



City Of SeaTac Departure Request Worksheet

Purpose: A design standard departure allows flexibility and creativity in the application of Zoning Code standards or requirements to project designs. In order for the Director to allow a departure from a standard, the applicant must demonstrate that it would result in project design that better meets or exceeds the purpose and intent of the adopted standard.

Instructions: Include one (1) departure request per sheet.

SMC Development Standard(s):	Departure Request:	How the Project Design Better Meets the Standard:	Evaluation (Staff Use Only)
			Yes No
			Conditions:
			Director's signature
			Date

Insert or attach a graphic that depicts how the departure better meets the standard or requirement.

SEE ATTACHED
SHEETS G0.18 & G0.19
FOR DEPARTURE
GRAPHICS.



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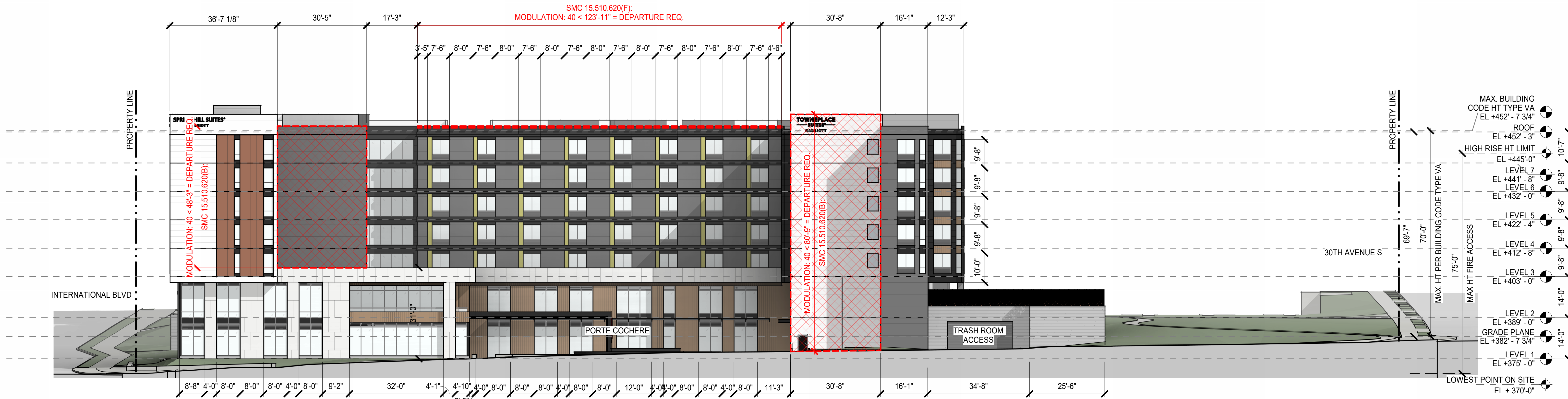
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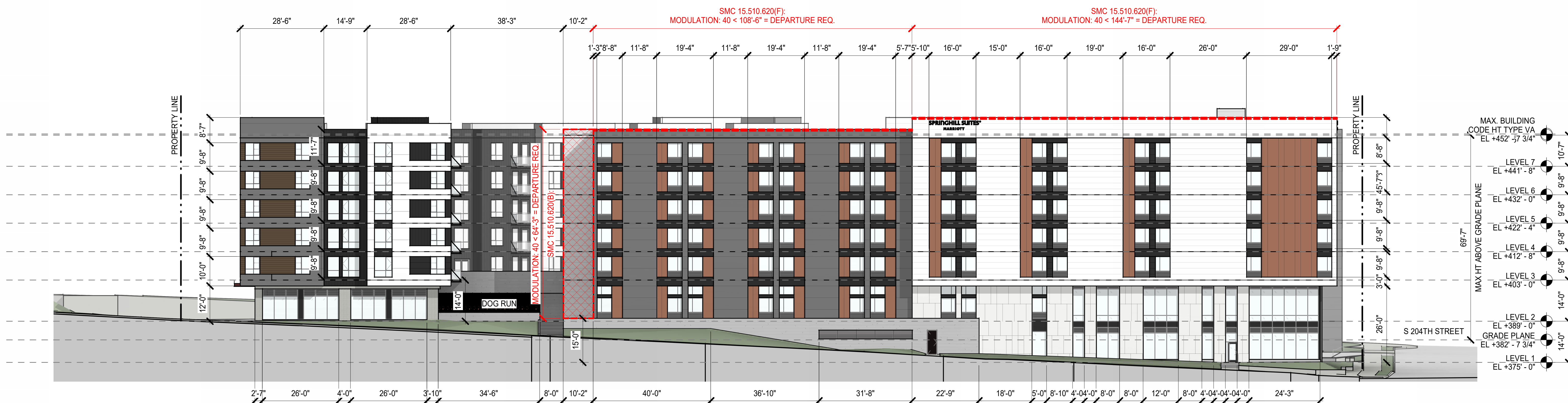
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SOUTH ELEVATION - DEPARTURES

SCALE: 1/16" = 1'-0"

2
SPR G0.18



WEST ELEVATION - DEPARTURES

SCALE: 1/16" = 1'-0"

1
SPR G0.18

DEPARTURE 3 - SMC Development Standard(s): SMC 15.510.620(F) Rooflines

15.510.620 Character and Massing

Intent: Reduce the apparent size of new buildings and create visual interest through architectural form and detailing. Architectural features and treatments shall not be restricted to a single facade.

- F. Rooflines. Rooflines shall be varied through two (2) or more of the following methods. The maximum roof length without a variation shall be forty (40) feet.
 1. Dormers. A projection from a sloping roof that contains a window.
 2. Roofline with Architectural Focal Point. A prominent rooftop feature such as a peak, tower, gable, dome, barrel vault or roofline trellis structure.
 3. Roofline Variation. The roofline articulated through a variation or step in roof height or detail, such as:
 - a. Projecting Cornice. Roofline articulated through a variation or step in cornice height or detail. Cornices must be located at or near the top of the wall or parapet.
 - b. Articulated Parapet. Roofline parapets shall incorporate angled, curved or stepped detail elements.
 4. Pitched Roof or Full Mansard. A roof with angled edges, with or without a defined ridge line and extended eaves.
 5. Terraced Roof. A roofline incorporating setbacks for balconies, roof gardens, or patios.

Departure Request:

We are requesting a departure to allow portions of the roofline to extend beyond the standard maximum length of 40 feet.

How the Project Design Better Meets the Standard:

The project features a contemporary flat roof design enhanced by an variety of articulated parapets that differ in height and length. These parapets introduce rhythm and depth to the building, effectively breaking down the massing and creating a visually compelling roofline. Rather than relying on traditional pitched forms or dormers, the design employs modern architectural language to achieve the same intent - reducing perceived scale and adding visual interest.

DEPARTURE 2 - SMC Development Standard(s): SMC 15.510.620(B) Vertical and Horizontal Variation

15.510.620 Character and Massing

Intent: Reduce the apparent size of new buildings and create visual interest through architectural form and detailing. Architectural features and treatments shall not be restricted to a single facade.

- B. Vertical and Horizontal Variation Requirements. Buildings shall employ vertical and/or horizontal facade variation techniques. Vertical variation shall occur at intervals of no more than forty (40) feet.
 1. Methods of Variation. Three (3) or more of the following methods of facade variation shall be used such that the combination of features projects a residential character:
 - a. Vertical Modulation: Projecting/Recessing Facade Elements. Building modulations shall be a minimum of two (2) feet in depth and two (2) feet in width and may include architectural features such as setbacks, indentations, projections, bays, or awnings.
 - b. Window/Entry/Porch Elements. Provision of a balcony, bay window, porch, patio, deck, or clearly defined entry for each vertical variation interval.
 - c. Light Fixture/Landscaping Elements. Provision of a lighting fixture, trellis, prominent ornamental tree or other landscape feature within each vertical variation interval.
 - d. Material Variations. Use of material variations such as contrasting colors, brick or metal banding, or textural changes within each vertical variation interval.
 - e. Horizontal Facade Changes. Design techniques that differentiate the ground floor from upper floors such as:
 - i. Stepping back the upper floors from the ground floor building facade;
 - ii. Changing materials between the building base, middle and top floors;
 - iii. Including a continuous cornice line or pedestrian weather protection element between the ground floor and upper floors.

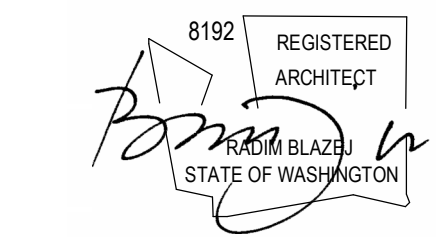
Departure Request:

We are requesting a departure from the requirement that vertical and horizontal modulation of the building occurs at intervals no greater than 40 feet.

How the Project Design Better Meets the Standard:

The design exceeds the 40 foot modulation intervals to emphasize the building's proportions and support a more elegant and contemporary architectural expression. To maintain visual interest and reduce perceived scale, the facade incorporates a range of strategies - including window articulation, material variation, and balconies that work together to break up the massing and create a dynamic street presence.

DESIGN PROFESSIONAL STAMP



DATE ISSUES & REVISIONS

05/30/25 SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION
ZONING CODE ANALYSIS -
DEPARTURES

SHEET NUMBER

SPR G0.18

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NO	DATE	ISSUES & REVISIONS
	05/30/25	SITE PLAN REVIEW

SCALE AS SHOWN

PROJECT NUMBER 24.343

DESCRIPTION
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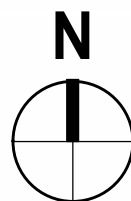


LEVEL 1 FLOOR PLAN - SETBACKS
SCALE: 1" = 20'-0"

1 SPR G0.20

1" = 20' - 0"

0 20' 40' 60' 80'



**PHASE 1
DEVELOPMENT**
(UNDER CURRENT PERMIT)

DEPARTURE 4 - SMC Development Standard(s): SMC 15.310.210(A) Building Placement/ Setbacks:

- A. Front Yard Setback. Front yard setbacks shall be as follows:
- Minimum. Five (5) feet on all public and private streets.
 - Maximum.
 - Adjacent to International Boulevard: Twenty (20) feet for at least fifty percent (50%) of the building's front facade. The remaining building's front facade may be set back to forty (40) feet for the purposes of accommodating public open space, porte cocheres, landscaping or recessed building entries.
 - All Other Public or Private Streets: Ten (10) feet for at least fifty (50%) of the building's front facade. The remaining front building facade may be set back to twenty (20) feet for the purpose of accommodating public open space, porte cocheres, landscaping or recessed building entries.

Setback Requirement:
1. Five (5) feet minimum setback is required on all public and private streets.

- International Boulevard - 20 to 40 feet for at least 50% of the facade; 5 to 20 feet for the remaining facade.
International Boulevard - total building length 364'-0"/2 = **182'-0" minimum required.**
- South 204th St. - 10 to 20 feet for at least 50% of the facade; 5 to 10 feet for the remaining facade.
South 204th St. - 315'-5"/2 = **157'-8 1/2" minimum required.**
- 30th Ave. S. - 10 to 20 feet for at least 50% of the facade; 5 to 10 feet for the remaining facade.
30th Ave. S. - 106'-11"/2 = **53'-5 1/2" minimum required.**
- Through Block Connection - 10 to 20 feet for at least 50% of the facade; 5 to 10 feet for the remaining facade.
Through Block Connection - 309'-6"+139'-4"= 448'-10"/2 = **224'-5" minimum required.**

Departure Request:

We are requesting a departure from SMC 15.310.210.A requirement to provide a 20-40 foot setback for at least 50% of the buildings length along International Boulevard.
We are requesting to exceed the maximum allowable setback per 15.310.210.A on S 204 street and 30th ave s. These increased setbacks are proposed to accommodate a porte cochere and pedestrian plaza.

Setback Provided:
1. Five (5) feet minimum setback has been provided on all public and private streets = compliant.

- International Boulevard: 40'-2"+43'-1"+42'-4"= 125'-7" set back min 20' ~ **125'-7"/364'-0"= 34.5% > 50% : departure required.**
- International Boulevard: 33'-3" maximum set back = compliant
- South 204th St. - 109'-3"+30'-7"+34'-5"=174'-3" set back min 10' ~ 174'-3"/315'-5"= 55.2% = compliant
- South 204th St. - **109'-3" exceeds maximum 20' setback : departure required.**
- 30th Ave. S. - 106'-11" set back a min 10' 106'-11"/106'-11"= 100% = compliant
- 30th Ave. S. - **106'-11" exceeds maximum 20' setback : departure required.**
- Through Block Connection - 448'-10" set back a min 10' 448'-10"/448'-10"= 100% = compliant
- Through Block Connection - 16'-10" maximum set back = compliant

How the Project Design Better Meets the Standard:

Along International Boulevard, the building is located closer to the right of way to enhance pedestrian connectivity for those walking to the light rail station or nearby businesses.
On S 204th Street, the increased setback allows for a covered porte cochere that improves drop-off circulation and creates a more generous pedestrian plaza.
Along 30th Ave. S., the deeper setback supports a public plaza that connects pedestrians from level 1 to level 2, improving accessibility and encouraging pedestrian movement across the site.

These departures support the intent of the code by promoting a vibrant, pedestrian friendly streetscape while improving access and visual interest throughout the entire project.

DEPARTURE 5 - SMC Development Standard(s): SMC 15.310.260.B Driveway Design:

SMC 15.310.260.B Driveway Design:
Driveways serving front yard porte cochere building entries shall be approved by the director and include only limited short-term parking that can be accommodated along one (1) double-loaded drive aisle.

Departure Request:

We are requesting a departure to allow a porte cochere serving the hotel entry, in conjunction with a deeper front yard setback.

How the Project Design Better Meets the Standard:

The porte cochere, paired with an increased setback, improves the pedestrian experience by separating guest drop-off from the public sidewalk. This design enhances safety, reduces curbside congestion, and creates a more gracious and welcoming hotel entry while maintaining a high-quality streetscape.

DEPARTURE 6 - SMC Development Standard(s): SMC 15.310.320.A.2.a.ii Decorative Paving in Plaza, Courtyard, or Pocket Park:

SMC 15.310.320.A.2.a.ii Location and Design of Open Space:
The following open space regulation shall supersede the street frontage landscape requirement as specified in SMC 15.445.010(C) and 15.445.210. The building facade landscaping requirement shall continue to apply to uses in the Angle Lake Station Area Overlay District, except under pedestrian weather protection structures, as specified in SMC 15.310.610(C).

- Open Space Requirements. Open space is to be provided on site in the following order of priority:
 - Remaining Open Space Area. After fulfilling the sidewalk improvements, remaining open space shall be provided within the front yard or to the side of the property. The open space shall be developed and arranged in a manner that is accessible to the public at all times, directly connected to a sidewalk or pedestrian pathway, and bordered on at least one (1) side by, or readily accessible from, the primary structure(s) on site. Front yard open space shall be placed in one (1) or more of the following ways:
 - Plaza, Courtyard, or Pocket Park. Publicly accessible open space shall be placed in a plaza, courtyard or pocket park that includes at a minimum:
 - Two hundred (200) square feet in size that is adjacent to a pedestrian building entrance;
 - At least fifty percent (50%) decorative paving, constructed of such materials as stamped, broom finish, or scored concrete; brick or modular pavers;
 - One (1) tree for every two hundred (200) square feet of decorative paving area;

Departure Request:

Per coordination with Ramon Rodriguez, we are requesting a departure from the requirement that at least 50% of publicly accessible open space within a plaza, courtyard, or pocket park be constructed with decorative paving. In lue of meeting the decorative paving requirement, the applicant proposes to exceed the tree planting requirement, based on the total open space area of 6529sf (6529/50 = 3,265/200 =16.325) by providing 17 additional trees. This would make the project adhere to SMC 15.310.320.A.2.a.iii.

How the Project Design Better Meets the Standard:

Applying the 50% decorative paving requirement to a park-like open space would limit the opportunities for natural landscaping, passive recreation, and ecological value. The project proposes a more park oriented design that prioritizes greenery, shade, and habitat over hardscape, which better aligns with the site's intended function and user experience.