

PARCEL NUMBER: 443920-0055

ADDRESS: 15402 30TH AVE S 98188

SCOPE OF WORK:

DEMOLISH EXISTING ONE LEVEL SINGLE FAMILY HOUSE AND CONSTRUCT 5 LEVELS APARTMENT BUILDING INCLUDING GROUND PARKING AND 11 URBAN STUDIO, ONE 3 BEDROOM UNIT AND AMENTIES.

PROPERTY OWNER:

AUSTIN1 LLC

ZONING: UH-UCR

LOT AREA: 8,584 SF

GROSS BUILDING AREA: 20,812 SQ FT(INCLUDING GROUND LEVEL PARKING)
GROSS FLOOR AREA: 16,102 SQ FT

PROPOSED LOT COVERAGE: 4,960 SQ FT (57.8%)

PARKING PROVIDED: 9 STALLS, INCLUDING 1 ADA ACCESSIBLE VAN STALL.

FAR: 1.88

DENSITY LIMIT: NOT REQUIRED

OCCUPANCY TYPE: R-2

CONSTRUCCION TYPE: TYPE V

SPRINKLERING SYSTEM: YES

LOWES TERRACE # 11
PLAT BLOCK: 2
PIAT LOT: 1

ARCHITECTURAL

AS100	PROJECT INFORMATION & SITE PLAN
AE100	EXISTING PLAN
AE101	F1 FLOOR PLAN
AE102	F2 FLOOR PLAN
AE103	F3 FLOOR PLAN
AE104	F4 FLOOR PLAN
AE105	F5 FLOOR PLAN
AE201	EXTERIOR ELEVATIONS
AE202	EXTERIOR ELEVATIONS

SURVEY

1 OF 1 TOPOGRAPHICAL SITE SURVEY

LANDSCAPE

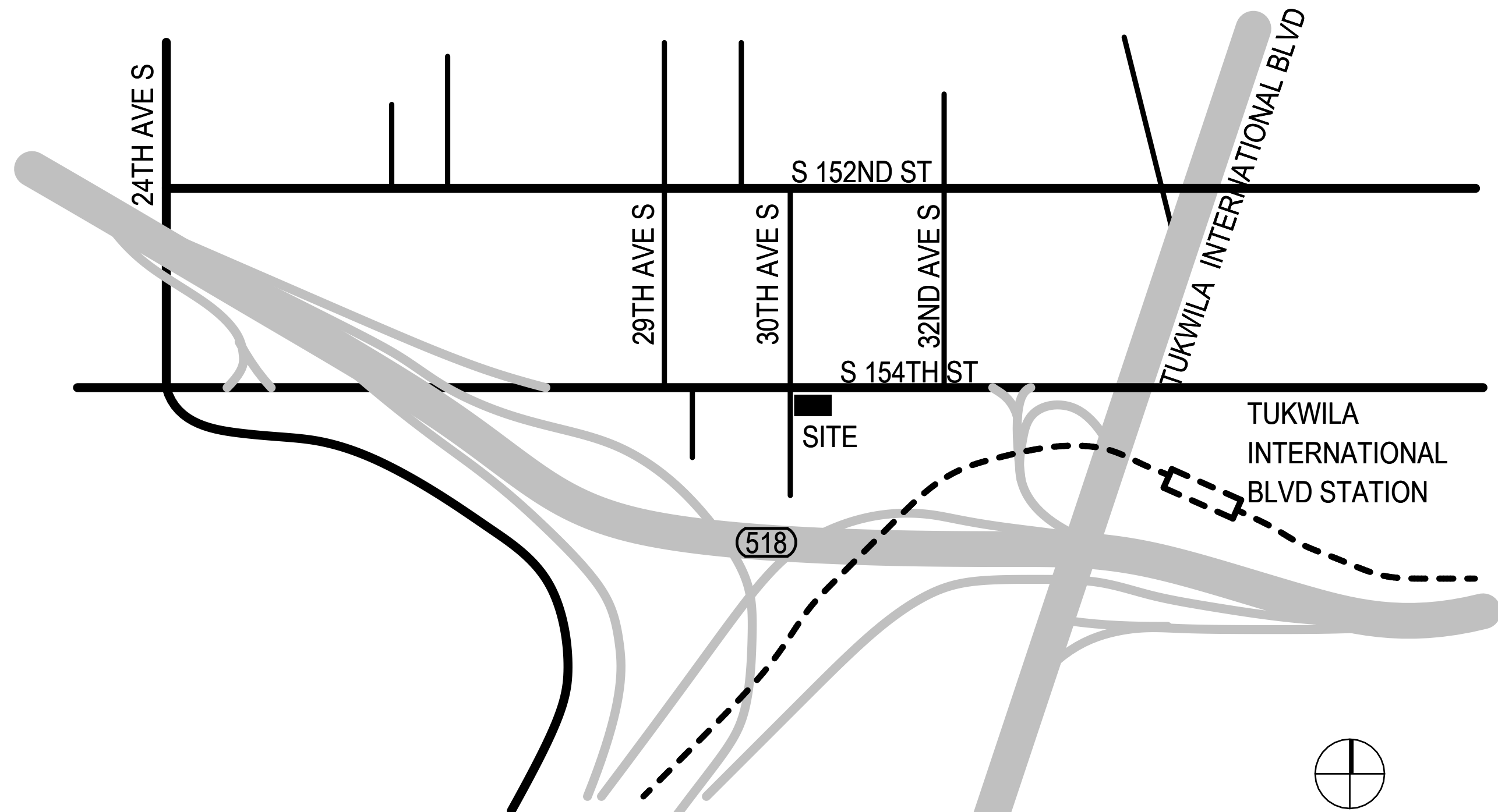
L1	LANDSCAPE PLAN L1
L2	LANDSCAPE PLAN L2

2018 INTERNATIONAL BUILDING CODE WITH STATEWIDE AND CITY AMENDMENTS

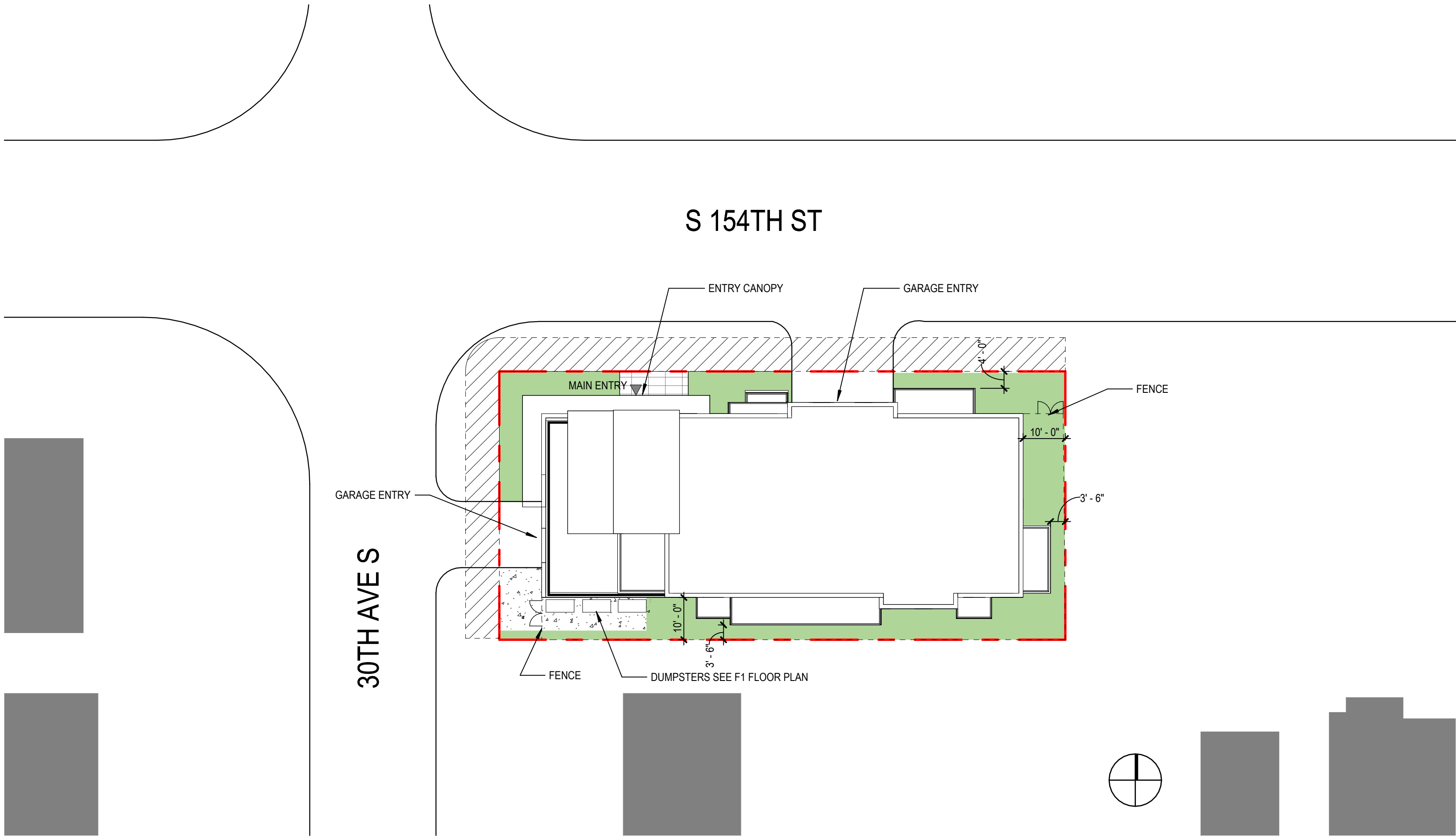
ABV	ABOVE	HORIZ	HORIZONTAL
BLK'G	BLOCKING	MAX	MAXIMUM
BI	BIFOLDING FLOOR	MFR	MANUFACTURER
C	CENTER LINE	MIN	MINIMUM
CLR	CLEAR	o/	OVER
CONT	CONTINUOUS	O.C.	ON CENTER
CS	CASEMENT WINDOW	SD	SMOKE DETECTOR
DBL	DOUBLE	SG	SAFETY GLASS
DS	DOWNSPOUT	SGL-HG	SINGLE-HUNG WINDOW
EL	ELEVATION	SGF	SQUARE FEET
EQ	EQUAL	SIM	SIMILAR
(E)	EXISTING	SLD	SLIDING WINDOW
GC	GENERAL CONTRACTOR	PT	POCKET DOOR
GWB	GYPSUM WALL BOARD	PR	PAIR DOOR
FTG	FOOTING	TPY	TYPICAL
FX	FIXED WINDOW	UNO	UNLESS NOTED OTHERWISE
FSD	FIRE SEPARATION DISTANCE	VIF	VERIFY IN FIELD
HDR	HEADER	W/	WITH
HDWD	HARDWOOD		
HGR	HANGER		

ANALYSIS IS BASED ON 2018 WASHINGTON STATE ENERGY CODE, CHAPTER 4, TABLE 406.2
(CLIMATE ZONE 4C)

PERCENTAGE OF GLAZING TO FLOOR AREA	UNLIMITED
MAXIMUM GLAZING U - VALUE (VERTICAL)	.28
MAXIMUM GLAZING U - VALUE (OVERHEAD)	.50
CEILINGS	R-49
CEILINGS (VAULTED / RAFTERS)	R-38
WALLS ABOVE GRADE	R-21
FLOORS	R-38
SLAB ON GRADE	R-10
HEADER	R-10



VINICITY PLAN



2 SITE PLAN
1" = 20'-0"

NO.	DATE	DESCRIPTION
	02/02/24	PRE APPLICATION
	11/20/24	PRELIMINARY SITE PLAN REVIEW

SEATAC APT DEVELOPMENT

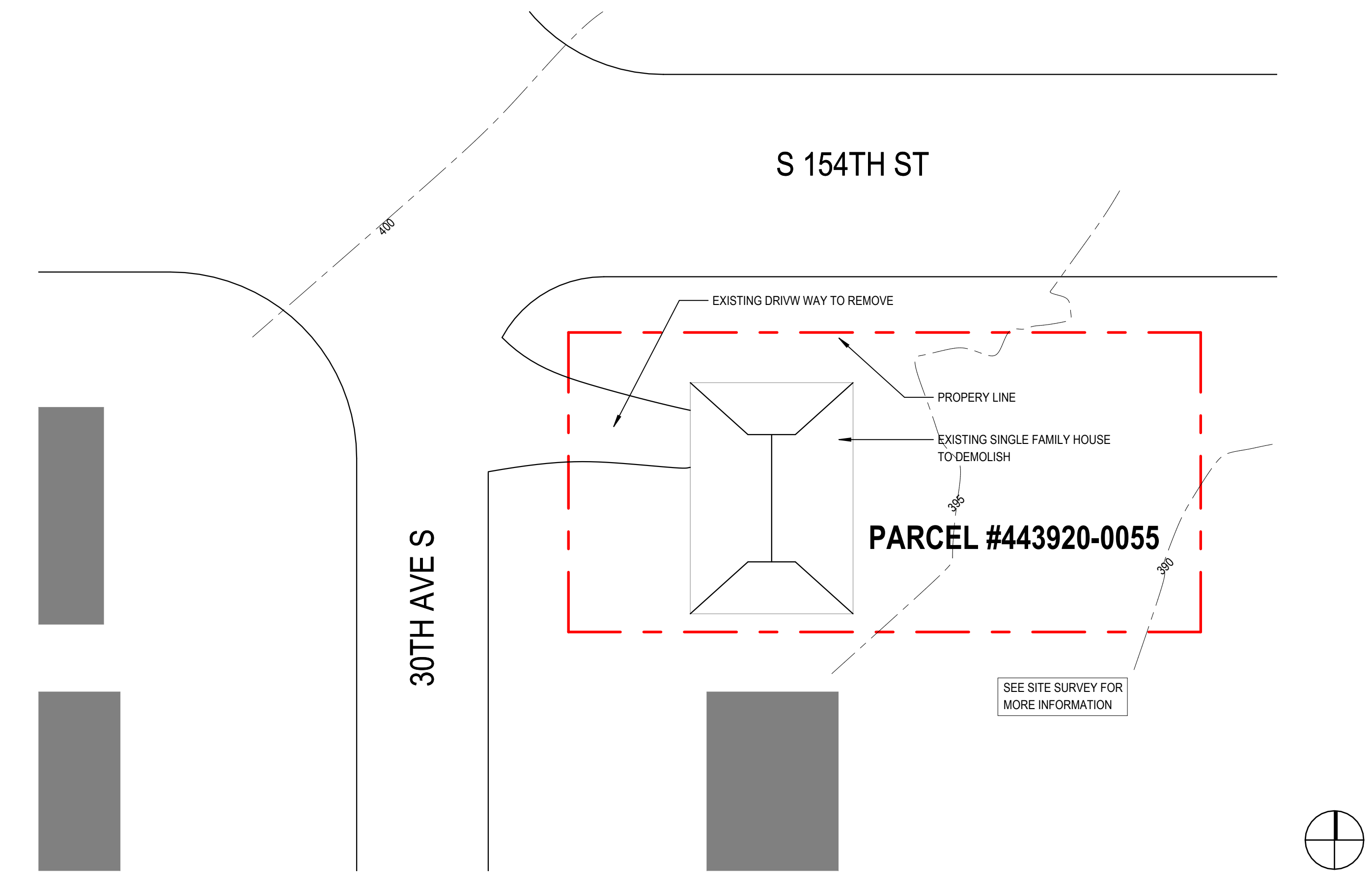
15402 30TH AVE S SEATAC WA
98188

SCALE: As indicated

TITLE: PROJECT INFORMATION

SHEET:

AS100



1 EXISTING PLAN
1" = 20'-0"

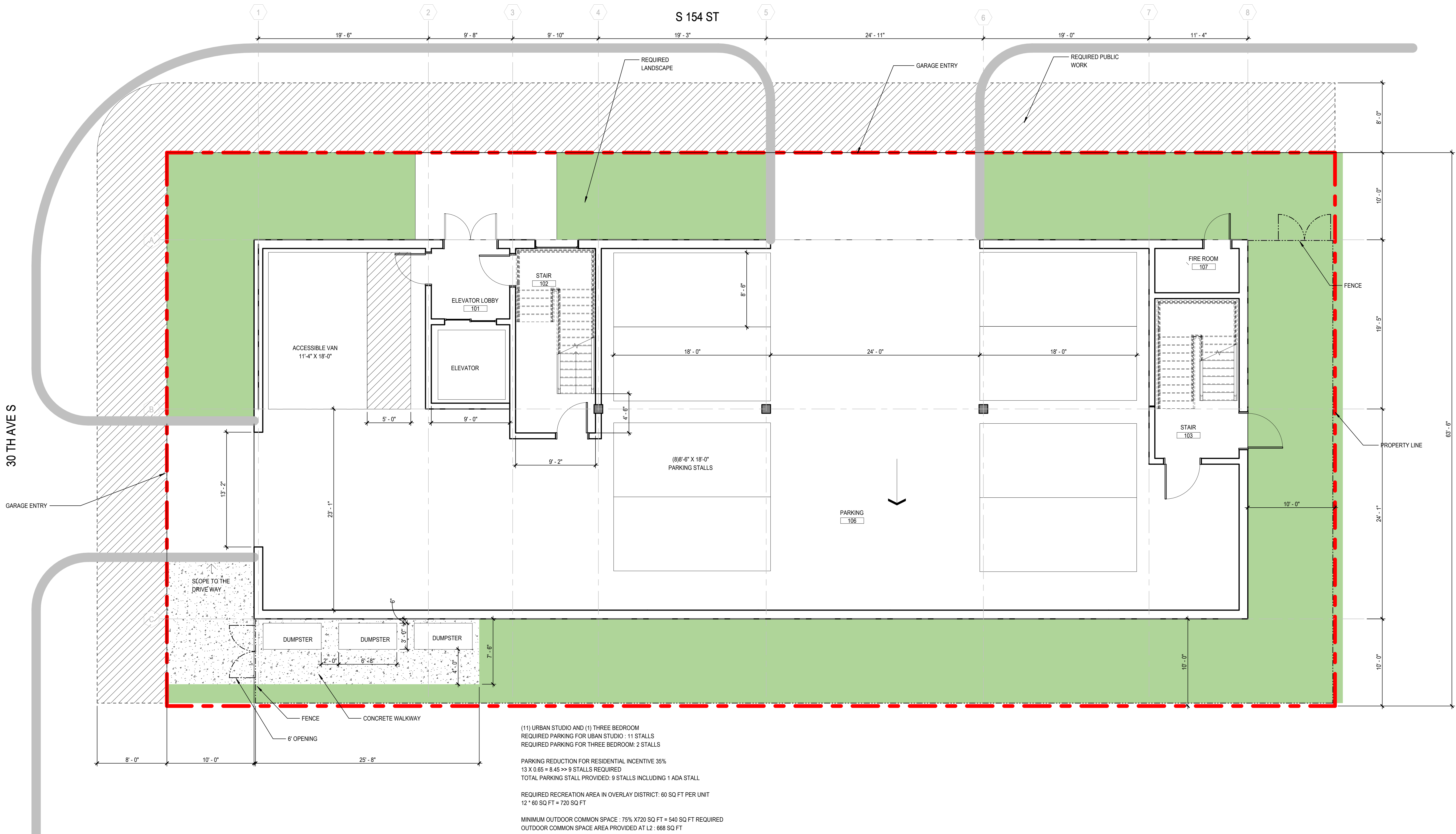
NO.	DATE	DESCRIPTION
02/02/24		PRE APPLICATION
11/20/24		PRELIMINARY SITE PLAN REVIEW

SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 1" = 20'-0"

TITLE: EXISTING PLAN

SHEET: AE100



NO.	DATE	DESCRIPTION
02/02/24		PRE APPLICATION
11/20/24		PRELIMINARY SITE PLAN REVIEW

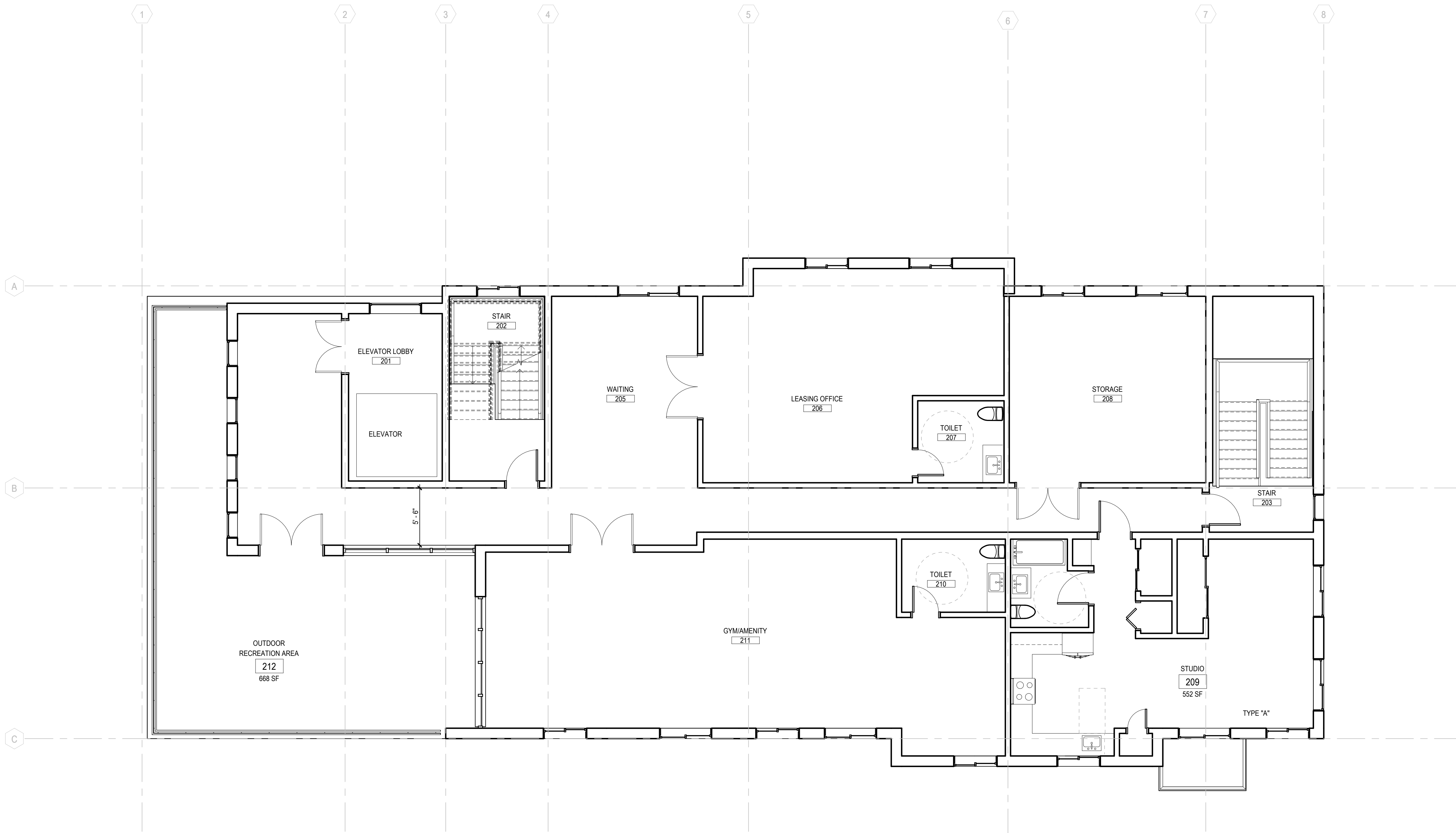
SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 3/16" = 1'-0"

TITLE: F1 FLOOR PLAN

SHEET:

AE101



2 F2 FLOOR PLAN
3/16" = 1'-0"

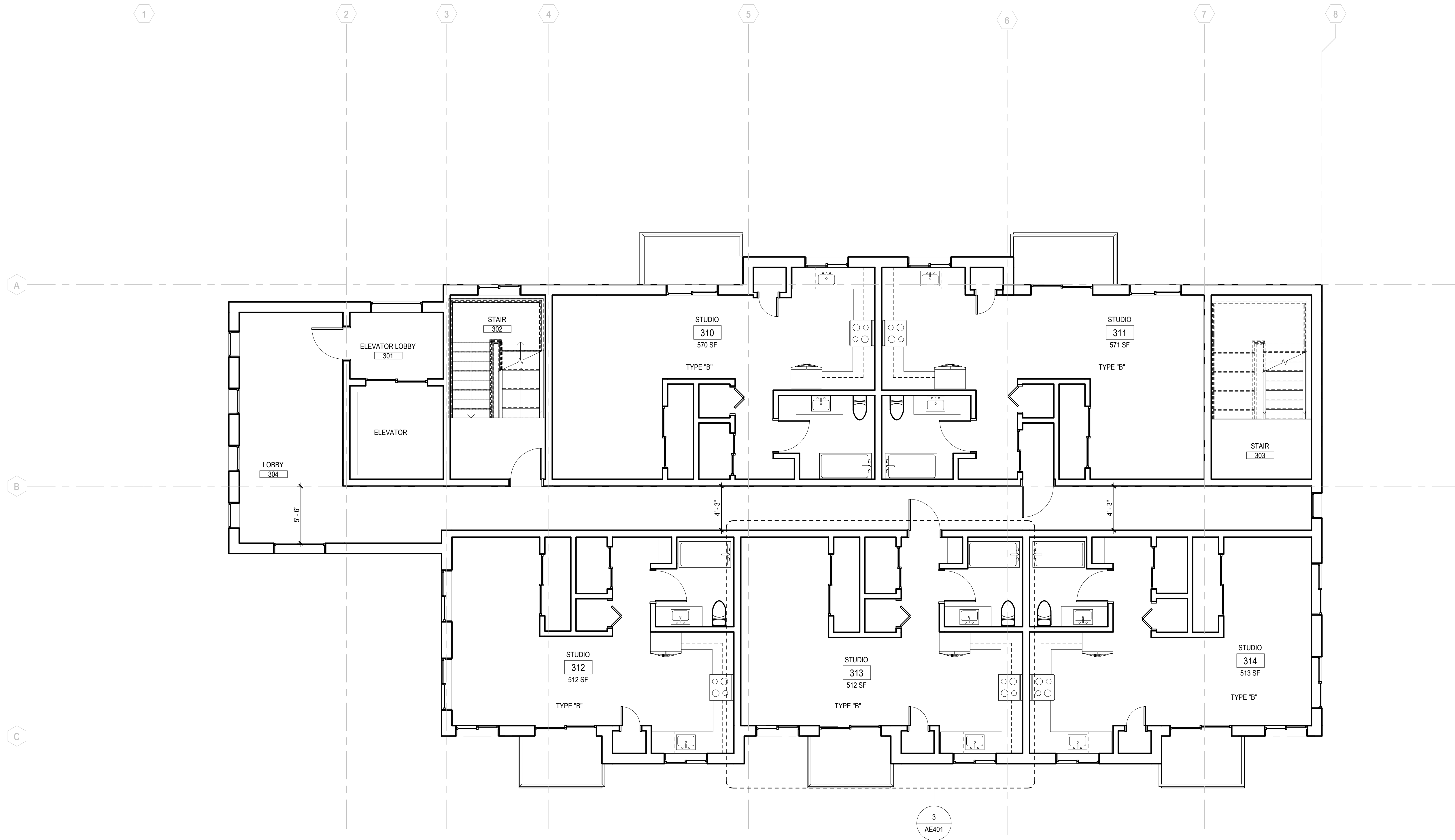
NO.	DATE	DESCRIPTION
02/02/24	PRE APPLICATION	
11/20/24	PRELIMINARY SITE PLAN REVIEW	

SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 3/16" = 1'-0"

TITLE: F2 FLOOR PLAN

SHEET:
AE102



2 F3 FLOOR PLAN
3/16" = 1'-0"

NO.	DATE	DESCRIPTION
02/02/24		PRE APPLICATION
11/20/24		PRELIMINARY SITE PLAN REVIEW

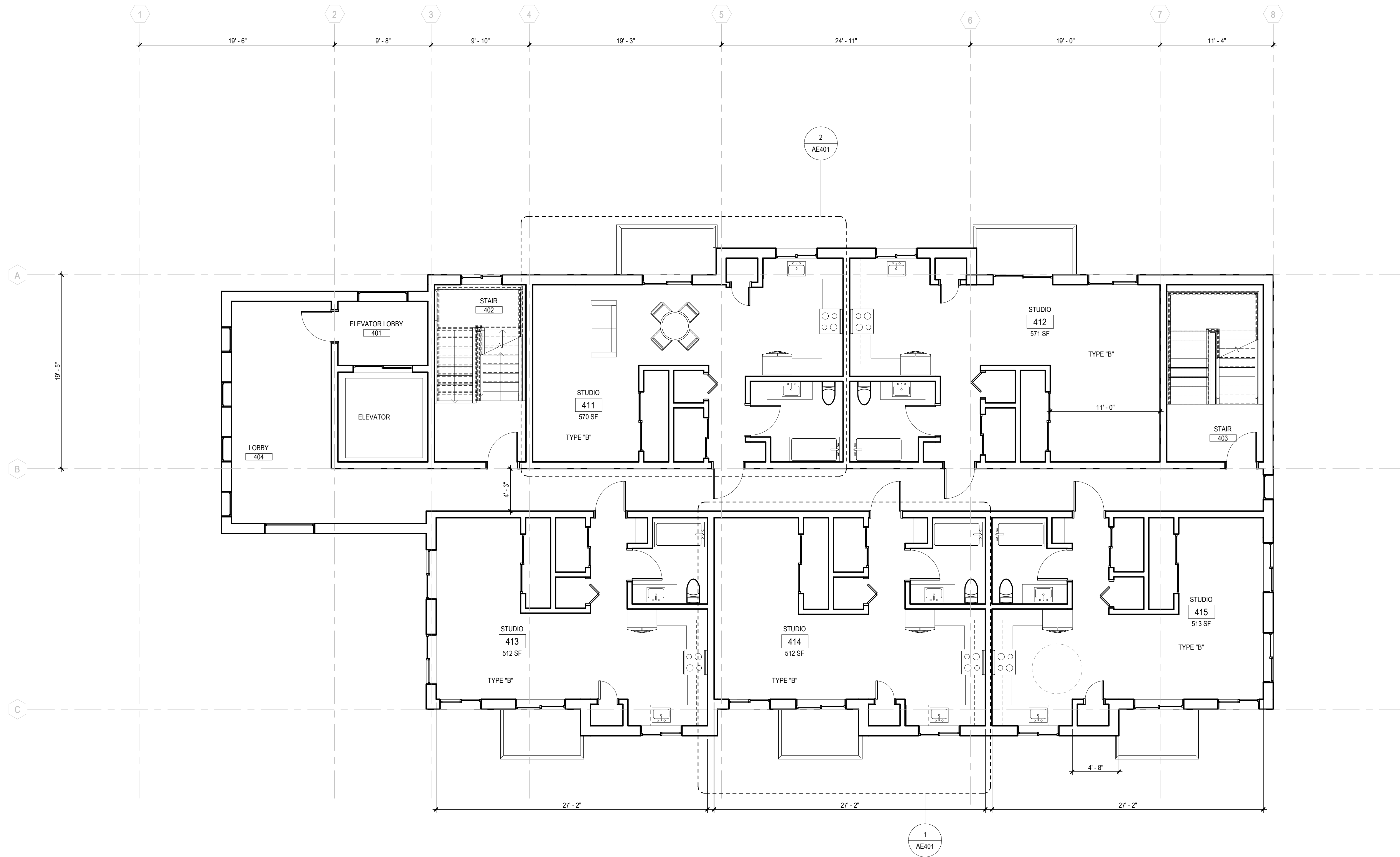
SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 3/16" = 1'-0"

TITLE: F3 FLOOR PLAN

SHEET:

AE103



2 F4 FLOOR PLAN

NO.	DATE	DESCRIPTION
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11/20/24		PRELIMINARY SITE PLAN REVIEW

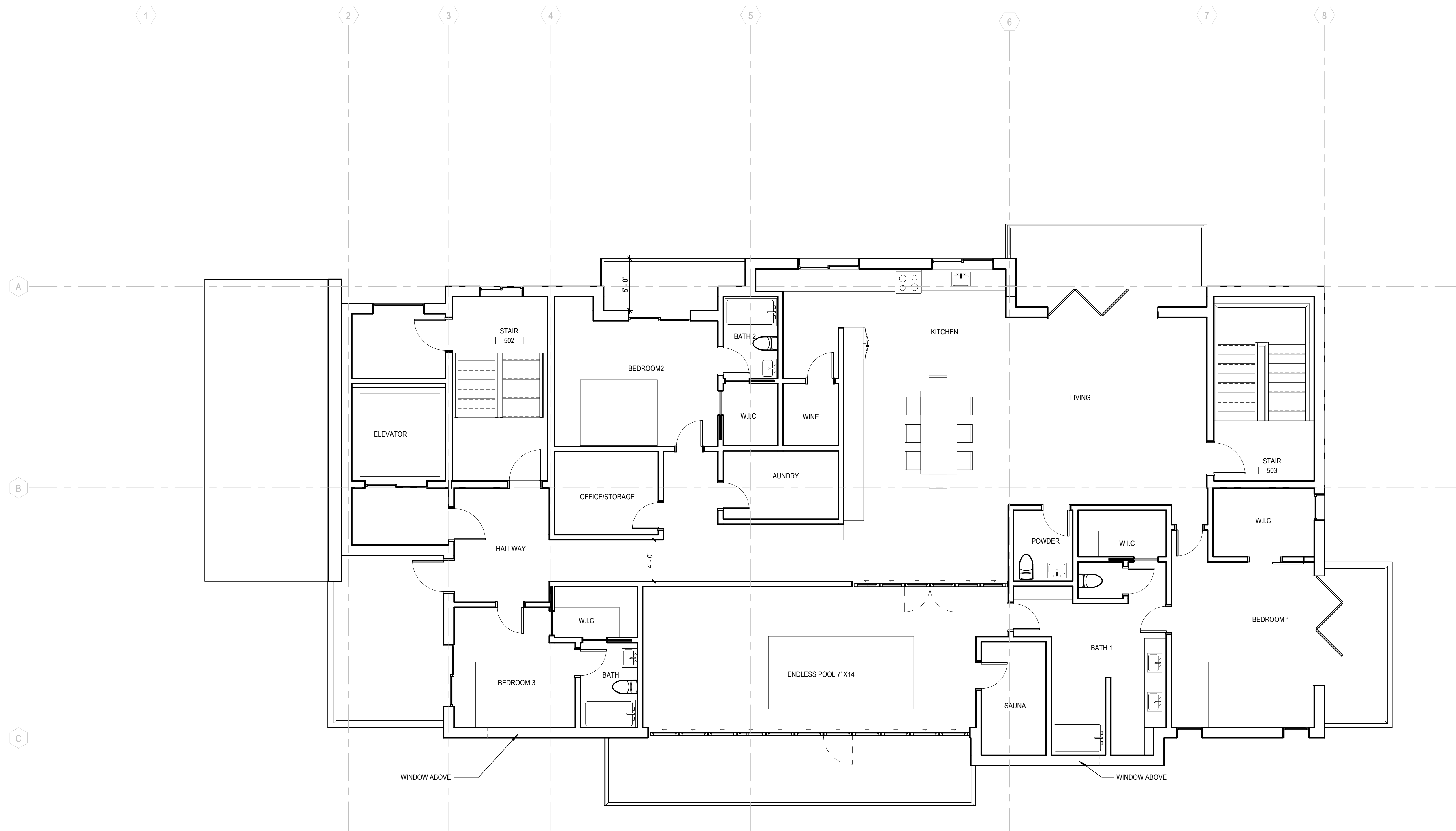
SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 3/16" = 1'-0"

TITLE: F4 FLOOR PLAN

SHEET:

AE104



2 F5 FLOOR PLAN

NO.	DATE	DESCRIPTION
02/02/24	PRE APPLICATION	
11/20/24	PRELIMINARY SITE PLAN REVIEW	

SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

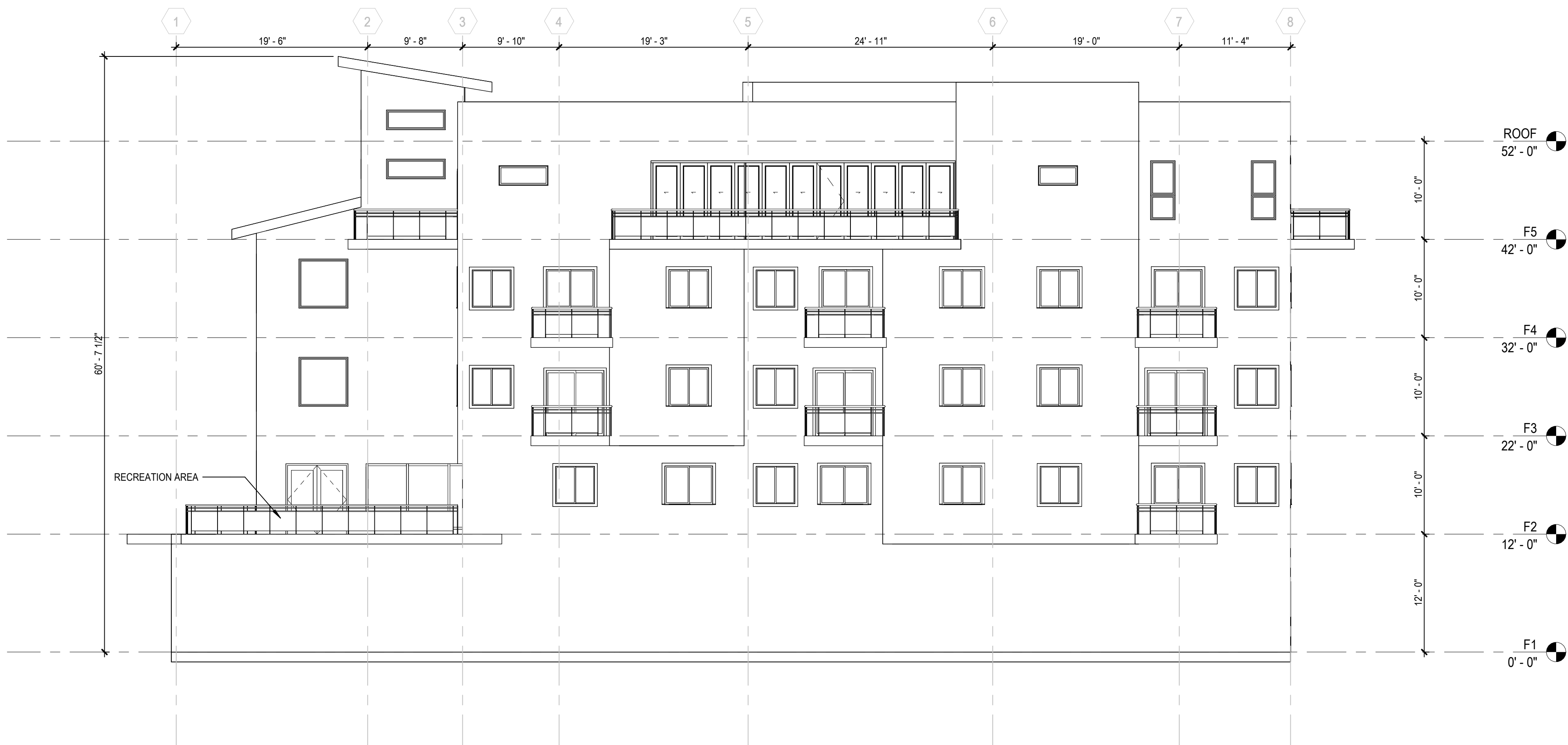
SCALE: 3/16" = 1'-0"

TITLE: F5 FLOOR PLAN

SHEET: AE105



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

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02/02/24		PRE APPLICATION
11/20/24		PRELIMINARY SITE PLAN REVIEW

SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 1/8" = 1'-0"

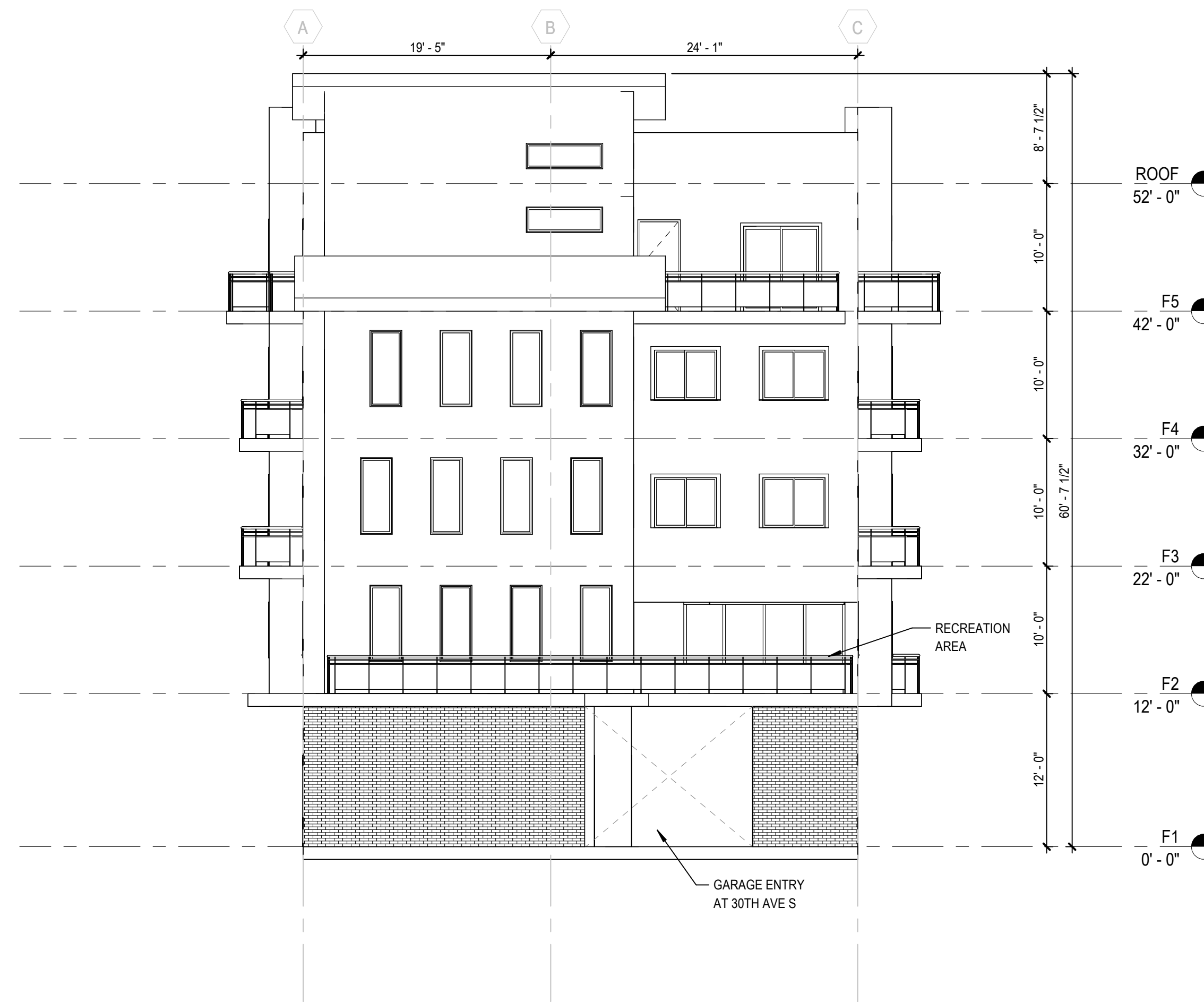
TITLE: EXTERIOR
ELEVATIONS

SHEET:

AE201



1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

NO.	DATE	DESCRIPTION
02/02/24		PRE APPLICATION
11/20/24		PRELIMINARY SITE PLAN REVIEW

SEATAC APT
DEVELOPMENT
15402 30TH AVE S SEATAC WA
98188

SCALE: 1/8" = 1'-0"

TITLE: EXTERIOR
ELEVATIONS

SHEET:

AE202

15402 30TH AVENUE S

TOPOGRAPHIC SURVEY

THE NE 1/4 OF THE SE 1/4 OF SECTION 21, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M.
CITY OF SEATAC, KING COUNTY, WASHINGTON

BASIS OF BEARINGS

HELD NORTH 89°12'42" EAST BETWEEN FOUND MONUMENTS AT THE EAST QUARTER CORNER OF SECTION 21, TOWNSHIP 23N, RANGE 4E, W.M. AND THE INTERSECTION OF S. 152ND STREET AND VACATED 27TH PLACE S. (NOT SHOWN)

HORIZONTAL DATUM

WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE (NAD 83/2011) BASED ON RTK GPS MEASUREMENTS CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK.

VERTICAL DATUM

NAVD 88 BASED ON RTK GPS MEASUREMENTS CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK.

SURVEY NOTES

- DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION, AND MEETS OR EXCEEDS ACCURACY REQUIREMENTS CONTAINED IN W.A.C. 332.130.090. ALL MEASURING INSTRUMENTS EMPLOYED IN THIS SURVEY HAVE BEEN MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THIS MAP GRAPHICALLY REPRESENTS CONDITIONS AND FEATURES EXISTING AT THE TIME OF THIS SURVEY ONLY, WHICH WAS PERFORMED DURING SEPTEMBER OF 2024.
- THE CERTIFICATION OF THIS SURVEY AND MAP IS EXCLUSIVE TO THE NAMED CLIENT WHO REQUESTED THIS SURVEY. IT WAS SPECIFICALLY DESIGNED TO MEET THEIR STATED NEED(S). THAT CERTIFICATION DOES NOT EXTEND TO ANY OTHER PARTIES OR FOR ANY ALTERNATIVE USE OF THIS MAP WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING THOSE PARTIES.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A TOPOGRAPHIC MAP OF THE EXISTING CONDITIONS WITHIN KING COUNTY PARCEL #4439200055 FOR PLANNING, DESIGN AND CONSTRUCTION.
- UTILITIES OTHER THAN SHOWN MAY EXIST ON THE SITE. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. THE SURVEYOR DOES CERTIFY THAT THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION.
- PARCEL AREA: 8,585 ± SQ.FT. (0.2 ACRES)
- ALL DISTANCES AND DIMENSIONS SHOWN ARE U.S. SURVEY FEET GROUND MEASUREMENTS.
- CONTOUR INTERVALS ARE 1-FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- THE PROPERTY AND PUBLIC RIGHT-OF-WAY LINES SHOWN HEREON ARE BASED ON THE PLAT OF LOWE'S TERRACE NO. 11 AND OTHER RECORDED DOCUMENTS. THEY ARE NOT THE RESULT OF AN INDEPENDENT BOUNDARY SURVEY BY APEX ENGINEERING. NO PROPERTY CORNERS WERE FOUND OR SET DURING THIS SURVEY.
- WE HAVE USED GRAPHIC SYMBOLS TO REPRESENT SOME FEATURES ON THIS MAP, SUCH AS UTILITIES, TREES AND FENCES. THE DEFAULT SIZE OF THOSE SYMBOLS MAY NOT REFLECT THE TRUE SIZE OF THE FEATURE THAT WAS MAPPED.

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED UNDER AFN 20210824001223)

LOT 1, BLOCK 2, OF LOWE'S TERRACE NO. 11, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 53 OF PLATS AT PAGE 88, IN KING COUNTY, WASHINGTON;

SITUATE IN KING COUNTY, WASHINGTON.

GRAPHIC SCALE

(IN FEET)
1 inch = 10ft.

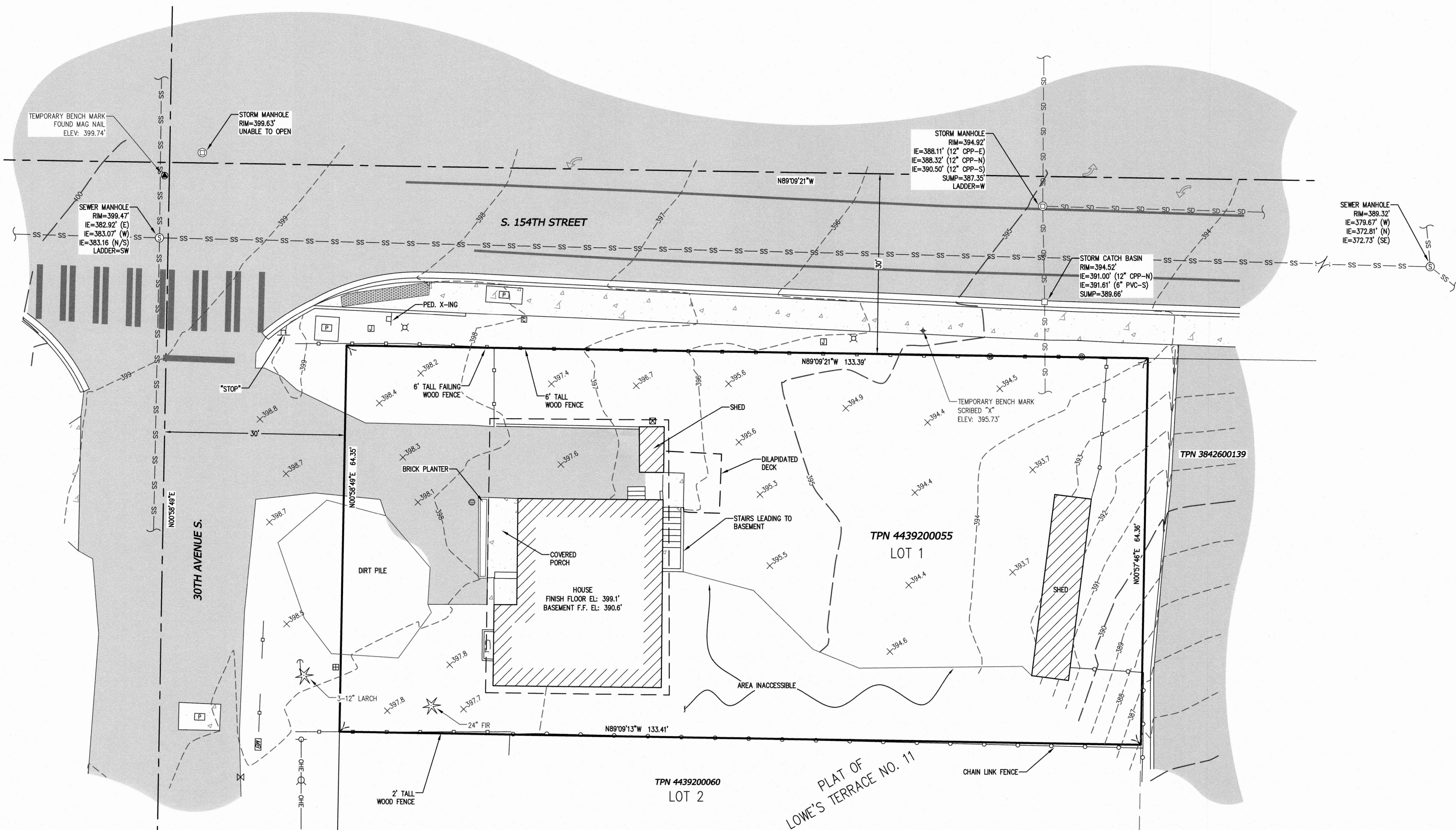
LEGEND

- FOUND MAG NAIL
- TPN TAX PARCEL NUMBER
- BOUNDARY LINE
- ADJOINER PROPERTY BOUNDARY
- RIGHT OF WAY LINE
- ROAD CENTERLINE
- PLAT LINE
- BUILDING EAVE LINE
- SS — SS — SS BURIED SANITARY SEWER LINE
- SD — SD — SD BURIED STORM DRAIN LINE
- OHE — OHE — OHE OVERHEAD POWER LINE
- WOOD FENCE (AS NOTED)
- CHAIN LINK FENCE (AS NOTED)
- MINOR CONTOUR
- MAJOR CONTOUR
- × 0.0' SPOT ELEVATION
- SIGN
- MAILBOX
- GATE POST
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- STORM CATCH BASIN
- STORM YARD DRAIN
- IE INVERT ELEVATION
- PVC PLASTIC PIPE
- CPP CORRUGATED PLASTIC PIPE
- UTILITY POLE
- GUY ANCHOR
- POWER VAULT
- POWER METER
- JUNCTION BOX
- LIGHT POLE
- CABLE RISER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- EVERGREEN TREE (DIAMETER AS NOTED)

- ASPHALT SURFACE
- CONCRETE SURFACE
- CURB RAMP SURFACE

REFERENCES

- RECORD OF SURVEY UNDER AFN 20220329900029.
- RECORD OF SURVEY UNDER AFN 20160219900003.
- LOWE'S TERRACE NO. 11, VOL. 53, PG. 88.
- FERRUCO ADDITION, VOL. 53, PG. 92.



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE REPRESENTS THE SURFACE FEATURES AS THEY EXIST ON THE GROUND AS OF 10/16/2024.

KURT PARCHER P.L.S. NO. 49286
DATE

Oct. 24, 2024

REV NO	REVISION DESCRIPTION	DATE BY

Apex Engineering
2601 South 35th Street, Suite 200
Tacoma, Washington 98409-7479
(253) 473-4494 FAX: (253) 473-0599

15402 30TH AVENUE S.
TOPOGRAPHIC SURVEY

TITLE

LEON MIKHAILOV
15402 30TH AVENUE S
SEATAC, WA 98188

CLIENT

DATE SEALED 10/24/2024

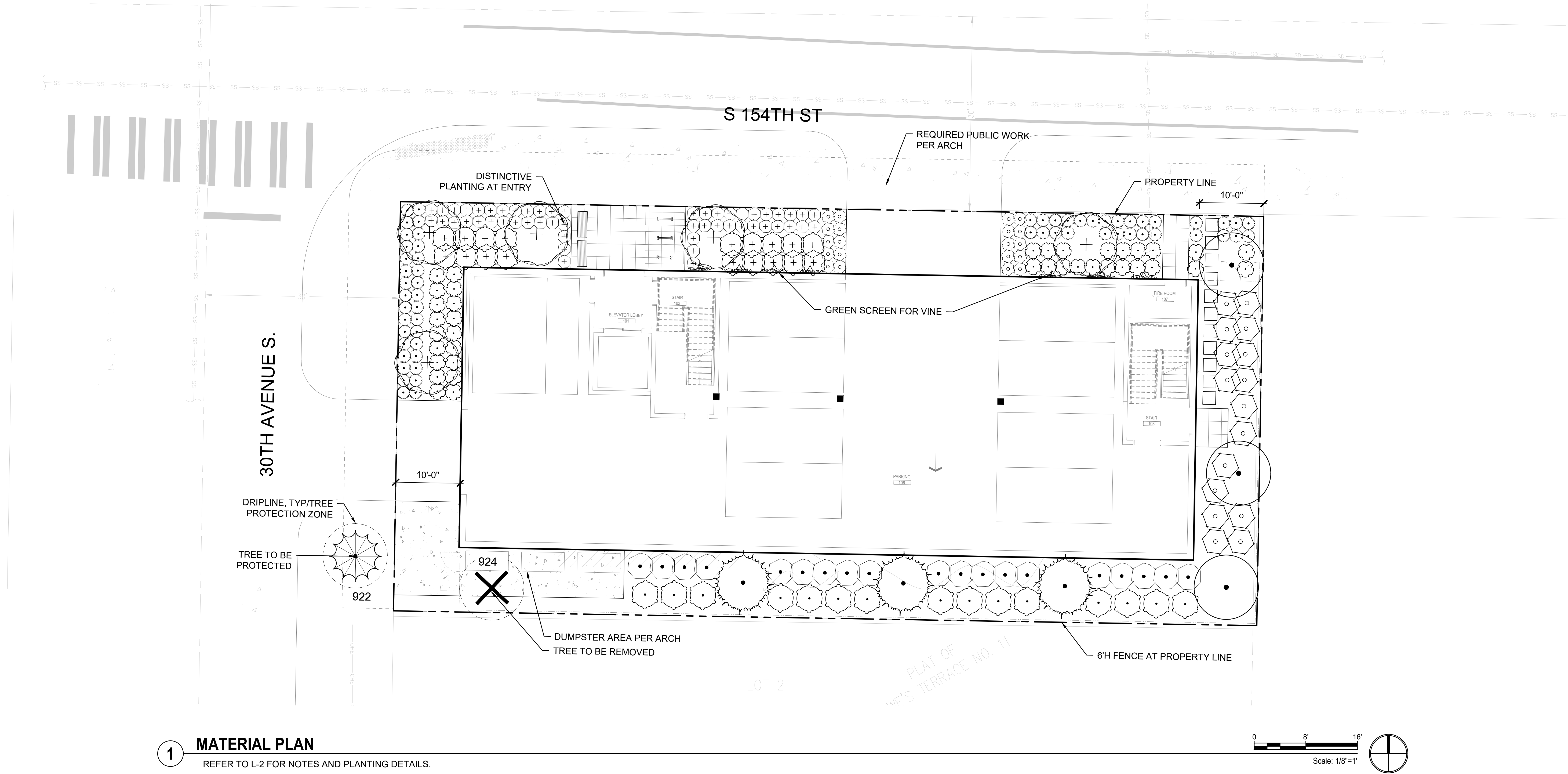


PROJECT MANAGER
KAP

DESIGN
DRAWN B. MAYO
CHECKED KAP
SEC 21 T 23N R 4E
FILE NO 37287-SV
DATE 10/22/2024
SCALE 1"=10'

SHEET 1 OF 1
FILE NO 37287

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1 MATERIAL PLAN
REFER TO L-2 FOR NOTES AND PLANTING DETAILS.

PLANT SCHEDULE GROUND									
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
TREES					SHRUBS				
	AC	ACER CIRCINATUM / VINE MAPLE	1.5" CAL	4		HI	HYDRANGEA INTEGRIFOLIA / EVERGREEN CLIMBING HYDRANGEA	2 GAL	7
	AG	AMELANCHIER X G. 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	1.5" CAL	5		LM2	LIRIOPE MUSCARI / LILYTURF	1 GAL	28
	ML	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA	8'-10' HT	4		ME	MAHONIA EUR. 'SOFT CARESS' / MAHONIA SOFT CARESS	5 GAL	20
SHRUBS						SH2	SARCOCOCCA HOOKERIANA VAR. HUMILIS / DWARF SWEETBOX	2 GAL	25
	HM	HAKONECHLOA MACRA / JAPANESE FOREST GRASS	1 GAL	68		SM	SPIRAEA JAPONICA 'WALBUMA' / MAGIC CARPET JAPANESE SPIREA	2 GAL	44
	HA	HAKONECHLOA MACRA 'ALL GOLD' / JAPANESE FOREST GRASS	1 GAL	66		SA	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	2 GAL	20
	HI	HYDRANGEA INTEGRIFOLIA / EVERGREEN CLIMBING HYDRANGEA	2 GAL	7		VD	VIBURNUM DAVIDII / DAVID VIBURNUM	2 GAL	16

LOTUS LANDSCAPE DESIGN
425 753 3424
JOSEPHINE@LOTUSLANDSCAPEDESIGN.COM

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Josephine Chung-Chen Lian
CERTIFICATE NO. 905

SEATAC APT DEVELOPMENT
15402 30TH AVE S SEATAC WA, 98188

NUMBER	DATE	DESCRIPTION

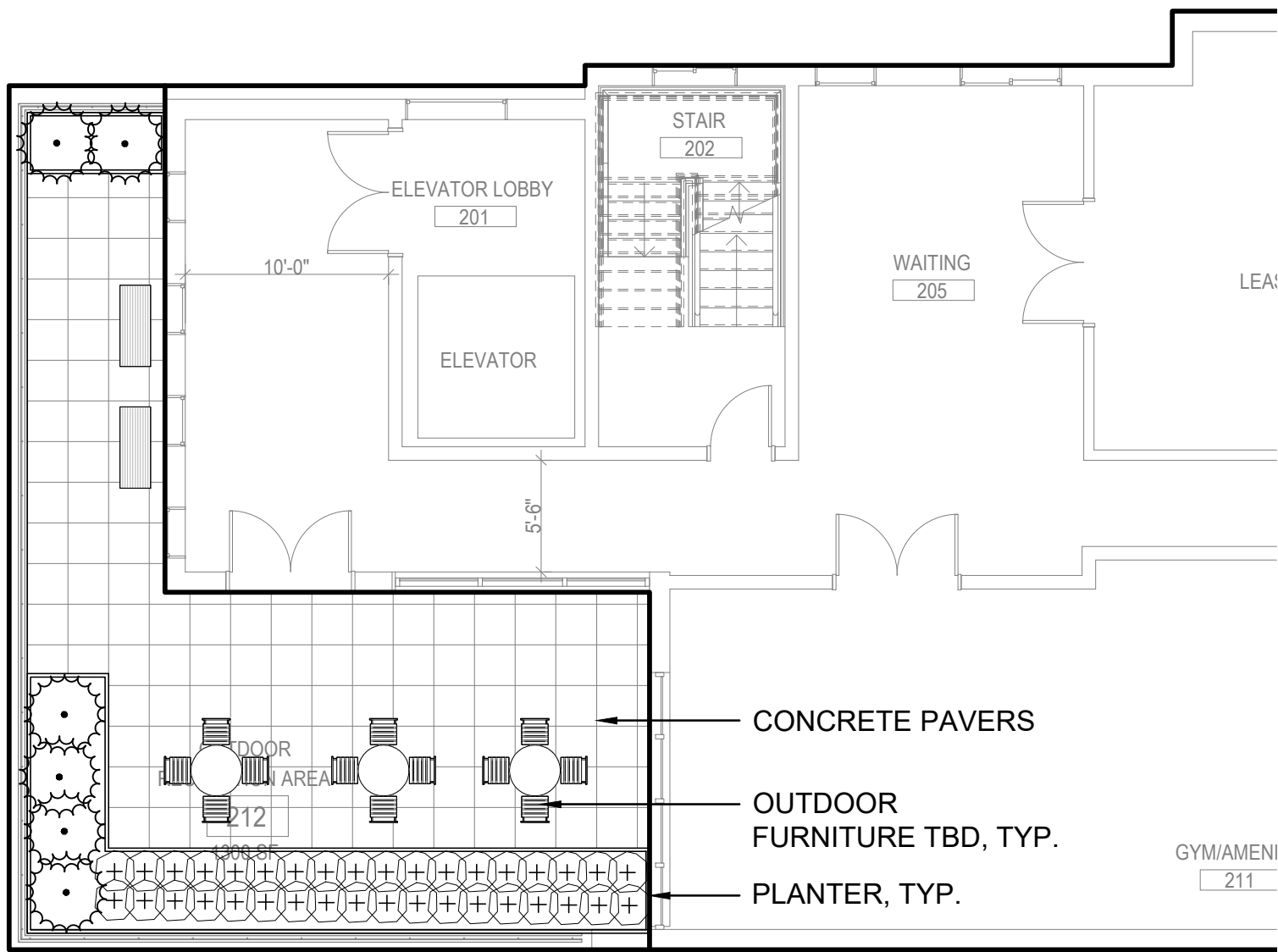
DRAWING SET DESCRIPTION

PERMIT SET

ISSUE DATE
09/03/2024

LANDSCAPE
PLAN - GROUND

L-1

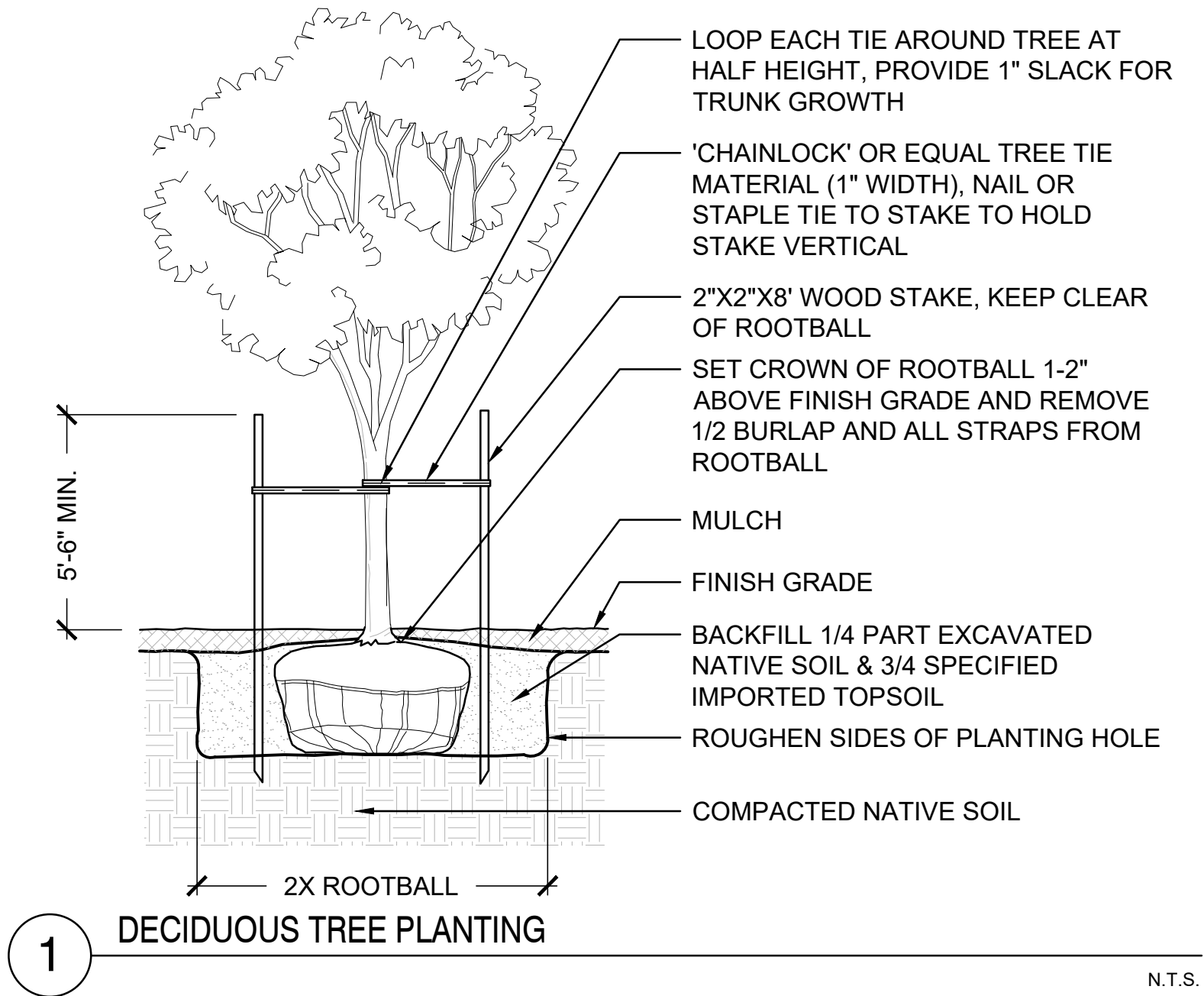


1 LANDSCAPE PLAN - LEVEL 2

PLANT SCHEDULE LEVEL 2

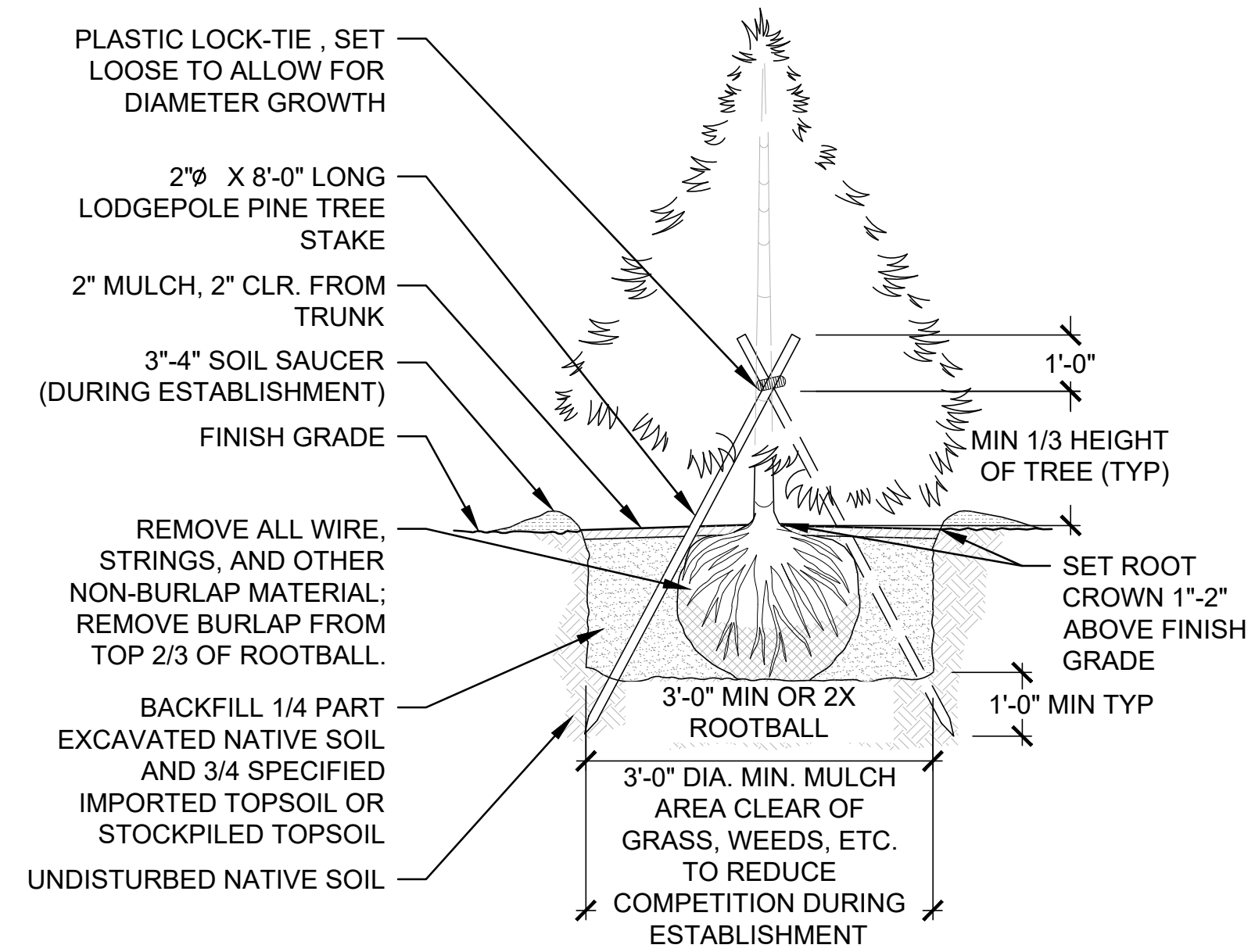
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
SHRUBS				
	CS2	CHOISYA TERNATA 'SUNDANCE' / GOLDEN MEXICAN MOCK ORANGE	5 GAL	6
	LA	LAVANDULA ANGUSTIFOLIA 'HIDCOTE' / LAVENDER	2 GAL	36

- NOTES:
- LANDSCAPE PLAN TO MEET SMC 15.445.110 AND 15.445.210.
 - TYPE III PLANTING FOR SIDE YARDS, AND STREET FRONTAGE FOR THIS PROJECT.
 - ALL PLANT MATERIALS SHALL BE ADAPTABLE TO THE SITE CONDITIONS AND SHALL MEET THE MOST RECENT AMERICAN STANDARDS OR NURSERY STOCK.
 - REFER TO TREE PROTECTION FOR FULL TREE ASSESSMENT AND TREE PROTECTION REQUIREMENTS.



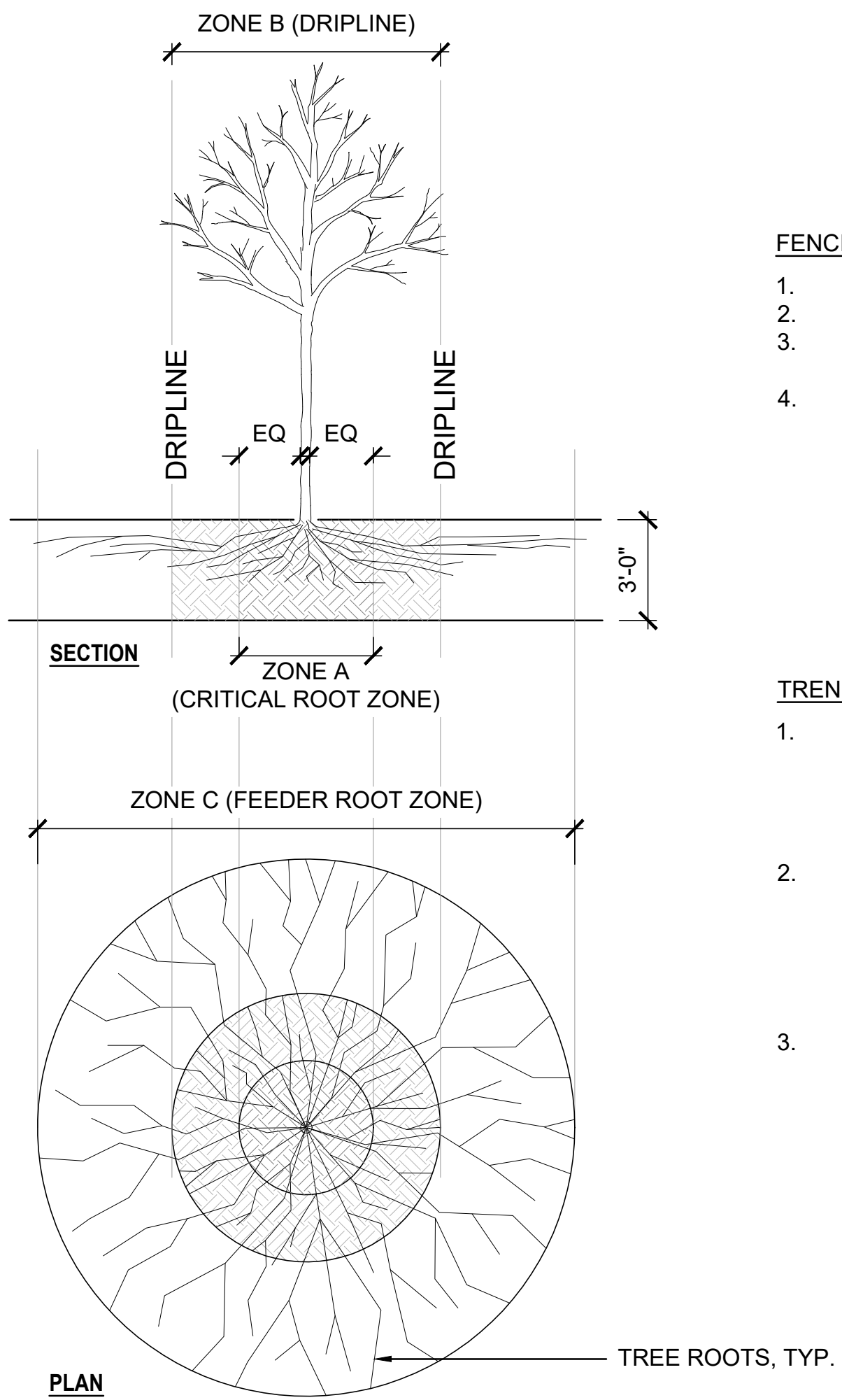
1 DECIDUOUS TREE PLANTING

N.T.S.



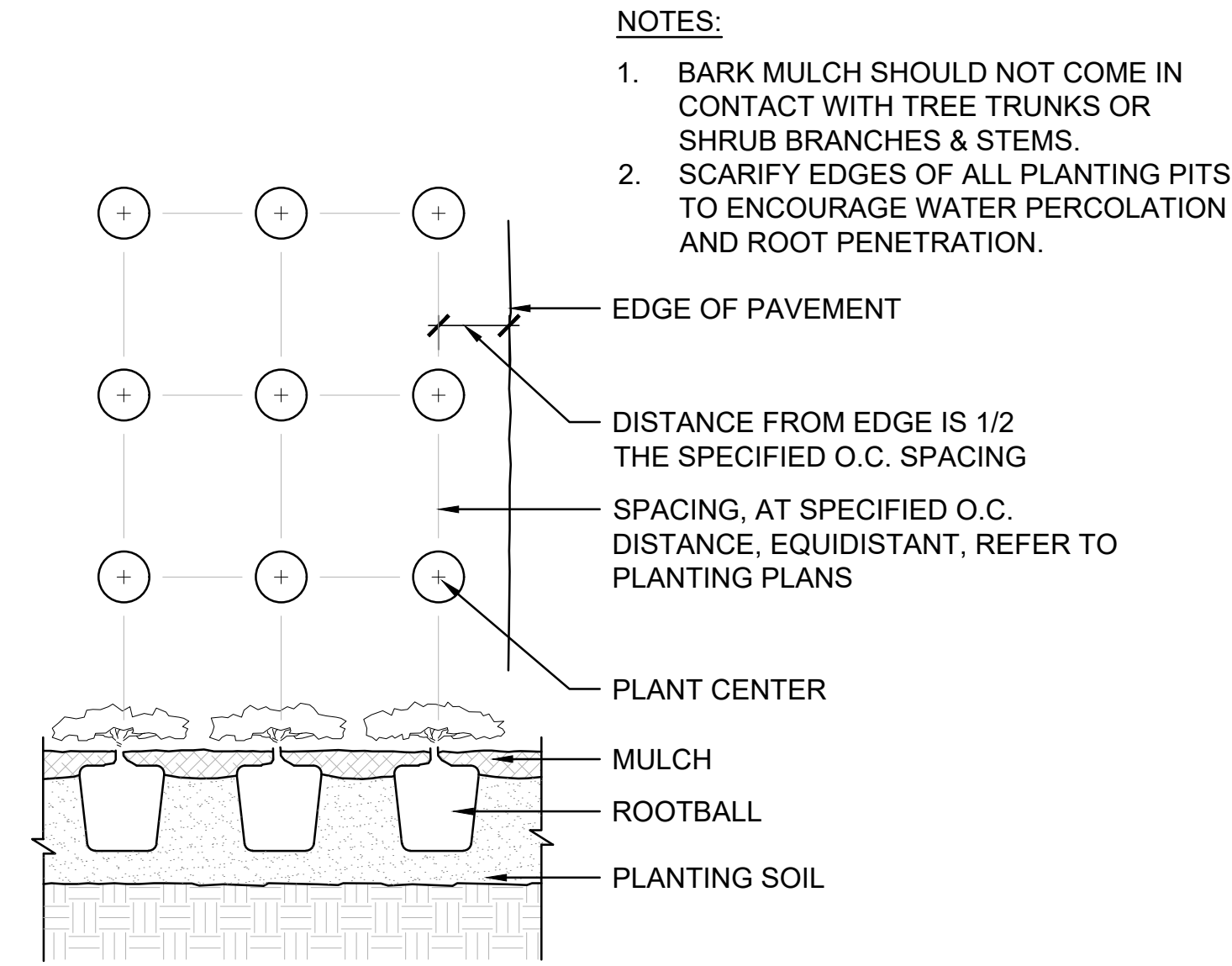
2 CONIFEROUS TREE PLANTING

N.T.S.



1 TREE PROTECTION DURING CONSTRUCTION

N.T.S.



6 SHRUB / GROUNDCOVER PLANTING & SPACING

N.T.S.



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STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Josephine Chang
CERTIFICATE NO. 905

SEATAC APT DEVELOPMENT
15402 30TH AVE S SEATAC WA, 98188

NUMBER	DATE	DESCRIPTION

DRAWING SET DESCRIPTION

PERMIT SET

ISSUE DATE
09/03/2024

LANDSCAPE
PLAN - LEVEL 2

L-2