXES SHALL BE ADJUSTED TO MATCH FINISH GRADE.

H. COORDINATE WITH PSE FOR INSTALLATION OF NEW UTILITY SERVICE, INCLUDING SERVICE TRANSFORMER, FEEDER LATERALS, ETC. TO ACCOMMODATE COMPLETE SYSTEM PER CITY OF SEATAC AND PSE STANDARDS AND SPECIFICATIONS.

I. COORDINATE WITH UTILITY PROVIDERS FOR PROPER CLEARANCE BETWEEN FIXTURES AND OVERHEAD LINES.

1. TRANSFORMER: FINAL PSE TRANSFORMER AND LATERAL PROVISIONS TO BE CONFIRMED WITH PSE ENGINEER, PRIOR TO START OF WORK. TRANSFORMER DESIGNED AND INSTALLED BY PSE.

2. TYPE D SERVICE CABINET: CABINET DESIGN AND INSTALLATION PER WSDOT STANDARD PLANS J-10.10-04 AND J-10.21-02. PRIOR TO ROUGH-IN, CONFIRM APPROVED LOCATION WITH CITY ENGINEER. COORDINATE WITH PSE FOR METERING REQUIREMENTS.

3. ALL EQUIPMENT SHALL BE GROUNDED PER NEC. SEE WSDOT STANDARD PLAN J-60.05-01 FOR GROUNDING DETAILS. CONDUIT/GROUND WIRE SHALL BE GREEN THWN OF CODE SIZE.

4. JUNCTION BOX: J-BOX DESIGN AND INSTALLATION PER WSDOT STANDARD PLAN J-40.10-04. CONTAINS CONDUCTORS FOR BOTH LIGHT FIXTURE AND POLE-MOUNTED RECEPTACLE.

5. CONDUCTORS AND CONDUITS: 2 SETS #8 AWG, EACH SET IN 2" SCH 40 PVC. 1 SET FOR POLE MOUNTED RECS AND 1 SET FOR LIGHT FIXTURES. FIELD VERIFY (E) U/G UTILITIES AND COORDINATE LOCATION.

6. SITE LIGHTING: DRIVEWAY LIGHTING TO BE POWERED OFF OF BUILDING HOUSE PANEL. LIGHTS SHALL BE CONTROLLED PER WA STATE ENERGY CODE INCLUDING DAYLIGHT SHUTOFF AND LIGHTING SETBACK REQUIREMENTS.

7. EXISTING POWER: CONNECT NEW STREET LIGHTING FIXTURES TO EXISTING LIGHTING CIRCUIT.

8. SPARE CONDUIT: INCLUDE (3) 4" SPARE CONDUIT ALONG PROJECT FRONTAGE IN SAME TRENCH OR ADJACENT TO LIGHTING CONDUIT.

ALL CONDUCTORS FOR STREET LIGHTING SHALL BE LABELED WITHIN JUNCTION BOXES PER CITY OF SEATAC ROW LIGHTING POLICY

LINE LOSS  
TOTAL VOLTAGE DROP FROM THE METER CABINET TO THE FURTHEST FIXTURE IS < 1%

TSP

SUBMIT

SLASH

TSP

ON TRAFFIC SIGNAL POLES

(E) METER CABINET (CONFIRM)

(E) 25KVA XFMR

126'-00"

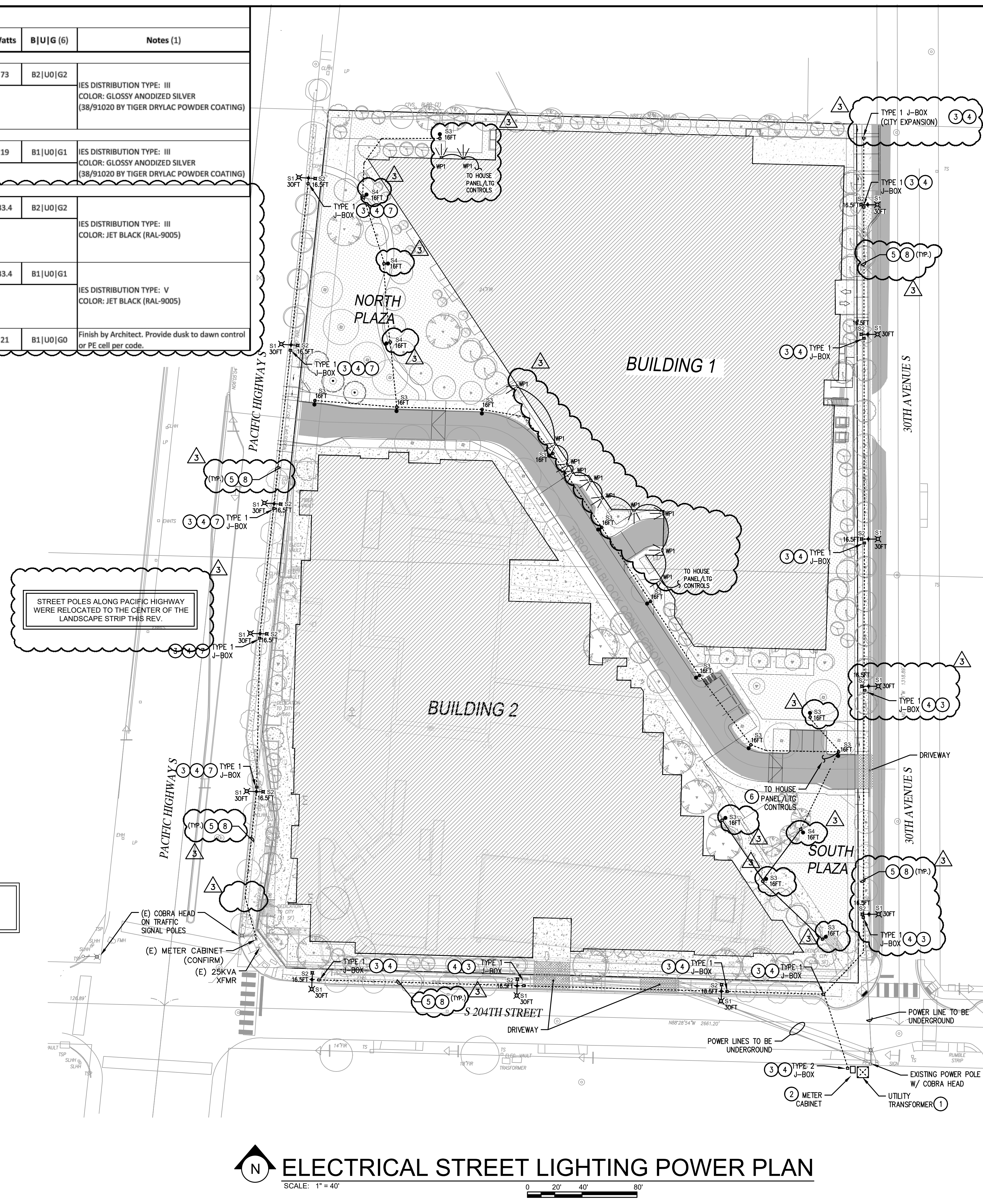
RULED

TSP

SUBMIT

SLASH

TSP

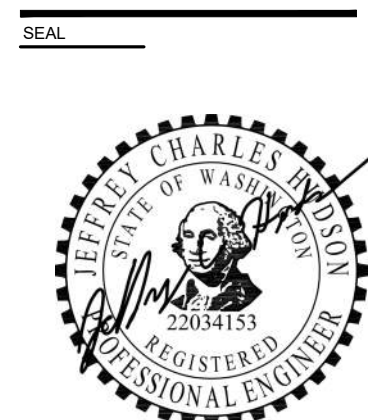


**RENSCH ENGINEERING**

**MECHANICAL AND ELECTRICAL BUILDING DESIGN**

111 AVE. C, SUITE 104  
 SNOHOMISH, WA 98290

office: 360-863-6677  
 fax: 360-863-3565



PROJECT  
NEW CONSTRUCTION  
**SEATAC APARTMENT** SITE LIGHTING  
Address  
20220 INTERNATIONAL BLVD  
SEATAC, WASHINGTON 98198

REVISIONS		
1	CITY COMMENTS	08-15-2024
2	CITY COMMENTS	08-28-2024
3	CITY COMMENTS	10-25-2024

DATE	04/24/2024
SHEET TITLE	ELECTRICAL STREET LIGHTING POWER PLAN

PERMIT SET

DESIGNER: Jeff Hudson

CHECKED BY: Jeff Hudson

SHEET

## E1.11









### Domia CY55P1B Approval – Specification

Project: \_\_\_\_\_ Order: \_\_\_\_\_  
Qty: \_\_\_\_\_ Luminaire: CY55P1B-FGF-T3MHS-P50-40K-MVOLT-BK Type: \_\_\_\_\_

**Housing Module:** Round bell-shaped dome with decorative flange made of cast A356 aluminum. A utility fitter for the driver module consisting of an aluminum extrusion is welded to the top of the housing module. A cast-aluminum tenon cap is mechanically assembled on top of the utility fitter and is fitted with a vertical tenon of Ø 1 7/8" (4.7cm) O.D. by 4" (10cm) long with a 0.200" (0.5cm) wall. The utility fitter's door offers tool free access to the driver module. The luminaire is suspended from a mounting with a 2 3/8" (6cm) outside Ø by 5 1/2" (14mm) minimum length, and 0.156" (0.4cm) wall tenon by means of set screws and a locking bolt.

**Lens Module:** Cast A356 aluminum frame accepts the optical module and is mechanically fixed to the housing module by a hinge and quarter-lum latch that provides tool-free access to the driver. The luminaire is available without a lens or with a flat lens inserted in the lens module.

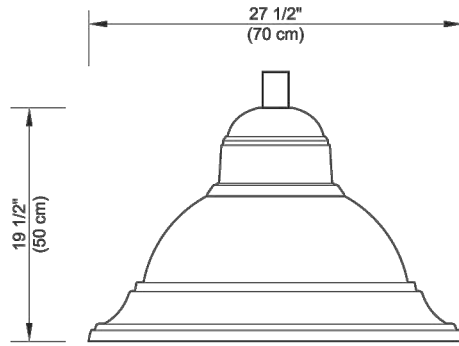
**Optical Module:** The molded A384 aluminum heat sink is designed to minimize the temperature of the LEDs, increasing their longevity and efficiency. The optical module is mechanically assembled to the heat-sink for easy replacement. The optical module is fully IP66 thanks to a molded silicone gasket. The high efficiency Orion LED optical engine is mechanically assembled on the heat sink. The lifetime of the LEDs is 100,000 hours. It is based on the LM-80 test and extrapolated with TM-21. This data is calculated when 50% of the LEDs produce 70% of their initial luminous flux (L70). The minimum color rendering index (CRI) is 70. The optical acrylic lens are designed to illuminate only where needed while achieving excellent uniformity with maximum spacing. The optical acrylic lens are sealed on the LED board. The available light distribution types are T1, T1A, T1AHS, T2, T2HS, T2M, T2MHS, T3, T3M, T3HS, T3MHS, T4, T4HS, T5. A white decorative acrylic protection plate is mechanically assembled under the optical module with the No Lens (NL) option.

**Driver module:** Class 1 (P70 à P110) or Class 2 (P10 à P60) power supply is mechanically attached to the heat sink and is replaceable without tools. Primary tension is of 120-480VAC Volts, 50/60Hz, THD max 20% with a high-power factor of 90%. Operating temperature is -40°F (-40°C) to 130°F (55°C), ROHS compliant. Assembled with pull-out connectors. Complete with 10K/5VA or 20K/10VA tripler surge protection for live-MALT, live-neutral and neutral-MALT lines according to IEEE/ANSI C82.41 2002 C. The regulator offers an output of 0-10 Volts.

**Wiring / Hardware:** Type TEWT 14-7 AWG, 12" (30.5cm) minimum exceeding luminaire. All electrical connections between the modules are provided with quick-disconnect connectors for easy maintenance. All outside accessible hardware is stainless steel.

**Color:** All Cyclone colors are available in textured (TX) or smooth (SM) finish. A durable polyester powder coating is applied and meets the AAMA 2604 requirements (5 years exposure to all weather conditions). The finish meets the ASTM G7, B117, D1654 and D2247 requirements relative to salt spray and humidity resistance. **Cyclone recommends the textured finish for this product.**

**Warranty:** 5-year limited warranty. Complete warranty terms located at:  
<https://www.cyclonelighting.com/assets/eu/legal/Cyclone-Sales-TermsConditions-en.pdf>



EPA: 1.01 ft<sup>2</sup> Weight: 49.1 lbs / 22.3 kg

Stamp/Approval: \_\_\_\_\_ Page 1 of 2  
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Cyclone Lighting: 2175 Des Entreprises Blvd, Terrebonne (QC) Canada J6Y 1W9 [www.cyclonelighting.com](http://www.cyclonelighting.com) Rev. 2023/07  
Phone: 1-866-436-5500 - [info@cyclonelighting.com](mailto:info@cyclonelighting.com) © 2023 Acuity Brands Lighting, Inc. All Rights Reserved.



### Domia CY55P1B Approval – Specification

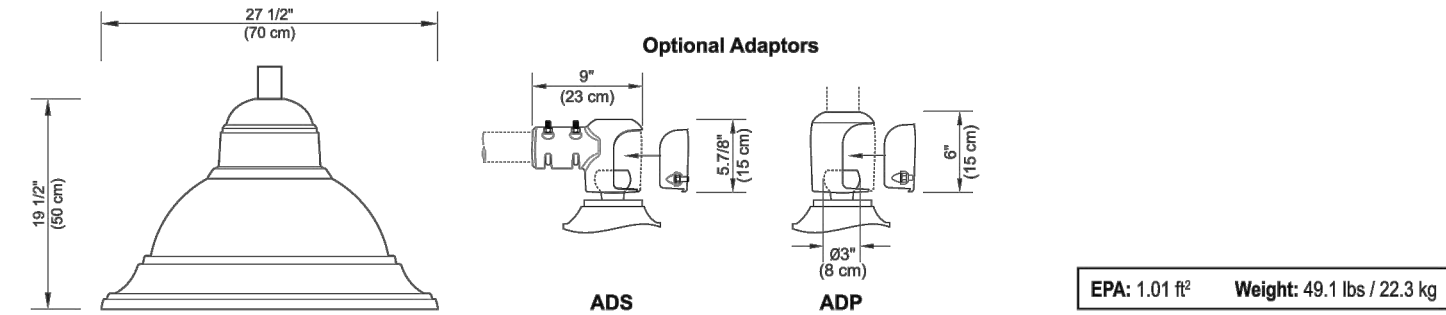
Project: \_\_\_\_\_ Order: \_\_\_\_\_  
Qty: \_\_\_\_\_ Luminaire: CY55P1B-FGF-T3MHS-P50-40K-MVOLT-BK Type: \_\_\_\_\_

#### Ordering Code

Model	Lens	Distribution	Performance Package	CCT	Volts	Surge Protector
CY55P1B	FGF	T3MHS	P50	40K	MVOLT	
CY55P1B	FGC	Flat Glass Clear	T1	30K	3000K	10KV 10K/5VA
	FGF	Flat Glass Frosted	T1A	30K	3000K	10KV 10K/5VA
	NL*	No Lens	T1AHS	40K	4000K	20KV 20K/10KA
			T2			120
			T2HS			208
			T2M			240
			T2MHS			277
			T3			347
			T3HS			480
			T3M			
			T3MHS			
			T4			
			T4HS			
			T5			

Adaptor	Photocell	Dimming	Color	Texture	Pre-finish
Fitted with a vertical tenon of Ø 1 7/8" (4.7cm) O.D. and 0.203" (0.5cm) wall	PC Button type Photocell	DIM 0-10 volts wire for external controls	BK Black RAL9005	TX Textured	~
ADS Side Mount Adaptor	PT Photocell W/7-PIN receptacle (ANSI C136.41)	PND506 Program 50% for 8 hours (11PM to 5AM)	DK Dark green RAL6012	SM Smooth	MG Marine grade pre-finish
ADP Suspended Mounting Adaptor	PX Shorting cap W/7-PIN receptacle (ANSI C136.41)	PND508 Program 50% for 8 hours (8PM to 5AM)	MA Marine blue RAL5013		
	PTL Long life photocell (ANSI C136.41)	SD* Field adjustable 10% increment step dimming switch	BZ Dark bronze RAL8019		
	PTDR* W/7-PIN receptacle (ANSI C136.41)	* Control factory for wireless controls and more information regarding SD option.	BG Burgundy RAL3005		
			GM Moss green RAL6005		
			PG Pale grey RAL7040		
			WH White RAL9003		
			BKH* Black Holophane		
			BZH* Dark bronze Holophane		
			GNH* Green Holophane		
			GRH* Graphite Holophane		
			GRH* Gray Holophane		
			SLH* Silver Holophane		
			WHH* White Holophane		
			* Holophane colors are only available in Smooth (SM) finish.		

\* Backward optic: The Orion light engine features 180° orientable optics that can be customized as needed. This makes it a better option to control two distribution types in a single light engine, simultaneously lighting a road and a blue path or sidewalk, for instance. Contact factory for more information.



Stamp/Approval: \_\_\_\_\_ Page 2 of 2  
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Cyclone Lighting: 2175 Des Entreprises Blvd, Terrebonne (QC) Canada J6Y 1W9 [www.cyclonelighting.com](http://www.cyclonelighting.com) Rev. 2023/07  
Phone: 1-866-436-5500 - [info@cyclonelighting.com](mailto:info@cyclonelighting.com) © 2023 Acuity Brands Lighting, Inc. All Rights Reserved.

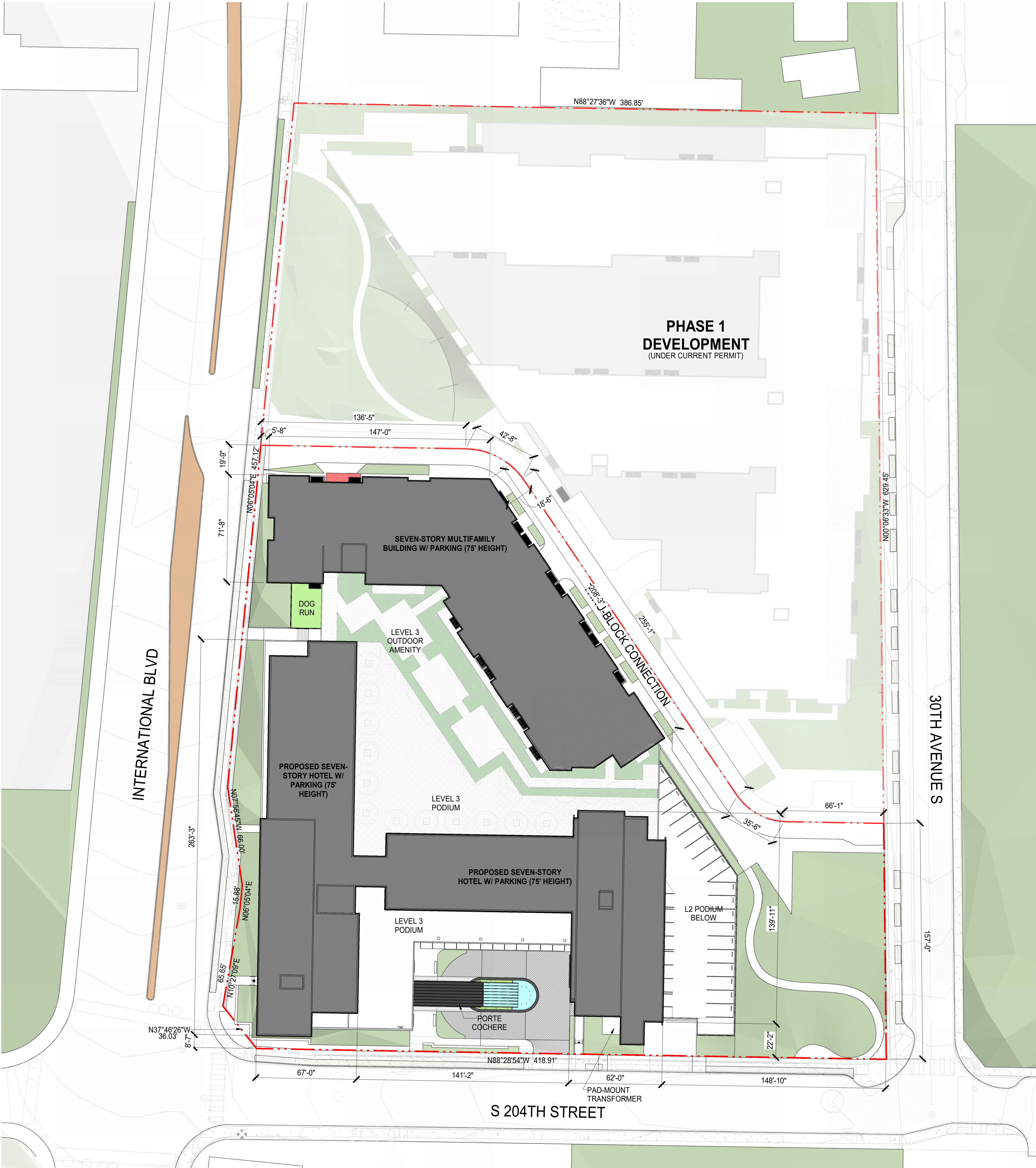
THIS FIXTURE IS USED ON THE PRIVATE DRIVEWAY AND COMMON AREAS, NOT THE CITY FRONTAGES. SEE RENCH RESPONSE LETTER DATED 8/16/24. CONTACT SEATAC ENGINEER CALEB SLATER FOR CLARIFICATION.



### Photometric Data Tables Domia - CY55P1B-FGF (Suspended - Flat Glass Frosted)

Performance Package	Watts System	Optic	30K					40K					LLD @ 25C											
			Lumen Output	Efficacy (LM/W)	B	U	G	Lumen Output	Efficacy (LM/W)	B	U	G	25K Hours	75K Hours	100K Hours									
P10	22.8	T1	2860	125	1	0	1	3003	132	1	0	1	0.98	0.98	0.97	0.97								
			T1A	2822	124	1	0	1	2963	130	1	0					1							
			T2	2816	115	1	0	1	2747	120	1	0					1							
			T2M	2705	119	1	0	1	2840	125	1	0					1							
			T3	2564	112	1	0	1	2662	118	1	0					1							
			T3M	2545	112	1	0	1	2673	117	1	0					1							
			T4	2508	110	1	0	1	2633	116	1	0					1							
			T5	2350	113	1	0	1	2709	119	1	0					1							
			T1	4089	122	2	0	1	4293	128	2	0					1							
			T7A	4035	121	2	0	1	4237	127	2	0					1							
			T2	3741	112	1	0	1	3928	118	2	0					1							
			T2M	3667	116	1	0	1	4060	122	1	0					1							
P20	33.4	T3	3665	110	1	0	1	3848	115	1	0	1	0.98	0.98	0.97	0.97								
			T3M	3640	109	1	0	1	3822	114	1	0					1							
			T4	3585	107	1	0	1	3764	113	1	0					1							
			T8	3698	110	1	0	1	3872	116	1	0					1							
			T9	5273	120	2	0	1	5537	126	2	0					1							
			T1A	5204	119	2	0	1	5464	125	2	0					1							
			T2	4824	110	1	0	1	5005	116	1	0					1							
			T2M	4688	114	2	0	1	5237	120	2	0					1							
			T3	4727	108	1	0	1	4963	113	1	0					1							
			T4	4694	107	1	0	1	4829	113	1	0					1							
			T4	4623	105	1	0	1	4854	111	1	0					1							
			T5	4756	109	2	0	1	4994	114	2	0					1							
P30	43.8	T6	6413	116	2	0	2	6734	122	2	0	2	0.98	0.98	0.97	0.97								
			T1A	6329	115	2	0	1	6645	121	2	0					1							
			T2	5867	106	2	0	1	6160	112	2	0					1							
			T2M	6066	110	2	0	1	6366	116	2	0					1							
			T3	5749	104	2	0	1	6036	110	2	0					1							
			T3M	5709	104	2	0	1	5994	109	2	0					1							
			T4	5623	102	2	0	1	5804	107	2	0					1							
			T5	5785	105	2	0	1	6074	110	2	0					1							
			T6	7315	115	3	0	2	7681	121	3	0					2							
			T7A	7216	114	2	0	2	7579	119	2	0					2							
			T2	6892	105	2	0	1	7027	111	2	0					1							
			T3M	6913	109	2	0	2	7265	114	2	0					2							
P50	63.5	T3	6557	103	2	0	1	6885	108	2	0	1	0.98	0.98	0.97	0.97								
			T3M	6511	103	2	0	2	6837	108	2	0					2							
			T4	6413	101	2	0	1	6734	106	2	0					1							
			T5	6558	104	2	0	1	6828	109	2	0					1							
			T6	9767	115	3	0	2	10255	120	3	0					2							
			T7A	9638	113	3	0	2	10120	119	3	0					2							
			T2	8835	105	2	0	2	9382	110	2	0					2							
			T2M	9236	108	2	0	2	9730	114	2	0					2							
			T3	8765	103	2	0	2	9193	108	2	0					2							
			T3M	8654	102	2	0	2	9129	107	2	0					2							
			T4	8603	100	2	0	2	8991	105	2	0					2							
			T5	8809	103	3	0	2	9249	108	3	0					2							
P60	85.3	T6	11468	103	3	0	3	12041	109	3	0	3	0.98	0.98	0.97	0.97								
			T1	12714	115	3	0	3	13350	120	3	0					3							
			T7A	12545	113	3	0	2	13172	119	3	0					2							
			T2	11831	105	3	0	2	12213	110	3	0					2							
			T2M	12025	108	3	0	2	12626	114	3	0					2							
			T3	11397	103	3	0	2	11967	108	3	0					2							
			T3M	11317	102	3	0	2	11883	107	3	0					2							
			T4	11448	101	3	0	2	11703	106	3	0					2							
			T5	11468	103	3	0	3	12041	109	3	0					3							
			T1	14388	111	3	0	3	15105	116	3	0					3							
			T7A	14195	109	3	0	3	14855	115	3	0					3							
			T2	13160	101	3	0	2	13818	107	3	0					2							
P70	110.9	T2M	13607	105	3	0	3	14867	110	3	0	3	0.98	0.98	0.97	0.97								
			T3	12986	99	3	0	2	13541	104	3	0					2							
			T3M	12905	99	3	0	3	13445	104	3	0					3							
			T4	12612	97	3	0	2	13243	102	3	0					2							
			T5	12975	100	3	0	2	13625	105	3	0					2							
			P80	129.7	T1	14388	111	3	0	3	15105	116					3	0	3	0.98	0.98	0.97	0.97	
						T7A	14195	109	3	0	3	14855					115	3	0					3
						T2	13160	101	3	0	2	13818					107	3	0					2
						T2M	13607	105	3	0	3	14867					110	3	0					3
						T3	12986	99	3	0	2	13541					104	3	0					2
						T3M	12905	99	3	0	3	13445					104	3	0					3
						T4	12612	97	3	0	2	13243					102	3	0					2
T5	12975	100				3	0	2	13625	105	3	0	2											
P90	149.5	T1				15444	112	3	0	3	16263	117	3	0	3	0.98	0.98	0.97	0.97					
						T7A	15251	110	3	0	3	16063	116	3	0									3
						T2	14216	102	3	0	2	14957	108	3	0									2
						T2M	14713	106	3	0	3	15454	111	3	0									3
			T3	13986	100	3	0	2	14625	106	3	0	2											
			T3M	13895	100	3	0	3	14529	106	3	0	3											
			T4	13644	98	3	0	2	14287	104	3	0	2											
			T5	13995	101	3	0	2	14636	106	3	0	2											
			T6	16444	113	3	0	3	17263	118	3	0	3											
			T7	16251	111	3	0	3	17063	117	3	0	3											
			T8	15216	103	3	0	2	15907	109	3	0	2											
			T9	15023	102	3	0	2	15707	108	3	0	2											





SITE PLAN DIAGRAM  
SCALE: 1" = 30'-0"

1  
SPR A1.01

SHS SUITE SCHEDULE

Level	Name	Count
LEVEL 2	SHS-K	10
LEVEL 2: 10		
LEVEL 3	SHS-K	16
LEVEL 3	SHS-K-ACC	1
LEVEL 3	SHS-QQ	10
LEVEL 3	SHS-QQ-ACC	1
LEVEL 3: 28		
LEVEL 4	SHS-K	16
LEVEL 4	SHS-K-ACC	1
LEVEL 4	SHS-QQ	10
LEVEL 4	SHS-QQ-ACC	1
LEVEL 4: 28		
LEVEL 5	SHS-K	16
LEVEL 5	SHS-QQ	11
LEVEL 5	SHS-QQ-ACC	1
LEVEL 5: 28		
LEVEL 6	SHS-K	16
LEVEL 6	SHS-K-ACC	1
LEVEL 6	SHS-QQ	10
LEVEL 6	SHS-QQ-ACC	1
LEVEL 6: 28		
LEVEL 7	SHS-K	16
LEVEL 7	SHS-K-ACC	1
LEVEL 7	SHS-QQ	10
LEVEL 7	SHS-QQ-ACC	1
LEVEL 7: 28		
TOTAL:	150	

TPS SUITE SCHEDULE

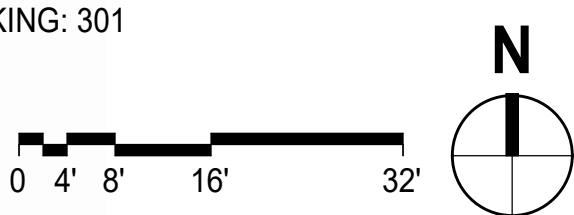
Level	Name	Count
LEVEL 3	TPS-1 BR	1
LEVEL 3	TPS-1 BR-ACC	1
LEVEL 3	TPS-K	16
LEVEL 3	TPS-K-ACC	1
LEVEL 3	TPS-QQ	10
LEVEL 3	TPS-QQ-ACC	1
LEVEL 3: 30		
LEVEL 4	TPS-1 BR	1
LEVEL 4	TPS-1 BR-ACC	1
LEVEL 4	TPS-K	16
LEVEL 4	TPS-K-ACC	1
LEVEL 4	TPS-QQ	10
LEVEL 4	TPS-QQ-ACC	1
LEVEL 4: 30		
LEVEL 5	TPS-1 BR	1
LEVEL 5	TPS-1 BR-ACC	1
LEVEL 5	TPS-K	16
LEVEL 5	TPS-K-ACC	1
LEVEL 5	TPS-QQ	10
LEVEL 5	TPS-QQ-ACC	1
LEVEL 5: 30		
LEVEL 6	TPS-1 BR	1
LEVEL 6	TPS-1 BR-ACC	1
LEVEL 6	TPS-K	16
LEVEL 6	TPS-K-ACC	1
LEVEL 6	TPS-QQ	10
LEVEL 6	TPS-QQ-ACC	1
LEVEL 6: 30		
LEVEL 7	TPS-1 BR	1
LEVEL 7	TPS-1 BR-ACC	1
LEVEL 7	TPS-K	16
LEVEL 7	TPS-K-ACC	1
LEVEL 7	TPS-QQ	10
LEVEL 7	TPS-QQ-ACC	1
LEVEL 7: 30		
TOTAL:	150	

RES. UNIT SCHEDULE

Level	Name	Count
LEVEL 2	1BR	1
LEVEL 2	STUDIO	4
LEVEL 2: 5		
LEVEL 3	1BR	12
LEVEL 3	2BR	6
LEVEL 3	STUDIO	8
LEVEL 3: 26		
LEVEL 4	1BR	13
LEVEL 4	2BR	6
LEVEL 4	STUDIO	8
LEVEL 4: 27		
LEVEL 5	1BR	13
LEVEL 5	2BR	6
LEVEL 5	STUDIO	8
LEVEL 5: 27		
LEVEL 6	1BR	13
LEVEL 6	2BR	6
LEVEL 6	STUDIO	8
LEVEL 6: 27		
LEVEL 7	1BR	13
LEVEL 7	2BR	6
LEVEL 7	STUDIO	8
LEVEL 7: 27		
TOTAL:	139	

PARKING SCHEDULE

Level	Type Mark	Count
LEVEL 1	ACCESSIBLE	2
LEVEL 1	ACCESSIBLE VAN	1
LEVEL 1	COMPACT LONG	131
LEVEL 1	STANDARD	41
LEVEL 1: 175		
LEVEL 2	ACCESSIBLE	9
LEVEL 2	ACCESSIBLE VAN	1
LEVEL 2	COMPACT LONG	70
LEVEL 2	STANDARD	46
LEVEL 2: 126		
TOTAL PARKING:	301	



AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME

RAINIER LANDING  
PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME

CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP

8192 REGISTERED ARCHITECT  
Boyd Blazie  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

04/10/25 PRE-APPLICATION  
05/30/25 SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
ARCHITECTURAL SITE PLAN

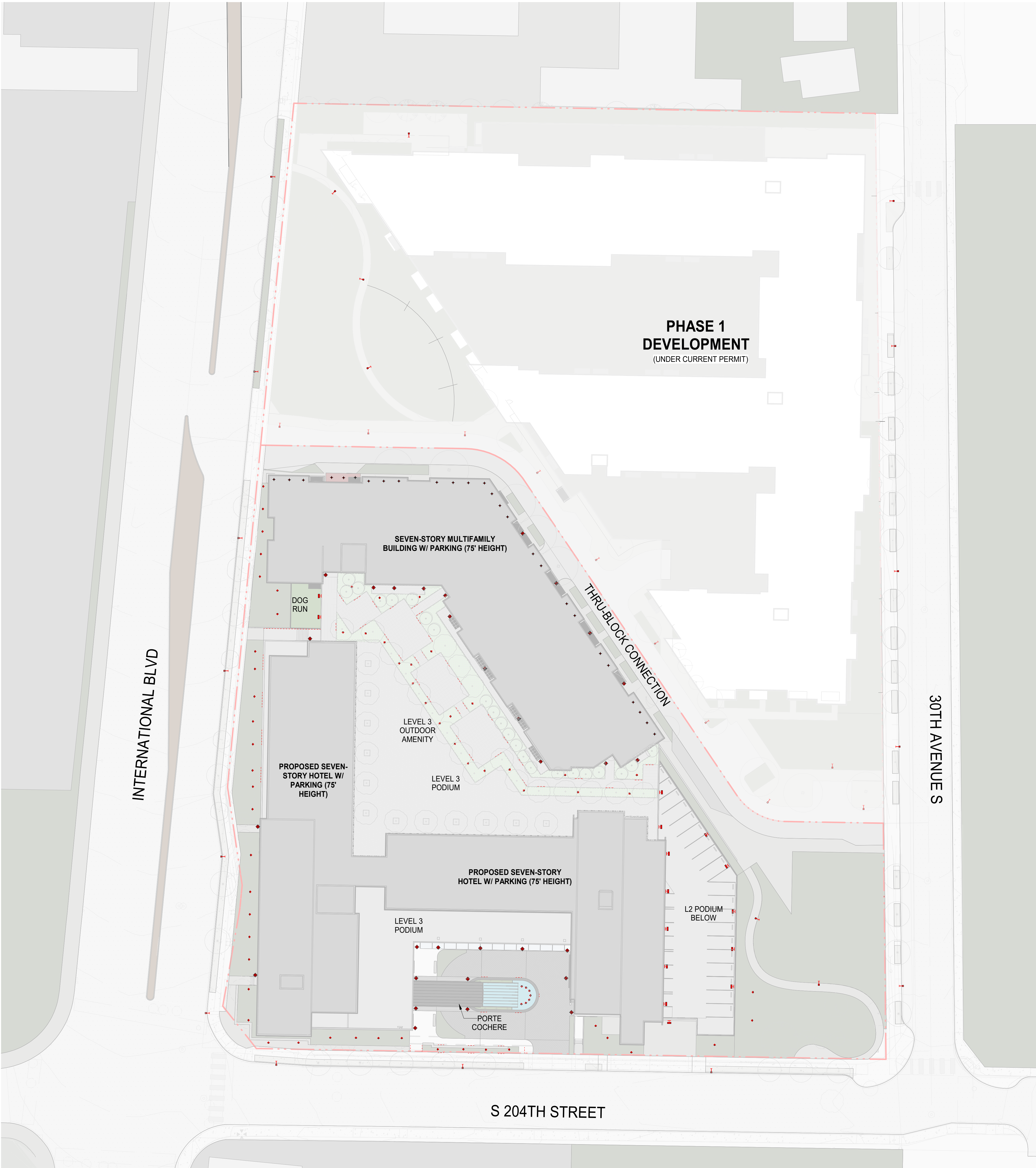
SHEET NUMBER

SPR A1.01

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



DATE 6/4/2025 1:20:23 PM

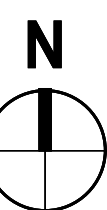
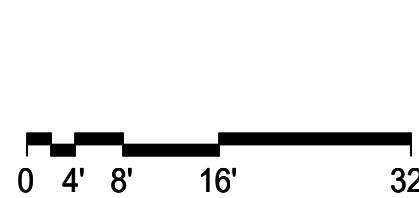
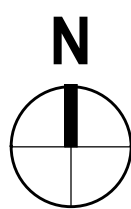


SITE PLAN - LIGHTING DIAGRAM

SCALE: 1" = 30'-0"

1  
SPR A1.02

1" = 30'-0"



LIGHTING SYMBOLS

SCALE: 1/8" = 1'-0"

- LANDSCAPE LIGHT
- POLE MOUNTED LIGHT
- SOFFIT LIGHT
- SCONCE LIGHT
- STRIP LIGHT
- WALL MOUNTED LIGHT

AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME

RAINIER LANDING  
PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

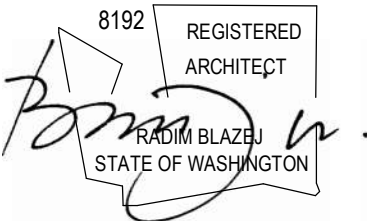
OWNER NAME

CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP



DATE ISSUES & REVISIONS

04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
SITE LIGHTING

SHEET NUMBER

SPR A1.02

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



SPR - LEVEL 1 FLOOR PLAN

SCALE: 1/16" = 1'-0"



SHS SUITE SCHEDULE

Level	Name	Count
LEVEL 2	SHS-K	10
LEVEL 2: 10		
LEVEL 3	SHS-K	16
LEVEL 3	SHS-K-ACC	1
LEVEL 3	SHS-QQ	10
LEVEL 3	SHS-QQ-ACC	1
LEVEL 3: 28		
LEVEL 4	SHS-K	16
LEVEL 4	SHS-K-ACC	1
LEVEL 4	SHS-QQ	10
LEVEL 4	SHS-QQ-ACC	1
LEVEL 4: 28		
LEVEL 5	SHS-K	16
LEVEL 5	SHS-QQ	11
LEVEL 5	SHS-QQ-ACC	1
LEVEL 5: 28		
LEVEL 6	SHS-K	16
LEVEL 6	SHS-K-ACC	1
LEVEL 6	SHS-QQ	10
LEVEL 6	SHS-QQ-ACC	1
LEVEL 6: 28		
LEVEL 7	SHS-K	16
LEVEL 7	SHS-K-ACC	1
LEVEL 7	SHS-QQ	10
LEVEL 7	SHS-QQ-ACC	1
LEVEL 7: 28		
TOTAL: 150		

TPS SUITE SCHEDULE

Level	Name	Count
LEVEL 3	TPS-1 BR	1
LEVEL 3	TPS-1 BR-ACC	1
LEVEL 3	TPS-K	16
LEVEL 3	TPS-K-ACC	1
LEVEL 3	TPS-QQ	10
LEVEL 3	TPS-QQ-ACC	1
LEVEL 3: 30		
LEVEL 4	TPS-1 BR	1
LEVEL 4	TPS-1 BR-ACC	1
LEVEL 4	TPS-K	16
LEVEL 4	TPS-K-ACC	1
LEVEL 4	TPS-QQ	10
LEVEL 4	TPS-QQ-ACC	1
LEVEL 4: 30		
LEVEL 5	TPS-1 BR	1
LEVEL 5	TPS-1 BR-ACC	1
LEVEL 5	TPS-K	16
LEVEL 5	TPS-K-ACC	1
LEVEL 5	TPS-QQ	10
LEVEL 5	TPS-QQ-ACC	1
LEVEL 5: 30		
LEVEL 6	TPS-1 BR	1
LEVEL 6	TPS-1 BR-ACC	1
LEVEL 6	TPS-K	16
LEVEL 6	TPS-K-ACC	1
LEVEL 6	TPS-QQ	10
LEVEL 6	TPS-QQ-ACC	1
LEVEL 6: 30		
LEVEL 7	TPS-1 BR	1
LEVEL 7	TPS-1 BR-ACC	1
LEVEL 7	TPS-K	16
LEVEL 7	TPS-K-ACC	1
LEVEL 7	TPS-QQ	10
LEVEL 7	TPS-QQ-ACC	1
LEVEL 7: 30		
TOTAL: 150		

RES. UNIT SCHEDULE

Level	Name	Count
LEVEL 2	1BR	1
LEVEL 2	STUDIO	4
LEVEL 2: 5		
LEVEL 3	1BR	12
LEVEL 3	2BR	6
LEVEL 3	STUDIO	8
LEVEL 3: 26		
LEVEL 4	1BR	13
LEVEL 4	2BR	6
LEVEL 4	STUDIO	8
LEVEL 4: 27		
LEVEL 5	1BR	13
LEVEL 5	2BR	6
LEVEL 5	STUDIO	8
LEVEL 5: 27		
LEVEL 6	1BR	13
LEVEL 6	2BR	6
LEVEL 6	STUDIO	8
LEVEL 6: 27		
LEVEL 7	1BR	13
LEVEL 7	2BR	6
LEVEL 7	STUDIO	8
LEVEL 7: 27		
TOTAL: 139		

PARKING SCHEDULE

Level	Type Mark	Count
LEVEL 1	ACCESSIBLE	2
LEVEL 1	ACCESSIBLE VAN	1
LEVEL 1	COMPACT LONG	131
LEVEL 1	STANDARD	41
LEVEL 1: 175		
LEVEL 2	ACCESSIBLE	9
LEVEL 2	ACCESSIBLE VAN	1
LEVEL 2	COMPACT LONG	70
LEVEL 2	STANDARD	46
LEVEL 2: 126		
TOTAL PARKING: 301		



AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME  
RAINIER LANDING  
PHASE II

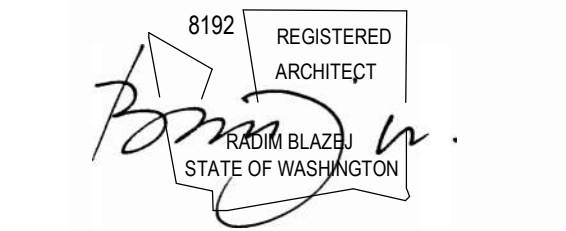
20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP



DATE ISSUES & REVISIONS

04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
FLOOR PLAN - LEVEL 1

SHEET NUMBER

SPR A2.01

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



DATE 6/4/2025 1:20:55 PM

SPR - LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"



SHS SUITE SCHEDULE

Level	Name	Count
LEVEL 2	SHS-K	10
LEVEL 2: 10		
LEVEL 3	SHS-K	16
LEVEL 3	SHS-K-ACC	1
LEVEL 3	SHS-QQ	10
LEVEL 3	SHS-QQ-ACC	1
LEVEL 3: 28		
LEVEL 4	SHS-K	16
LEVEL 4	SHS-K-ACC	1
LEVEL 4	SHS-QQ	10
LEVEL 4	SHS-QQ-ACC	1
LEVEL 4: 28		
LEVEL 5	SHS-K	16
LEVEL 5	SHS-QQ	11
LEVEL 5	SHS-QQ-ACC	1
LEVEL 5: 28		
LEVEL 6	SHS-K	16
LEVEL 6	SHS-K-ACC	1
LEVEL 6	SHS-QQ	10
LEVEL 6	SHS-QQ-ACC	1
LEVEL 6: 28		
LEVEL 7	SHS-K	16
LEVEL 7	SHS-K-ACC	1
LEVEL 7	SHS-QQ	10
LEVEL 7	SHS-QQ-ACC	1
LEVEL 7: 28		
TOTAL: 150		

TPS SUITE SCHEDULE

Level	Name	Count
LEVEL 3	TPS-1 BR	1
LEVEL 3	TPS-1 BR-ACC	1
LEVEL 3	TPS-K	16
LEVEL 3	TPS-K-ACC	1
LEVEL 3	TPS-QQ	10
LEVEL 3	TPS-QQ-ACC	1
LEVEL 3: 30		
LEVEL 4	TPS-1 BR	1
LEVEL 4	TPS-1 BR-ACC	1
LEVEL 4	TPS-K	16
LEVEL 4	TPS-K-ACC	1
LEVEL 4	TPS-QQ	10
LEVEL 4	TPS-QQ-ACC	1
LEVEL 4: 30		
LEVEL 5	TPS-1 BR	1
LEVEL 5	TPS-1 BR-ACC	1
LEVEL 5	TPS-K	16
LEVEL 5	TPS-K-ACC	1
LEVEL 5	TPS-QQ	10
LEVEL 5	TPS-QQ-ACC	1
LEVEL 5: 30		
LEVEL 6	TPS-1 BR	1
LEVEL 6	TPS-1 BR-ACC	1
LEVEL 6	TPS-K	16
LEVEL 6	TPS-K-ACC	1
LEVEL 6	TPS-QQ	10
LEVEL 6	TPS-QQ-ACC	1
LEVEL 6: 30		
LEVEL 7	TPS-1 BR	1
LEVEL 7	TPS-1 BR-ACC	1
LEVEL 7	TPS-K	16
LEVEL 7	TPS-K-ACC	1
LEVEL 7	TPS-QQ	10
LEVEL 7	TPS-QQ-ACC	1
LEVEL 7: 30		
TOTAL: 150		

RES. UNIT SCHEDULE

Level	Name	Count
LEVEL 2	1BR	1
LEVEL 2	STUDIO	4
LEVEL 2: 5		
LEVEL 3	1BR	12
LEVEL 3	2BR	6
LEVEL 3	STUDIO	8
LEVEL 3: 26		
LEVEL 4	1BR	13
LEVEL 4	2BR	6
LEVEL 4	STUDIO	8
LEVEL 4: 27		
LEVEL 5	1BR	13
LEVEL 5	2BR	6
LEVEL 5	STUDIO	8
LEVEL 5: 27		
LEVEL 6	1BR	13
LEVEL 6	2BR	6
LEVEL 6	STUDIO	8
LEVEL 6: 27		
LEVEL 7	1BR	13
LEVEL 7	2BR	6
LEVEL 7	STUDIO	8
LEVEL 7: 27		
TOTAL: 139		

PARKING SCHEDULE

Level	Type Mark	Count
LEVEL 1	ACCESSIBLE	2
LEVEL 1	ACCESSIBLE VAN	1
LEVEL 1	COMPACT LONG	131
LEVEL 1	STANDARD	41
LEVEL 1: 175		
LEVEL 2	ACCESSIBLE	9
LEVEL 2	ACCESSIBLE VAN	1
LEVEL 2	COMPACT LONG	70
LEVEL 2	STANDARD	46
LEVEL 2: 126		
TOTAL PARKING: 301		

AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME  
RAINIER LANDING  
PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP

8192 REGISTERED ARCHITECT  
B. J. BLAZER  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

04/10/25 PRE-APPLICATION  
05/30/25 SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
FLOOR PLAN - LEVEL 2

SHEET NUMBER

SPR A2.02

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



DATE 6/4/2025 12:21:11 PM

SPR - LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'-0"



SHS SUITE SCHEDULE

Level	Name	Count
LEVEL 2	SHS-K	10
LEVEL 2: 10		
LEVEL 3	SHS-K	16
LEVEL 3	SHS-K-ACC	1
LEVEL 3	SHS-QQ	10
LEVEL 3	SHS-QQ-ACC	1
LEVEL 3: 28		
LEVEL 4	SHS-K	16
LEVEL 4	SHS-K-ACC	1
LEVEL 4	SHS-QQ	10
LEVEL 4	SHS-QQ-ACC	1
LEVEL 4: 28		
LEVEL 5	SHS-K	16
LEVEL 5	SHS-QQ	11
LEVEL 5	SHS-QQ-ACC	1
LEVEL 5: 28		
LEVEL 6	SHS-K	16
LEVEL 6	SHS-K-ACC	1
LEVEL 6	SHS-QQ	10
LEVEL 6	SHS-QQ-ACC	1
LEVEL 6: 28		
LEVEL 7	SHS-K	16
LEVEL 7	SHS-K-ACC	1
LEVEL 7	SHS-QQ	10
LEVEL 7	SHS-QQ-ACC	1
LEVEL 7: 28		
TOTAL: 150		

TPS SUITE SCHEDULE

Level	Name	Count
LEVEL 3	TPS-1 BR	1
LEVEL 3	TPS-1 BR-ACC	1
LEVEL 3	TPS-K	16
LEVEL 3	TPS-K-ACC	1
LEVEL 3	TPS-QQ	10
LEVEL 3	TPS-QQ-ACC	1
LEVEL 3: 30		
LEVEL 4	TPS-1 BR	1
LEVEL 4	TPS-1 BR-ACC	1
LEVEL 4	TPS-K	16
LEVEL 4	TPS-K-ACC	1
LEVEL 4	TPS-QQ	10
LEVEL 4	TPS-QQ-ACC	1
LEVEL 4: 30		
LEVEL 5	TPS-1 BR	1
LEVEL 5	TPS-1 BR-ACC	1
LEVEL 5	TPS-K	16
LEVEL 5	TPS-K-ACC	1
LEVEL 5	TPS-QQ	10
LEVEL 5	TPS-QQ-ACC	1
LEVEL 5: 30		
LEVEL 6	TPS-1 BR	1
LEVEL 6	TPS-1 BR-ACC	1
LEVEL 6	TPS-K	16
LEVEL 6	TPS-K-ACC	1
LEVEL 6	TPS-QQ	10
LEVEL 6	TPS-QQ-ACC	1
LEVEL 6: 30		
LEVEL 7	TPS-1 BR	1
LEVEL 7	TPS-1 BR-ACC	1
LEVEL 7	TPS-K	16
LEVEL 7	TPS-K-ACC	1
LEVEL 7	TPS-QQ	10
LEVEL 7	TPS-QQ-ACC	1
LEVEL 7: 30		
TOTAL: 150		

RES. UNIT SCHEDULE

Level	Name	Count
LEVEL 2	1BR	1
LEVEL 2	STUDIO	4
LEVEL 2: 5		
LEVEL 3	1BR	12
LEVEL 3	2BR	6
LEVEL 3	STUDIO	8
LEVEL 3: 26		
LEVEL 4	1BR	13
LEVEL 4	2BR	6
LEVEL 4	STUDIO	8
LEVEL 4: 27		
LEVEL 5	1BR	13
LEVEL 5	2BR	6
LEVEL 5	STUDIO	8
LEVEL 5: 27		
LEVEL 6	1BR	13
LEVEL 6	2BR	6
LEVEL 6	STUDIO	8
LEVEL 6: 27		
LEVEL 7	1BR	13
LEVEL 7	2BR	6
LEVEL 7	STUDIO	8
LEVEL 7: 27		
TOTAL: 139		

PARKING SCHEDULE

Level	Type Mark	Count
LEVEL 1	ACCESSIBLE	2
LEVEL 1	ACCESSIBLE VAN	1
LEVEL 1	COMPACT LONG	131
LEVEL 1	STANDARD	41
LEVEL 1: 175		
LEVEL 2	ACCESSIBLE	9
LEVEL 2	ACCESSIBLE VAN	1
LEVEL 2	COMPACT LONG	70
LEVEL 2	STANDARD	46
LEVEL 2: 126		
TOTAL PARKING: 301		

AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME

RAINIER LANDING  
PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME

CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP

8192 REGISTERED ARCHITECT  
B. J. BLAZER  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

04/10/25 PRE-APPLICATION  
05/30/25 SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
FLOOR PLAN - LEVEL 3

SHEET NUMBER

SPR A2.03

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



DATE 6/4/2025 1:21:23 PM

SPR - LEVELS 4-7 FLOOR PLAN

SCALE: 1/16" = 1'-0"



PHASE 1  
DEVELOPMENT  
(UNDER CURRENT PERMIT)

SHS SUITE SCHEDULE

Level	Name	Count
LEVEL 2	SHS-K	10
LEVEL 2: 10		
LEVEL 3	SHS-K	16
LEVEL 3	SHS-K-ACC	1
LEVEL 3	SHS-QQ	10
LEVEL 3	SHS-QQ-ACC	1
LEVEL 3: 28		
LEVEL 4	SHS-K	16
LEVEL 4	SHS-K-ACC	1
LEVEL 4	SHS-QQ	10
LEVEL 4	SHS-QQ-ACC	1
LEVEL 4: 28		
LEVEL 5	SHS-K	16
LEVEL 5	SHS-QQ	11
LEVEL 5	SHS-QQ-ACC	1
LEVEL 5: 28		
LEVEL 6	SHS-K	16
LEVEL 6	SHS-K-ACC	1
LEVEL 6	SHS-QQ	10
LEVEL 6	SHS-QQ-ACC	1
LEVEL 6: 28		
LEVEL 7	SHS-K	16
LEVEL 7	SHS-K-ACC	1
LEVEL 7	SHS-QQ	10
LEVEL 7	SHS-QQ-ACC	1
LEVEL 7: 28		
TOTAL: 150		

TPS SUITE SCHEDULE

Level	Name	Count
LEVEL 3	TPS-1 BR	1
LEVEL 3	TPS-1 BR-ACC	1
LEVEL 3	TPS-K	16
LEVEL 3	TPS-K-ACC	1
LEVEL 3	TPS-QQ	10
LEVEL 3	TPS-QQ-ACC	1
LEVEL 3: 30		
LEVEL 4	TPS-1 BR	1
LEVEL 4	TPS-1 BR-ACC	1
LEVEL 4	TPS-K	16
LEVEL 4	TPS-K-ACC	1
LEVEL 4	TPS-QQ	10
LEVEL 4	TPS-QQ-ACC	1
LEVEL 4: 30		
LEVEL 5	TPS-1 BR	1
LEVEL 5	TPS-1 BR-ACC	1
LEVEL 5	TPS-K	16
LEVEL 5	TPS-K-ACC	1
LEVEL 5	TPS-QQ	10
LEVEL 5	TPS-QQ-ACC	1
LEVEL 5: 30		
LEVEL 6	TPS-1 BR	1
LEVEL 6	TPS-1 BR-ACC	1
LEVEL 6	TPS-K	16
LEVEL 6	TPS-K-ACC	1
LEVEL 6	TPS-QQ	10
LEVEL 6	TPS-QQ-ACC	1
LEVEL 6: 30		
LEVEL 7	TPS-1 BR	1
LEVEL 7	TPS-1 BR-ACC	1
LEVEL 7	TPS-K	16
LEVEL 7	TPS-K-ACC	1
LEVEL 7	TPS-QQ	10
LEVEL 7	TPS-QQ-ACC	1
LEVEL 7: 30		
TOTAL: 150		

RES. UNIT SCHEDULE

Level	Name	Count
LEVEL 2	1BR	1
LEVEL 2	STUDIO	4
LEVEL 2: 5		
LEVEL 3	1BR	12
LEVEL 3	2BR	6
LEVEL 3	STUDIO	8
LEVEL 3: 26		
LEVEL 4	1BR	13
LEVEL 4	2BR	6
LEVEL 4	STUDIO	8
LEVEL 4: 27		
LEVEL 5	1BR	13
LEVEL 5	2BR	6
LEVEL 5	STUDIO	8
LEVEL 5: 27		
LEVEL 6	1BR	13
LEVEL 6	2BR	6
LEVEL 6	STUDIO	8
LEVEL 6: 27		
LEVEL 7	1BR	13
LEVEL 7	2BR	6
LEVEL 7	STUDIO	8
LEVEL 7: 27		
TOTAL: 139		

PARKING SCHEDULE

Level	Type Mark	Count
LEVEL 1	ACCESSIBLE	2
LEVEL 1	ACCESSIBLE VAN	1
LEVEL 1	COMPACT LONG	131
LEVEL 1	STANDARD	41
LEVEL 1: 175		
LEVEL 2	ACCESSIBLE	9
LEVEL 2	ACCESSIBLE VAN	1
LEVEL 2	COMPACT LONG	70
LEVEL 2	STANDARD	46
LEVEL 2: 126		
TOTAL PARKING: 301		



AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME  
RAINIER LANDING  
PHASE II

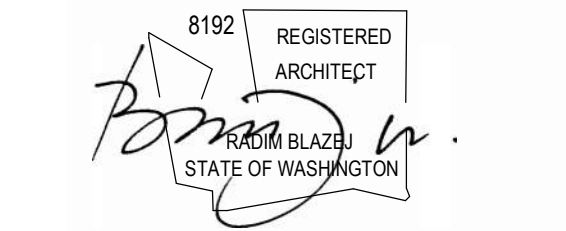
20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
CYMBALUK PROPERTIES,  
LLC

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP



DATE ISSUES & REVISIONS

04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
FLOOR PLAN - LEVELS 4-7

SHEET NUMBER

SPR A2.04

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



MATERIALS LEGEND	
BAL-1	GLASS BALCONY RAILING
CAN-1	AUTO COURTYARD CANOPY, BLACK FINISH
CAN-2	GLASS CANOPY W/ DECORATIVE FRITTED PATTERN
CAN-3	METAL ENTRY CANOPY, COLOR: RED
CAN-4	METAL ENTRY CANOPY, COLOR: BLACK
CON-1	CAST IN PLACE CONCRETE WALL, BOARD-FORMED PATTERN
FCP-1	FIBER CEMENT PANELING, COLOR: WHITE
FCP-2	FIBER CEMENT PANELING, COLOR: GRAY
FCP-3	FIBER CEMENT PANELING, COLOR: BLACK
FEN-1	ALUMINUM STOREFRONT SYSTEM, ANODIZED BLACK
FEN-2	ALUMINUM WINDOW/DOOR, ANODIZED BLACK
FEN-3	VINYL WINDOW/DOOR, WHITE FINISH
FEN-4	GARAGE DOOR, PERFORATED SECURITY GRILLE
FNT-1	DECORATIVE WATER FEATURE
HPL-1	HIGH PRESSURE LAMINATE SIDING, WOOD FINISH
HPL-2	HIGH PRESSURE LAMINATE SIDING, DARK WOOD FINISH
HPL-3	HIGH PRESSURE LAMINATE SIDING, COLOR: RED
MAS-1	BRICK COURSING, RUNNING BOND SIZE: NORMAN, COLOR: LIMESTONE
MAS-2	GFRC PANELING, LIGHT GRAY FINISH
MTL-1	COMPOSITE METAL SIDING, COLOR: WHITE
MTL-2	COMPOSITE METAL SIDING, COLOR: GRAY
MTL-3	COMPOSITE METAL SIDING, COLOR: BLACK
MTL-4	COMPOSITE METAL SIDING, COLOR: YELLOW
MTL-5	COMPOSITE METAL SIDING, WEATHERED STEEL FINISH
MTL-6	DECORATIVE METAL SECURITY FENCE, WEATHERED STEEL FINISH
VEN-1	LOUVERED INTAKE/EXHAUST VENT, ANODIZED BLACK



**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

2  
SPR A4.00



**WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

1  
SPR A4.00



MATERIALS LEGEND	
BAL-1	GLASS BALCONY RAILING
CAN-1	AUTO COURTYARD CANOPY, BLACK FINISH
CAN-2	GLASS CANOPY W/ DECORATIVE FRITTED PATTERN
CAN-3	METAL ENTRY CANOPY, COLOR: RED
CAN-4	METAL ENTRY CANOPY, COLOR: BLACK
CON-1	CAST IN PLACE CONCRETE WALL, BOARD-FORMED PATTERN
FCP-1	FIBER CEMENT PANELING, COLOR: WHITE
FCP-2	FIBER CEMENT PANELING, COLOR: GRAY
FCP-3	FIBER CEMENT PANELING, COLOR: BLACK
FEN-1	ALUMINUM STOREFRONT SYSTEM, ANODIZED BLACK
FEN-2	ALUMINUM WINDOW/DOOR, ANODIZED BLACK
FEN-3	VINYL WINDOW/DOOR, WHITE FINISH
FEN-4	GARAGE DOOR, PERFORATED SECURITY GRILLE
FNT-1	DECORATIVE WATER FEATURE
HPL-1	HIGH PRESSURE LAMINATE SIDING, WOOD FINISH
HPL-2	HIGH PRESSURE LAMINATE SIDING, DARK WOOD FINISH
HPL-3	HIGH PRESSURE LAMINATE SIDING, COLOR: RED
MAS-1	BRICK COURSING, RUNNING BOND SIZE: NORMAN, COLOR: LIMESTONE
MAS-2	GFRG PANELING, LIGHT GRAY FINISH
MTL-1	COMPOSITE METAL SIDING, COLOR: WHITE
MTL-2	COMPOSITE METAL SIDING, COLOR: GRAY
MTL-3	COMPOSITE METAL SIDING, COLOR: BLACK
MTL-4	COMPOSITE METAL SIDING, COLOR: YELLOW
MTL-5	COMPOSITE METAL SIDING, WEATHERED STEEL FINISH
MTL-6	DECORATIVE METAL SECURITY FENCE, WEATHERED STEEL FINISH
VEN-1	LOUVERED INTAKE/EXHAUST VENT, ANODIZED BLACK



EAST ELEVATION - AUTO COURTYARD  
SCALE: 1/16" = 1'-0"

4



WEST ELEVATION - AUTO COURTYARD  
SCALE: 1/16" = 1'-0"

3



EAST ELEVATION  
SCALE: 1/16" = 1'-0"

2

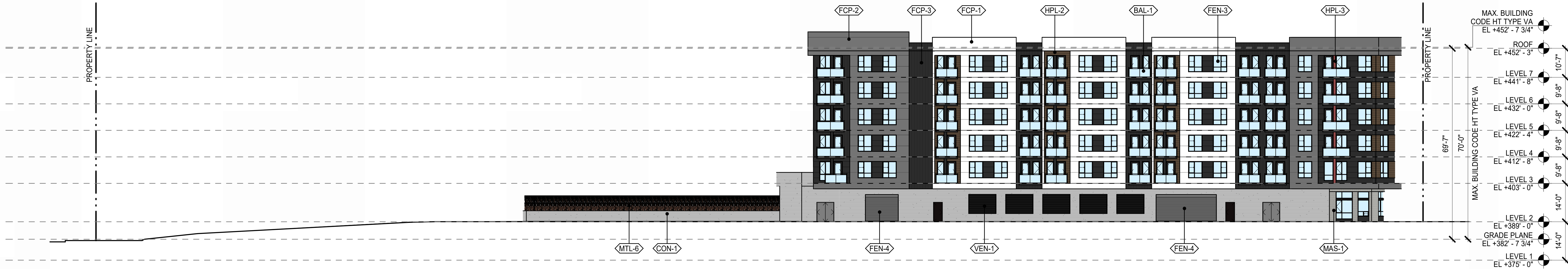


NORTH ELEVATION - RESIDENTIAL BUILDING  
SCALE: 1/16" = 1'-0"

1



MATERIALS LEGEND	
BAL-1	GLASS BALCONY RAILING
CAN-1	AUTO COURTYARD CANOPY, BLACK FINISH
CAN-2	GLASS CANOPY W/ DECORATIVE FRITTED PATTERN
CAN-3	METAL ENTRY CANOPY, COLOR: RED
CAN-4	METAL ENTRY CANOPY, COLOR: BLACK
CON-1	CAST IN PLACE CONCRETE WALL, BOARD-FORMED PATTERN
FCP-1	FIBER CEMENT PANELING, COLOR: WHITE
FCP-2	FIBER CEMENT PANELING, COLOR: GRAY
FCP-3	FIBER CEMENT PANELING, COLOR: BLACK
FEN-1	ALUMINUM STOREFRONT SYSTEM, ANODIZED BLACK
FEN-2	ALUMINUM WINDOW/DOOR, ANODIZED BLACK
FEN-3	VINYL WINDOW/DOOR, WHITE FINISH
FEN-4	GARAGE DOOR, PERFORATED SECURITY GRILLE
FNT-1	DECORATIVE WATER FEATURE
HPL-1	HIGH PRESSURE LAMINATE SIDING, WOOD FINISH
HPL-2	HIGH PRESSURE LAMINATE SIDING, DARK WOOD FINISH
HPL-3	HIGH PRESSURE LAMINATE SIDING, COLOR: RED
MAS-1	BRICK COURSING, RUNNING BOND SIZE: NORMAN, COLOR: LIMESTONE
MAS-2	GFRC PANELING, LIGHT GRAY FINISH
MTL-1	COMPOSITE METAL SIDING, COLOR: WHITE
MTL-2	COMPOSITE METAL SIDING, COLOR: GRAY
MTL-3	COMPOSITE METAL SIDING, COLOR: BLACK
MTL-4	COMPOSITE METAL SIDING, COLOR: YELLOW
MTL-5	COMPOSITE METAL SIDING, WEATHERED STEEL FINISH
MTL-6	DECORATIVE METAL SECURITY FENCE, WEATHERED STEEL FINISH
VEN-1	LOUVERED INTAKE/EXHAUST VENT, ANODIZED BLACK



**NORTHEAST ELEVATION - RESIDENTIAL BUILDING**

SCALE: 1/16" = 1'-0"

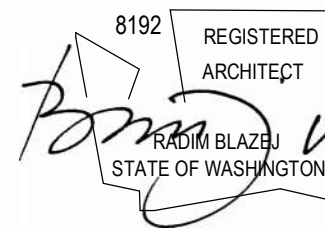
2



**NORTH ELEVATION - HOTEL**

SCALE: 1/16" = 1'-0"

1





## RAINIER LANDING PHASE II

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME

**CYMBALUK PROPERTIES,  
LLC**

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP




SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

 DATE	ISSUES & REVISIONS
04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOW

PROJECT NUMBER 24.343

DESCRIPTION  
BUILDING SECTIONS

SHEET NUMBER

## SPR A4.10

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL





RENDERING VIEW 1  
SCALE: NTS



RENDERING VIEW 3  
SCALE: NTS

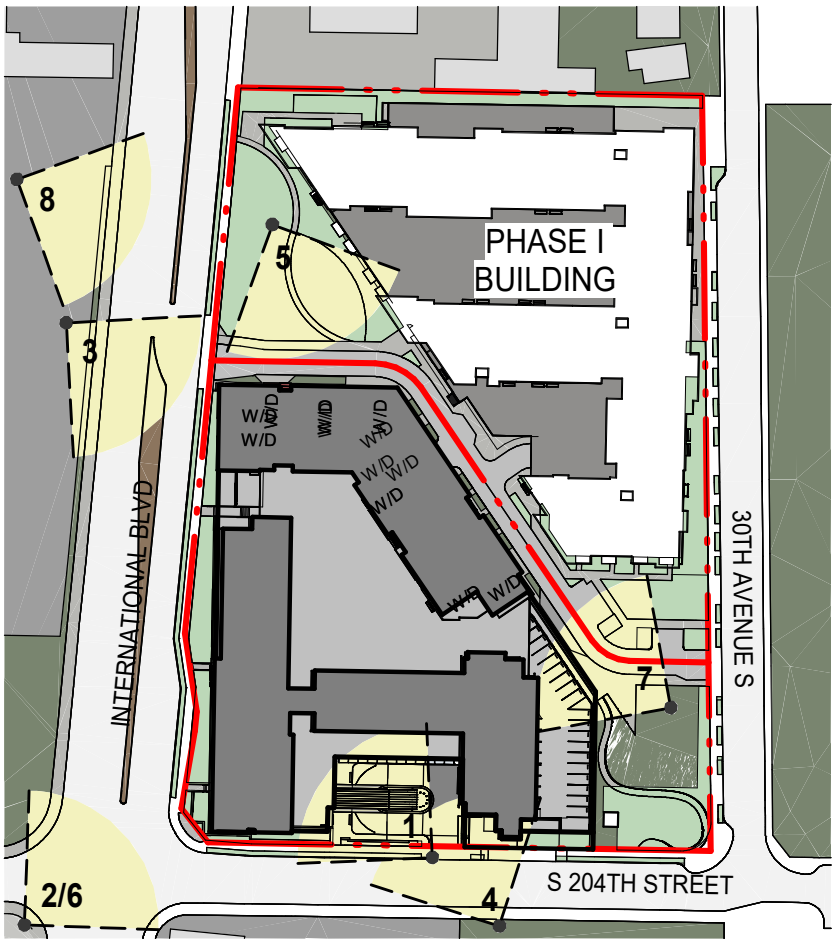


RENDERING VIEW 2  
SCALE: NTS



RENDERING VIEW 4  
SCALE: NTS

KEY PLAN



AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME  
**RAINIER LANDING  
PHASE II**

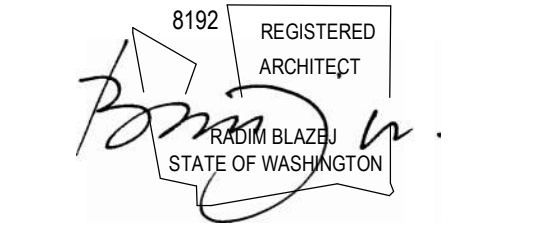
20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
**CYMBALUK PROPERTIES,  
LLC**

4103 10TH STREET SE  
EVERETT WA 98208

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP



DATE	ISSUES & REVISIONS
04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
RENDERING VIEWS

SHEET NUMBER

SPR A4.21

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.





RENDERING VIEW 5  
SCALE: NTS



RENDERING VIEW 7  
SCALE: NTS

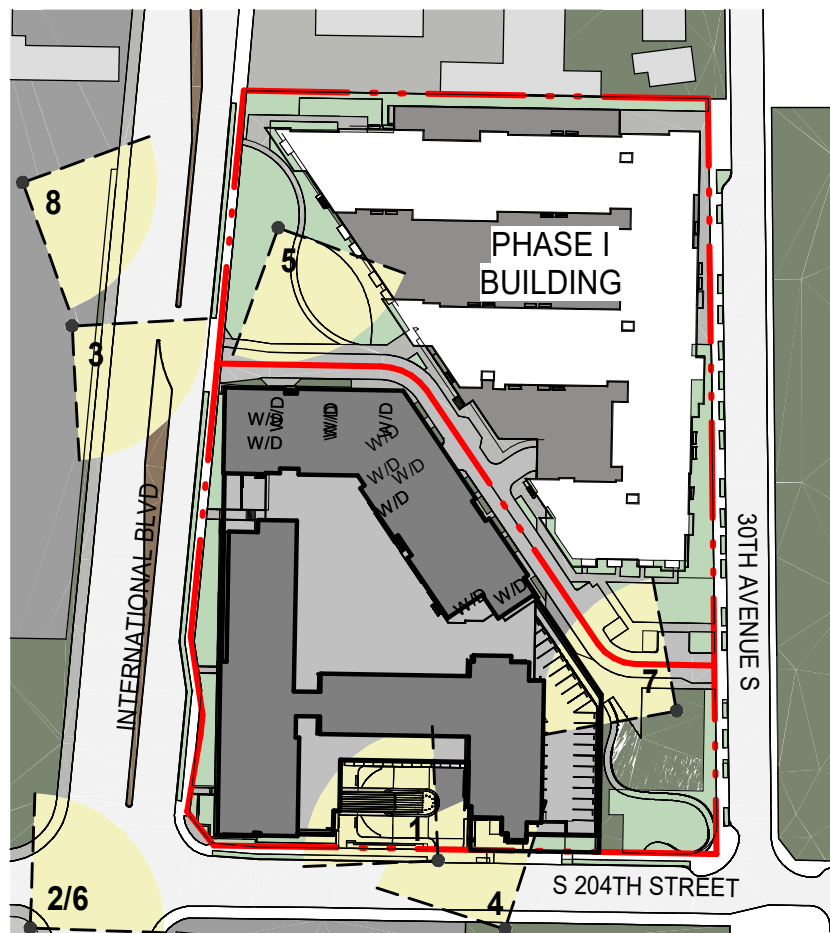


RENDERING VIEW 6  
SCALE: NTS



RENDERING VIEW 8  
SCALE: NTS

KEY PLAN



AXIS

AXIS Architecture + Design  
500 Union St, Suite 500  
Seattle, WA 98101  
T: 206.367.1382  
www.axisarchitecture.com

PROJECT NAME  
**RAINIER LANDING  
PHASE II**

20220 INTERNATIONAL BLVD S  
SEATAC, WA 98198

OWNER NAME  
**CYMBALUK PROPERTIES,  
LLC**

4103 10TH STREET SE  
EVERETT WA 98028

JURISDICTION STAMP

DESIGN PROFESSIONAL STAMP

8192 REGISTERED ARCHITECT  
Boris Blazevic  
STATE OF WASHINGTON

DATE	ISSUES & REVISIONS
04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION  
RENDERING VIEWS

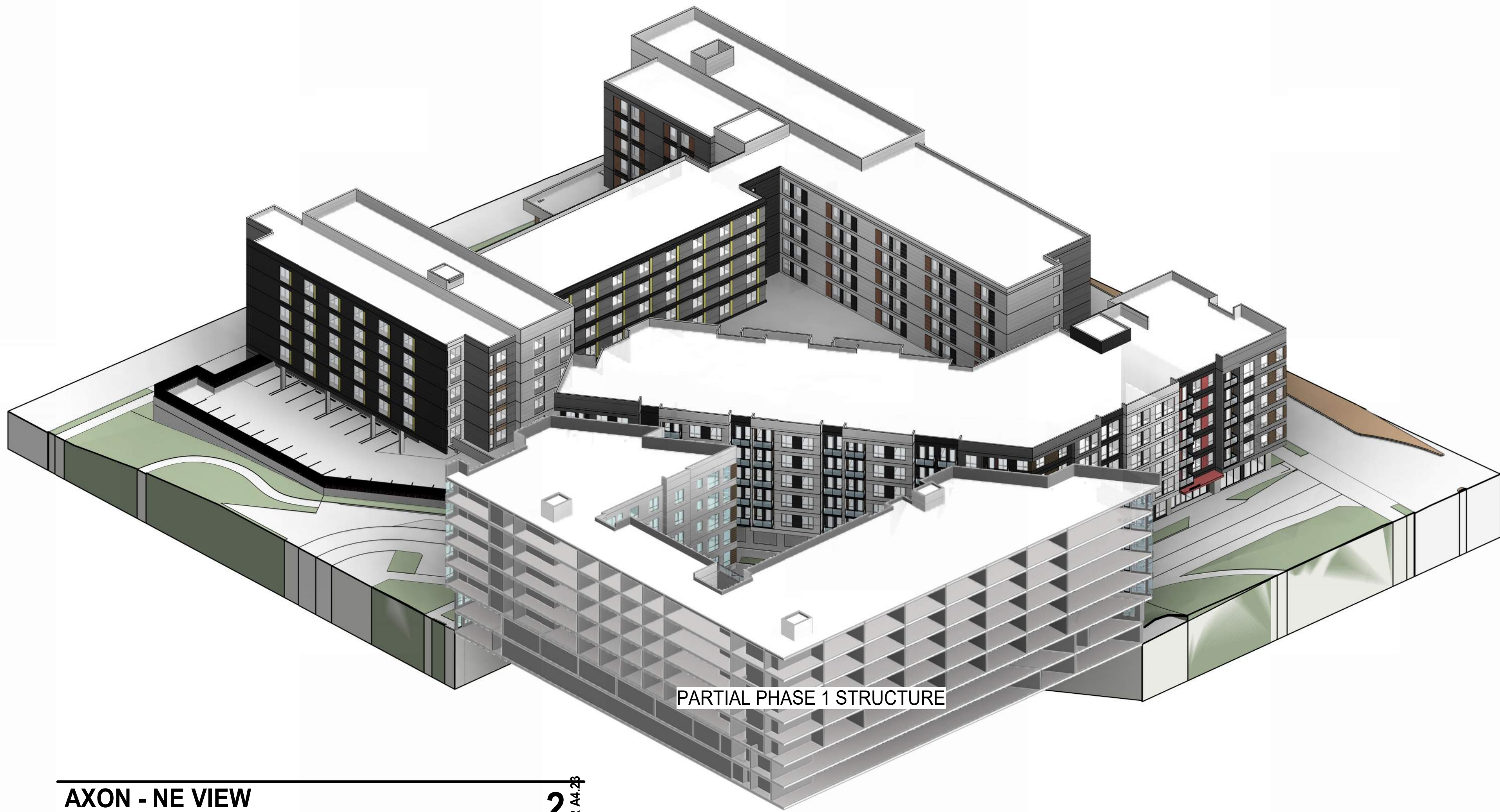
SHEET NUMBER

SPR A4.22

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE  
DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF THE DESIGN PROFESSIONAL.



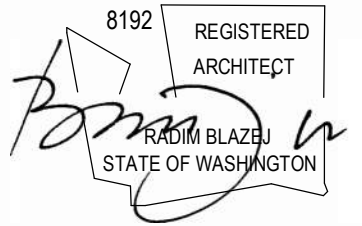
DATE 6/4/2025 1:25:10 PM



AXON - NE VIEW  
SCALE: 1" = 20' 0" 2



AXON - SW VIEW  
SCALE: 1" = 20' 0" 1



DATE	ISSUES & REVISIONS
04/10/25	PRE-APPLICATION
05/30/25	SITE PLAN REVIEW