



RUPINDER SHORT PLAT  
PRELIMINARY SHORT PLAT  
FILE NO.: SUB21-0009

DECLARATION

KNOW ALL MEN BY THESE PRESENTS that we, the undersigned, all parties with any right, title, and/or ownership interest in the land herein described, do hereby make a short subdivision thereof pursuant to RCW 58.17.060 and declare this short plat to be the graphic representation of same. Also, when specific conditions and/or agreements are a condition of approval of the above referenced short plat and are made a part thereof, then the said owners do hereby agree to and/or comply with all these conditions.

Further, the undersigned owners of the land hereby short subdivided waive for themselves, their heirs and assigns and any person or entity deriving title from the undersigned, any and all claims for damages against the City of SeaTac, its successors and assigns which may be occasioned by the establishment, construction, or maintenance of roads and/or drainage systems within this short subdivision other than claims resulting from inadequate maintenance by the City of SeaTac.

Further, the undersigned owners of the land hereby short subdivided agree for themselves, their heirs and assigns to indemnify and hold the City of SeaTac, its successors and assigns, harmless from any damage, including any costs of defense, claimed by persons within or without this short subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this short subdivision or by establishment, construction or maintenance of the roads within this short subdivision. Provided, this waiver and indemnification shall not be construed as releasing the City of SeaTac, its successors or assigns, from liability for damages, including the cost of defense, resulting in whole or in part from the negligence of the City of SeaTac, its successors, or assigns.

This subdivision, dedication, waiver of claims and agreement to hold harmless is made with the free consent and in accordance with the desires of said owners.

This is made with the free consent and in accordance with the desire of the owners(s) and shall be binding upon their heirs, successors, and/or assigns.

IN WITNESS WHEREOF WE SET OUR HANDS AND SEALS.

SINGH RUPINDER

STATE OF WASHINGTON  
COUNTY OF KING

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT SINGH RUPINDER IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT HE SIGNED THIS INSTRUMENT AND ACKNOWLEDGED IT TO BE HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED (SIGNATURE)

(SEAL OR STAMP) TITLE  
MY APPOINTMENT EXPIRES

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT

EXAMINED AND APPROVED THIS DAY OF 20.

COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR

ENGINEERING REVIEW DIVISION  
EXAMINED AND APPROVED THIS DAY OF 20.

ENGINEERING REVIEW MANAGER

KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS DAY OF 20.

ASSESSOR

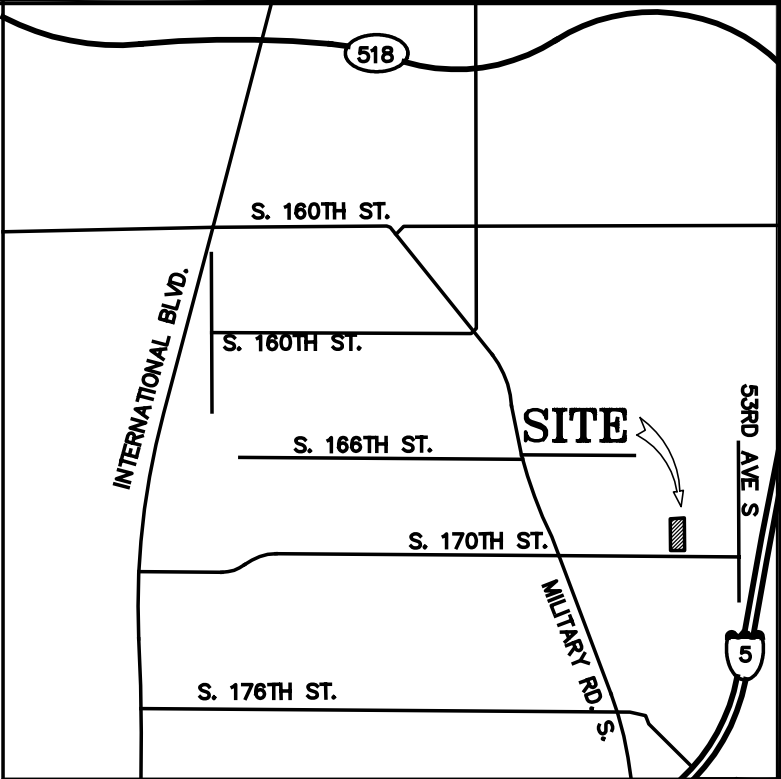
DEPUTY ASSESSOR

ACCOUNT NUMBER 812520-0450

RECORDING NO.

PORTION OF:

NW 1/4, SW 1/4, SEC. 26, T-23N, R-4E, W.M.



VICINITY MAP

N.T.S.

LEGAL DESCRIPTION:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;

THENCE ALONG THE WEST BOUNDARY OF SAID SUBDIVISION, SOUTH 0°48'39" EAST, 221.08 FEET;  
THENCE PARALLEL TO THE NORTH BOUNDARY LINE OF SAID SUBDIVISION, SOUTH 89°21'31" EAST, 332 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT OF HEREIN DESCRIBED;  
THENCE CONTINUING SOUTH 89°21'31" EAST, 100 FEET;  
THENCE SOUTH 0°48'39" EAST, 191.08 FEET;  
THENCE NORTH 89°21'31" WEST, 100 FEET;  
THENCE NORTH 0°48'39" WEST, 191.08 FEET TO THE TRUE POINT BO BEGINNING;

(ALSO KNOWN AS TRACT D, SUNRISE VIEW ADDITION, ACCORDING TO THE UNRECORDED PLAT THEREOF).

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SURVEYOR'S NOTES:

1. CONTROLLING BOUNDARY DATA WAS OBTAINED BY ACTUAL FIELD MEASUREMENTS. ANGULAR AND LINEAR RELATIONSHIPS OF FIELD TRAVERSE WERE DETERMINED WITH A SECOND TOTAL STATION SUPPLEMENTED WITH DATA COLLECTOR AND STEEL TAPE.
2. THE SITE AND ALL CENTERLINE CONTROL MONUMENTS SHOWN ON THIS RECORD OF SURVEY WERE VISITED IN OCTOBER OF 2020.
3. THIS SURVEY ACCURACY MEETS OR EXCEEDS PRECISION REQUIREMENTS AS SET FORTH IN W.A.C. 332-130-090.
4. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2020. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
5. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT THE GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITIES SHOWN HEREON MAY HAVE BEEN TAKEN FROM THE PUBLIC RECORDS AND ARE APPROXIMATE ONLY. GEODETIC SURVEYING SERVICES ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF PUBLIC RECORDS.

REFERENCES:

1. KING COUNTY ASSESSORS MAP OF SW 26-23-4.
2. RECORD OF SURVEY REC. No. 20150330900008
3. RECORD OF SURVEY REC. No. 20090226900002 VOL. 260, PAGEs 31,32
4. PRESTON SHORT PLAT REC. No. 20040217900005
5. SYLVIA SHORT PLAT REC. No. 20141021900011

SITE INFORMATION:

SITE ADDRESS: 5134 S 170TH ST  
SEATAC, WA 98188

TAX ACCOUNT No.: 812520-0450

SITE AREA: 19,094 ±S.F., 0.43 ±AC.

OWNER: SINGH RUPINDER  
5134 S 170TH ST  
SEATAC, WA 98188

ENGINEER: PEC DESIGN & CONSULTING  
PAT CARROLL  
2621 NE 109TH STREET  
VANCOUVER, WA 98686  
PHONE: (503) 849-1646  
PAT@PECDESIGN.NET

EASEMENT COVENANT FOR MAINTENANCE AND REPAIR  
THE PRIVATE ACCESS AND UTILITIES EASEMENT DEPICTED ON LOT 2, SHEET 2 OF 2 IS HEREBY GRANTED AND CONVEYED TO THE OWNERS OF LOT 1 AND 2, THEIR SUCCESSORS AND ASSIGNS. THE OWNERS OF LOTS 1 AND 2 SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE ACCESS AND UTILITY FACILITIES CONTAINED THEREIN. THIS EASEMENT SHALL REMAIN OPEN AT ALL TIMES FOR EMERGENCY AND PUBLIC SERVICE VEHICLES.

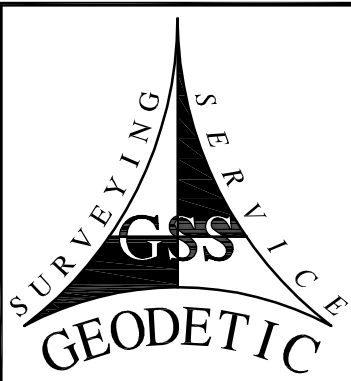
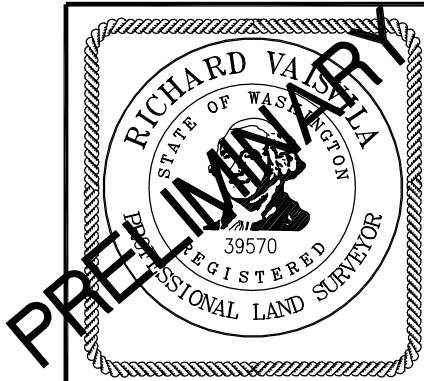
ALL LOTS TO BE SUBJECT TO  
STORMATER FACILITY MAINTENANCE COVENANT

TRAFFIC IMPACT FEES IMPOSED PURSUANT TO SMC 11.15.040  
WILL BE ASSESSED AS PART OF  
THE PROCESS FOR FUTURE BUILDING PERMITS.

WARNING: THE CITY OF SEATAC HAS NO  
RESPONSIBILITY TO BUILD, IMPROVE, MAINTAIN, OR  
OTHERWISE SERVICE THE PRIVATE ROADS  
CONTAINED WITHIN OR PROVIDING SERVICE TO THE  
PROPERTY DESCRIBED IN THIS SHORT PLAT.

AUDITOR'S CERTIFICATE  
Filed for record this day of 20 at M  
in book of at page at the request of  
RICHARD VAISVILA  
SURVEYOR'S NAME  
COUNTY AUDITOR

SURVEYOR'S CERTIFICATE  
This map correctly represents a survey made by me or under  
my direction in conformance with the requirements of the Survey  
Recording Act at the request of SINGH RUPINDER  
in 20.  
RICHARD VAISVILA  
Certificate No. 39570



GEODETIC  
SURVEYING SERVICES  
6041 CHAMPIONSHIP CIRCLE  
MUKILTEO, WA 98275  
PHONE: (425) 299-1739

CLIENT SINGH RUPINDER  
5134 S 170TH ST  
SEATAC, WA 98188  
PROJECT CITY OF SEATAC  
PRELIMINARY  
SHORT PLAT No. SUB21-0009

DATE 11/29/21  
SCALE NA  
DWG X20STC1  
JOB# X20STC1  
DRAWN BY RL  
APPROVED RV  
SHEET 1 OF 2

VOL./PAGE



# RUPINDER SHORT PLAT

PRELIMINARY SHORT PLAT  
FILE NO.: SUB21-0009

## LEGEND

- SANITARY SEWER MANHOLE
- UNDERGROUND SEWER MAIN
- STORM DRAIN MANHOLE
- STORM DRAIN CATCH BASIN
- UNDERGROUND STORM MAIN
- EX. CULVERT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER MAIN PAINTMARKS
- GAS METER
- GAS VALVE
- GAS MAIN-PAINTMARKS
- POWER METER
- CABLE TV RISER
- UTILITY POLE ANCHOR
- UTILITY POLE AND TRANSFORMER
- POWER POLE WITH DROP&LIGHT
- OVERHEAD POWER
- EXISTING SIGN
- MAIL BOX
- GATE POLE
- CHAIN LINK FENCE (CLF)
- WOOD FENCE (WDF)
- WIRE FENCE (WF)
- BLOCKS RETAINING WALL
- ROCKERY
- PAVEMENT
- GRAVEL
- CONCRETE
- SFR SINGLE FAMILY RESIDENTIAL
- T.B.R. TO BE REMOVED
- DECIDUOUS TREE
- SHRUBS
- FIR TREE

BRASS PLUG W/PUNCH  
IN CONC. IN CASE  
VISITED OCT '20

S. 168TH ST.

51ST AVE S

BRASS PLUG W/PUNCH  
IN CONC. IN CASE  
VISITED OCT '20  
"HELD"

CB  
RIM 291.22  
IE(W) 289.08 8" PVC  
IE(S) 289.19  
IE(N) 287.24 6" CONC  
CBMH  
RIM 291.37  
IE(W,E,N) 285.72

S. 170TH STREET

EX. SSMH  
RIM 276.88  
IE(MC) 270.77

CB  
RIM 275.15  
IE 269.35

CBMH  
RIM 275.84  
IE 269.92  
W-E 18"  
N,S

BRASS PLUG W/PUNCH  
IN CONC. IN CASE  
VISITED OCT '20

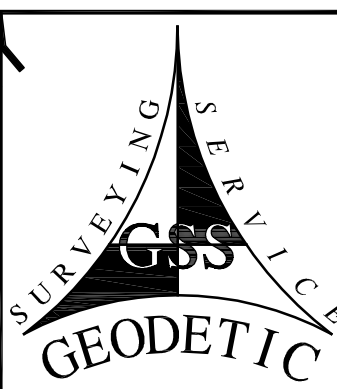
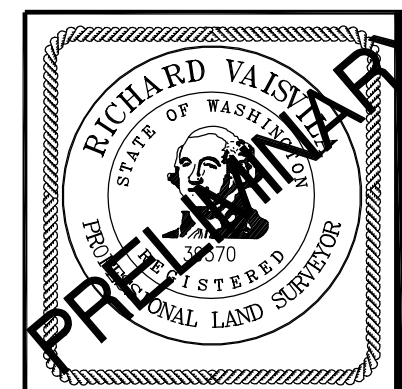
SITE AREA: 19,094 ±S.F., 0.43 ±Ac.

MERIDIAN:  
RECORD OF SURVEY  
REC. No. 20150330900008  
VOL. 322/060

BASIS OF BEARINGS:  
THE LINE BETWEEN THE MONUMENTS AT  
THE INTERSECTION OF S 170TH ST WITH  
51ST AVE S. AND 53RD AVE S  
AS DEPICTED HEREON BEARING N89°21'31"E

DATUM  
NAVD88

BENCHMARK  
C.O.S. BENCHMARK No.  
93V-913 DB ID: 2577  
ELEV. = 312.24



GEODETIC  
SURVEYING SERVICES  
6041 CHAMPIONSHIP CIRCLE  
MUKILTEO, WA 98275  
PHONE: (425) 299-1739

CLIENT  
RUPINDER SINGH  
5134 S 170TH ST  
SEATAC, WA 98188  
PROJECT  
CITY OF SEATAC  
PRELIMINARY  
SHORT PLAT No. SUB21-0009

DATE 11/29/21  
SCALE 1"=20'  
DWG X20STC1  
JOB# X20STC1  
DRAWN BY RL  
APPROVED RV  
SHEET 2 OF 2

VOL./PAGE