

PROJECT DIRECTORY

OWNER:  
CYMBALUK PROPERTIES, LLC

DEVELOPER/OWNERS REPRESENTATIVE:  
SYNERGY CONSTRUCTION, INC.

1800 112TH AVE NE, SUITE 260-E  
BELLEVUE, WA 98004  
OFFICE: 425-553-7977  
E-MAIL: brian@synergyconstruction.com

ARCHITECT:  
CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE  
EVERETT, WA 98203  
OFFICE: 425-353-2888  
CONTACT: CHARLIE MORGAN, JR. E-MAIL: charliejr@omaarch.com

CIVIL ENGINEER:  
INSIGHT ENGINEERING CO, INC.

2804 GRAND AVE, SUITE 308  
EVERETT, WA 98206  
OFFICE: 425-303-9363 E-MAIL: brian@insightengineering.net  
CONTACT: BRIAN KALAB

STRUCTURAL ENGINEER:  
DCI ENGINEERS

SEATTLE/BELLEVUE  
OFFICE: 206-787-8909 E-MAIL: bzhong@dc-engineers.com  
CONTACT: BRUCE ZHONG

ELECTRICAL AND FIRE ALARM:  
ABOSSEIN ENGINEERING, LLC

18465 NE 68TH ST., SUITE 200  
REDMOND, WA 98052  
OFFICE: 425-462-9441 E-MAIL: greg\_nelson@abossein.com  
CONTACT: GREG NELSON

HVAC, SMOKE CONTROL & ENERGY:  
ABOSSEIN ENGINEERING, LLC

18465 NE 68TH ST., SUITE 200  
REDMOND, WA 98052  
OFFICE: 425-462-9441 E-MAIL: gary\_womack@abossein.com  
CONTACT: GARY WOMACK

PLUMBING & FIRE SPRINKLER:  
ABOSSEIN ENGINEERING, LLC

18465 NE 68TH ST., SUITE 200  
REDMOND, WA 98052  
OFFICE: 425-462-9441 E-MAIL: dennis\_grovenburg@abossein.com  
CONTACT: DENNIS GROVENBURG

LANDSCAPE:  
KAREN KIST LANDSCAPE ARCHITECTS

111 WEST JOHN ST, SUITE 306  
SEATTLE, WA 98119  
OFFICE: 206-323-6032 E-MAIL: kkist@kk-la.com  
CONTACT: KAREN KIST

SURVEYOR:  
NORTH PEAK ASSOCIATES, LLC

17270 WOODINVILLE REDMOND RD,  
WOODINVILLE, WA 98072  
OFFICE: 206-601-4682 E-MAIL: richv@northpeakassociates.com  
CONTACT: RICH VON MOURIK

TRAFFIC ENGINEER:  
KIMLEY-HORN

10900 NE 4TH ST, SUITE 2302  
BELLEVUE, WA 98004  
OFFICE: 425-540-4697 E-MAIL: Matt.Palmer@kimley-horn.com  
CONTACT: MATT PALMER

WATERPROOFING CONSULTANT:  
T.B.D.

ADDRESS  
ADDRESS  
OFFICE: E-MAIL:  
CONTACT:

ACCOUSTIC CONSULTANT:  
T.B.D.

ADDRESS  
ADDRESS  
OFFICE: E-MAIL:  
CONTACT:

ADA CONSULTANT:  
T.B.D.

ADDRESS  
ADDRESS  
OFFICE: E-MAIL:  
CONTACT:

INTERIOR DESIGNER:  
SECHRIST DESIGN ASSOCIATES, LLC

15405 53RD AVE S  
TUKWILA, WA 98188  
OFFICE: 206-723-1147 E-MAIL: poojajain@sechristdesign.com  
CONTACT: POOJA JAIN

PROJECT DATA

PROJECT ADDRESS 20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

PARCEL NUMBER 3445000090

SITE AREA 262,599 SQ/FT ( 6.0275 ACRES)

ZONING I (INDUSTRIAL)  
ZONING OVERLAY ANGLE LAKE STATION

PROJECT DESCRIPTION  
MASTER PLANNED, 2 PHASE, DEVELOPMENT WITH APPROXIMATELY  
770 APARTMENT UNITS. 5 STORIES RESIDENTIAL OVER 2 STORIES OF  
TYPE 1-A CONSTRUCTION. PARKING FOR 734 CARS AND 7,491 SQ/FT  
COMMERCIAL.

CONSTRUCTION TYPE BLDG #1 BLDG #2  
LEVEL #1 & #2 TYPE 1-A TYPE 1-A  
LEVELS #3 - #7 TYPE V-A TYPE III-A

FIRE SPRINKLER TYPE (FULL) NFPA-13

OCCUPANCY LEVEL #1 S-2, R-2, A-2 & B  
LEVEL #2 S-2, R-2, A-2 & B  
LEVELS #3 - #7 R-2, A-2, A-3, B & S-1

CYMBALUK PROPERTIES

20220 INTERNATIONAL BLVD.  
SEATAC, WA 98198

PRELIMINARY SITE PLAN REVIEW RESPONSE  
6/30/2023

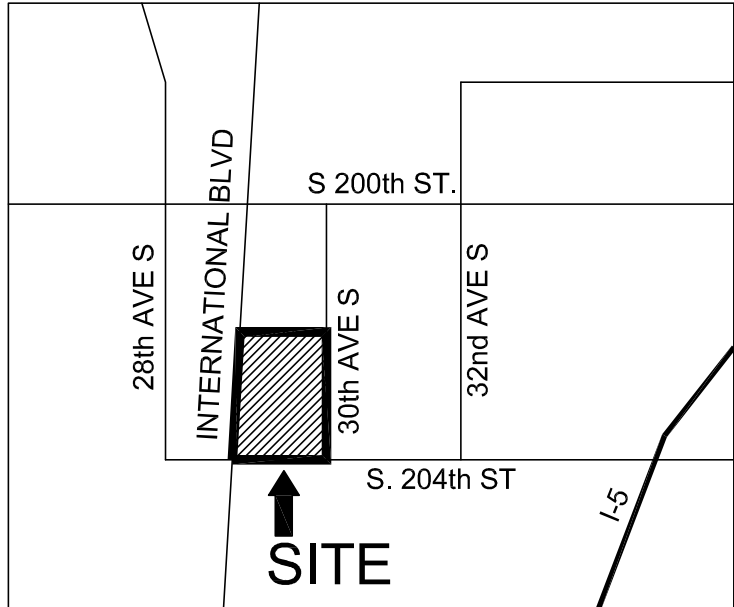


LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK  
5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF  
RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING  
COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1,  
AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 5 AND THE  
SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR  
ROAD PURPOSES BY DEED RECORDED UNDER RECORDING  
NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY  
OF SEATAC PURSUANT TO THE DEED RECORDED UNDER  
RECORDING NUMBER 20040914000375;



VICINITY SKETCH

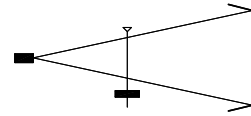
NOT TO SCALE

DRAWINGS

- G0.00 LIST OF DRAWINGS, PROJECT DATA  
A0.00 LAND USE ANALYSIS  
A0.06 BUILDING #1 - CODE ANALYSIS  
A0.08 BUILDING #2 - CODE ANALYSIS  
S1.00 SURVEY  
L1.00 OVERALL LANDSCAPE PLAN SITE  
L1.10 LANDSCAPE SITE PLAN NORTH  
L1.20 LANDSCAPE SITE PLAN SOUTH  
L2.00 PODIUM LANDSCAPE SITE PLAN  
L2.20 PODIUM LANDSCAPE SITE PLAN BLDG 1  
C1.0 COVER SHEET  
C1.1 TOPOGRAPHIC SURVEY  
C2.0 TESC AND EXCAVATION PLAN  
C2.1 TESC AND EXCAVATION PLAN  
C2.2 GRADING PLAN  
C2.3 GRADING PLAN  
C3.0 DRAINAGE PLAN  
C3.1 DRAINAGE PLAN  
C3.2 DRAINAGE PLAN AND PROFILES  
C3.3 DETENTION PLAN AND DETAILS  
C4.0 FRONTAGE PLAN AND PROFILES  
C4.1 FRONTAGE PLAN AND PROFILES  
C4.2 FRONTAGE PLAN AND PROFILES  
C4.3 ROW DEDICATION  
C5.0 SEWER PLAN  
C5.1 SEWER PLAN  
C6.0 WATER PLAN  
C6.1 WATER PROFILE  
A1.00 SITE PLAN  
A1.01 BUILDING #1 - PARKING PLANS  
A1.2.1 BUILDING #2 - PARKING PLANS  
A1.2.2 BUILDING #2 - PARKING PLANS  
A2.00 BUILDING #1 - LEVEL 1  
A2.01 BUILDING #1 - LEVEL 2  
A2.02 BUILDING #1 - LEVEL 3  
A2.10 BUILDING #2 - LEVEL P1  
A2.11 BUILDING #2 - LEVEL 1  
A2.12 BUILDING #2 - LEVEL 2  
A3.00 BUILDING #1 - ELEVATIONS  
A3.01 BUILDING #1 - COURTYARD ELEVATIONS  
A3.02 BUILDING #2 - ELEVATIONS  
A3.03 BUILDING #2 - COURTYARD ELEVATIONS  
A3.10 FACADE COLOR/MATERIAL DIAGRAM

CHARLES MORGAN & ASSOCIATES, LLC

ARCHITECTS

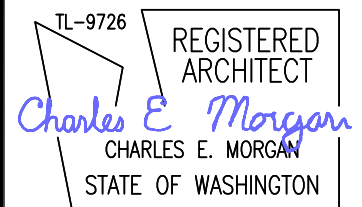


7301 BEVERLY LANE  
EVERETT, WA 98203

E-MAIL: info@omaarch.com  
PHONE: 425-353-2888

PROJECT: Cymbaluk Properties  
LOCATION: 20220 INTERNATIONAL BLVD., SEATAC WA 98198  
OWNER: Cymbaluk Properties, LLC  
DEVELOPER: Synergy Construction, Inc. (CONTACT BRIAN@SYNERGYCONSTRUCTION.COM)

PRELIMINARY SITE PLAN REVIEW RESPONSE - 30 JUNE 23  
PRELIMINARY SITE PLAN REVIEW RESPONSE - 22 SEPT 23



DATE 30 JUNE 23  
RESUBMIT 22 SEPT 23  
RESUBMIT

SHEET

G0.00







ROOF		0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
7	RESIDENTIAL	54,707	46,883	85.70%	10'-6 1/4"	73'-3 1/4"	-	-	54,037	46,883	68	689	-	-	262	330	78	-	-	670	-	-
6	RESIDENTIAL	54,707	46,697	85.36%	10'-5"	62'-9"	-	-	53,868	46,697	68	687	-	-	431	330	78	-	-	839	-	-
5	RESIDENTIAL	54,707	46,883	85.70%	10'-5"	52'-4"	-	-	54,037	46,883	68	689	-	-	118	474	78	-	-	670	-	-
4	RESIDENTIAL	54,707	46,883	85.70%	10'-5"	41'-11"	-	-	54,037	46,883	68	689	-	-	118	474	78	-	-	670	-	-
3	RESIDENTIAL	54,707	44,538	81.41%	10'-6"	31'-6"	-	-	52,221	44,538	65	685	1,617	23,840	431	360	78	-	-	869	-	-
2	PARKING / RESIDENTIAL	80,132	11,998	14.97%	10'-9"	21'-0"	-	-	18,237	11,998	8	1,500	3,696	-	1,072	1,740	661	54,726	-	58,199	-	167
1	PARKING / RESIDENTIAL	75,221	7,292	9.69%	10'-3"		1,452	1,452	12,706	5,840	10	584	3,059	-	946	932	-	55,417	709	58,004	39	175
	SUBTOTAL	428,888	251,174				1,452	1,452	299,143	249,722	355		8,372	23,840	3,378	4,640	1,051	110,143	709	119,921	39	342
	TOTAL	428,888	251,174		73'-3 1/4"		1,452	1,452	299,143	249,722	355	703	8,372	23,840	3,378	4,640	1,051	110,143	709	119,921	39	342

*\*Gross Area - Floor area as measured to the outside face of stud/concrete/masonry at exterior walls excluding any floor area at double or multi-story height spaces.*

**\*Net Area** - Gross floor area excluding circulation, parking, shafts, and common areas such as lobbies, mailroom and back of house areas. Area calculated as measured to outside face of exterior walls, centerline of demising walls between rentable spaces, and outside face of any adjacent walls at corridors/shafts/back of house rooms.

LEVEL	USE	GROSS SF	RENTABLE NET SF	EFFICIENCY	STUDIO	OPEN 1BR	1BR	2BR	3BR	2BR TWO STORY	3BR TWO STORY	TOTAL
ROOF												
7	RESIDENTIAL	54,037	46,883	86.76%	9	13	34	10	2	0		68
6	RESIDENTIAL	53,868	46,697	86.69%	9	13	34	10	2	0		68
5	RESIDENTIAL	54,037	46,883	86.76%	9	13	34	10	2	0		68
4	RESIDENTIAL	54,037	46,883	86.76%	9	13	34	10	2	0		68
3	RESIDENTIAL	52,221	44,538	85.29%	11	11	31	10	2	0		65
2	PARKING / RESIDENTIAL	18,237	11,998	65.79%	0	0	6	1	1	0		8
1	PARKING / RESIDENTIAL	12,706	5,840	45.96%	0	0	0	0	0	9	1	10
	SUBTOTAL	299,143	249,722		47	63	173	51	11	9	1	355
	TOTAL	299,143	249,722	83%	47	63	173	51	11	9	1	355
	PERCENTAGE				13%	18%	49%	14%	3%	3%	0%	

LEVEL	USE	TOTAL PARKING	IN STRUCTURE	SURFACE	STREET	PARKING AREA (SF)	AREA PER STALL (STRUCTURAL PARKING)			BICYCLE STALLS	BICYCLE PARKING AREA (SF)	BICYCLE STALLS LONG TERM	BICYCLE STALLS SHORT TERM	
7	RESIDENTIAL	0								0				
6	RESIDENTIAL	0								0				
5	RESIDENTIAL	0								0				
4	RESIDENTIAL	0								0				
3	RESIDENTIAL	0								0				
2	PARKING / RESIDENTIAL	167	167			54,678	327			0				
1	PARKING / RESIDENTIAL	175	167	8		54,902	329			39	709	39		
SUBTOTAL														
TOTAL		342	334	8	-	109,580				TOTAL	39	709	39	-
PARKING STALLS		TOTAL	PROVIDED REQUIRED	342.00 334.00						BICYCLE STALLS	TOTAL	PROVIDED REQUIRED	39 34	
CODE COMPLIANCY			COMPLIANT							CODE COMPLIANCY	COMPLIANT			
PARKING STALL REQUIREMENTS			STUDIO, 01BD RESIDENTIAL	PER DU REQUIRED	1.00 110.00			BICYCLE STALL REQUIREMENTS	PARKING	PER STALL REQUIRED	0.10 34	0.00 0.00		
			1BD RESIDENTIAL	PER DU REQUIRED	1.50 259.50									
			2BD, 3BD RESIDENTIAL	PER DU REQUIRED	2.00 144.00									
SUBTOTAL			REQUIRED	513.50				TOTAL	REQUIRED	34				
PARKING REDUCTION			35%	180.00										
TOTAL			REQUIRED	334.00										



Cymbaluk Properties - Building 2 20220 International Blvd., Seatac, Washington					RETAIL (SF)		OFFICE (SF)		LODGING AREA (SF)		LODGING UNITS (QUANTITY)		RESIDENTIAL AREA (SF)		RESIDENTIAL UNITS (QUANTITY)		AMENITY SPACE INDOOR (SF)	AMENITY SPACE OUTDOOR (SF)	UTILITY SPACE (SF)						PARKING STALLS			
LEVEL	USE	TOTAL GROSS (SF)*	TOTAL NET RENTABLE AREA (SF)**	EFFICIENCY	FLOOR TO FLOOR HEIGHT	AGGREGATE HEIGHT	GROSS SF	RENTABLE NET SF	GROSS SF	RENTABLE NET SF	GROSS SF	RENTABLE NET SF	TOTAL	UNIT AVERAGE	GROSS SF	NET SF	TOTAL	UNIT AVERAGE	GROSS SF	GROSS SF	UTILITY	STORAGE	TRASH ROOM	PARKING	BICYCLE PARKING	TOTAL	BICYCLE PARKING STALLS	PARKING STALLS
ROOF	USE	0	0	#DIV/0!		75'-6"	-	-	-	-	-	-	-	-														
	6	RESIDENTIAL	61,812	51,567	83.43%	10'-6"	75'-6"	-	-	-	-	-	-	-	59,281	51,567	77	670			300	2,055	176			2,531		
	5	RESIDENTIAL	61,812	51,567	83.43%	9'-6"	65'-0"	-	-	-	-	-	-	-	59,281	51,567	77	670			300	2,055	176			2,531		
	4	RESIDENTIAL	61,812	51,567	83.43%	9'-6"	55'-6"	-	-	-	-	-	-	-	59,281	51,567	77	670			300	2,055	176			2,531		
	3	RESIDENTIAL	61,816	52,389	84.75%	9'-6"	46'-0"	-	-	-	-	-	-	-	59,281	52,389	77	680			300	2,059	176			2,535		
	2	RESIDENTIAL	61,654	49,315	79.99%	9'-6"	36'-6"	-	-	-	-	-	-	-	57,124	49,315	74	666	2,767	27,584	300	1,287	176			1,763		
	1	PARKING / COMMERCIAL / RESIDENTIAL	81,443	9,937	12.20%	13'-0"	14'-0"	6,333	4,465	-	-	-	-	-	10,572	5,472	8	769	3,565		1,579	374	-	57,090	1,930	60,973	204	172
		SUBTOTAL	390,349	266,342				6,333	4,465	-	-				304,820	261,877	390		6,332	27,584	3,079	9,885	880	57,090	1,930	72,864	204	172
BELOW GRADE	P1	PARKING / COMMERCIAL / RESIDENTIAL	95,527	6,702	7.02%	14'-0"		3,804	2,716	1,564	1,564	-	-	-	6,962	2,422	4	606	802		1,682	670	2,848	77,195	-	82,395	-	225
		SUBTOTAL	95,527	6,702				3,804	2,716	1,564	1,564	-	-	-	6,962	2,422	4	606	802	-	1,682	670	2,848	77,195	-	82,395	-	225
		TOTAL	485,876	273,044				10,137	7,181	1,564	1,564	-	-	-	311,782	264,299	394	671	7,134	27,584	4,761	10,555	880	134,285	1,930	155,259	204	397
*Gross Area - Floor area as measured to the outside face of stud/concrete/masonry at exterior walls excluding any floor area at double or multi-story height speaces.																												
**Net Area - Gross floor area excluding circulation, parking, shafts, and common areas such as lobbies, mailroom and back of house areas. Area calculated as measured to outside face of exterior walls, centerline of demising walls between rentable spaces, and outside face of any adjacent walls at corridors/shafts/back of house rooms.																												

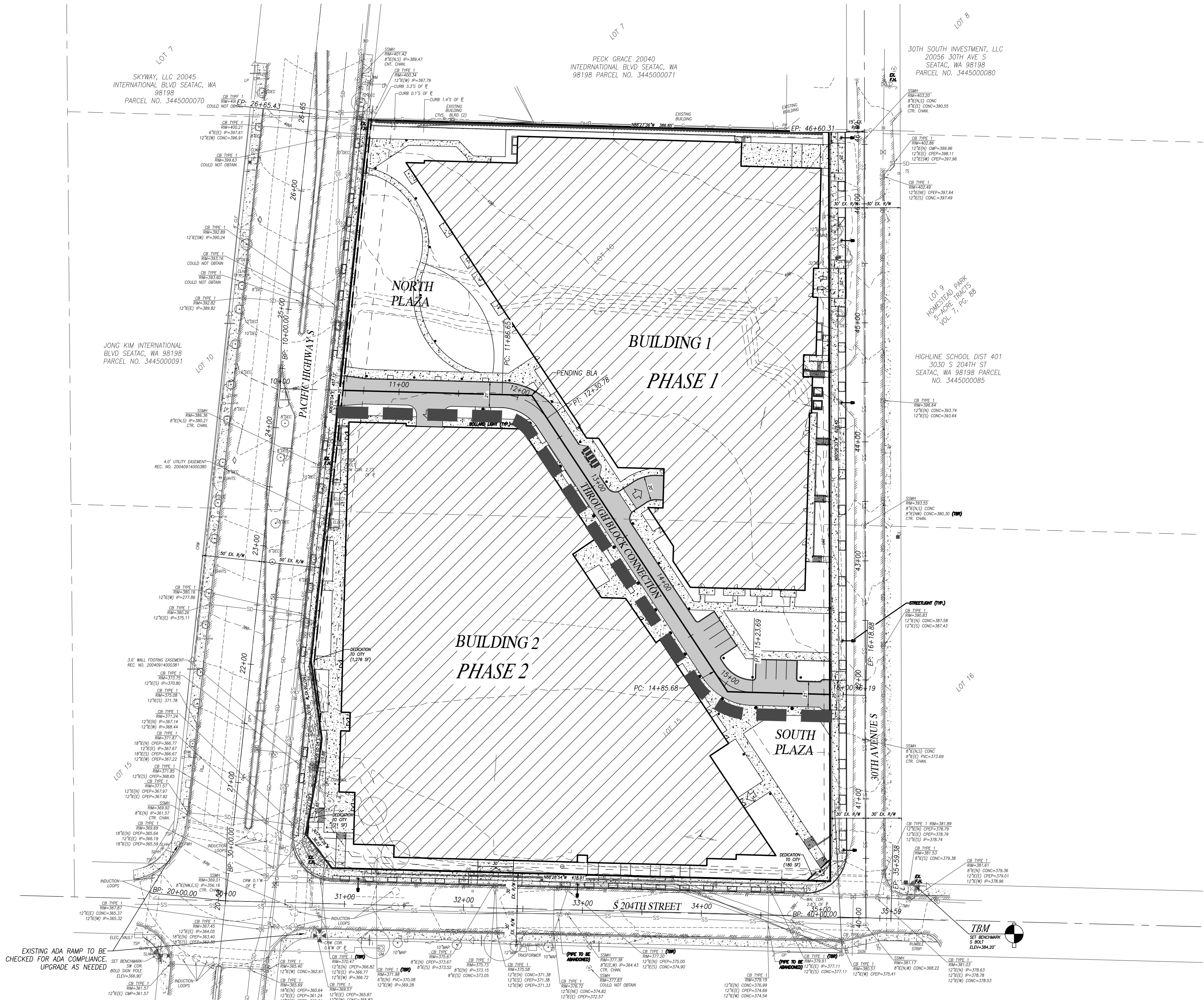
Cymbaluk Properties - Building 2 20220 International Blvd., SeaTac, Washington			RESIDENTIAL AREA (SF)			RESIDENTIAL UNITS						
	LEVEL	USE	GROSS SF	RENTABLE NET SF	EFFICIENCY	STUDIO	OPEN 1BR	1BR	2BR	3BR	2BR TWO STORY	TOTAL
	ROOF											
	6	RESIDENTIAL	59,281	51,567	86.99%		27	39	9	2	0	77
	5	RESIDENTIAL	59,281	51,567	86.99%		27	39	9	2	0	77
	4	RESIDENTIAL	59,281	51,567	86.99%		27	39	9	2	0	77
	3	RESIDENTIAL	59,281	52,389	88.37%		27	39	9	2	0	77
	2	RESIDENTIAL	57,124	49,315	86.33%		28	35	9	2	0	74
	1	PARKING / COMMERCIAL / RESIDENTIAL	10,572	5,472	51.76%		0	4	0	0	0	4
		SUBTOTAL	304,820	261,877		-	136	195	45	10	-	386
BELOW GRADE	P1	PARKING / COMMERCIAL / RESIDENTIAL	6,962	2,422	34.79%		0	0	0	0	4	4
		SUBTOTAL	616,602	526,176		-	-	-	-	-	4	4
		TOTAL	304,820	261,877	86%	-	136	195	45	10	4	390
		PERCENTAGE				0%	35%	50%	12%	3%	1%	

PARKING CALCULATOR							
	LEVEL	USE	TOTAL PARKING	IN STRUCTURE	SURFACE	STREET	PARKING AREA (SF)
	6	RESIDENTIAL	0				
	5	RESIDENTIAL	0				
	4	RESIDENTIAL	0				
	3	RESIDENTIAL	0				
	2	RESIDENTIAL	0	-			
	1	PARKING / COMMERCIAL / RESIDENTIAL	172	164	8		57,090
		SUBTOTAL	172	164	8	-	57,090
BELOW GRADE	P1	PARKING / COMMERCIAL / RESIDENTIAL	225	225			77,195
		SUBTOTAL	225	225	-	-	77,195
		TOTAL	397	389	8	-	134,285
		PARKING STALLS	TOTAL	PROVIDED REQUIRED	397.00 389.50		
		CODE COMPLIANCY			COMPLIANT		
		PARKING STALL REQUIREMENTS FOR UNITS		STUDIO, 01BD RESIDENTIAL 1BD RESIDENTIAL 2BD, 3BD RESIDENTIAL	PER DU REQUIRED PER DU REQUIRED PER DU REQUIRED	1.00 136.00 1.50 292.50 2.00 118.00	
		PARKING REDUCTION		SUBTOTAL	REQUIRED	546.50	
				35%		192.00	
				TOTAL	REQUIRED	354.50	
		PARKING STALL REQUIREMENTS FOR RETAIL		RETAIL	SQ/FT PER 150 SQ/FT REQUIRED	7491.00 50.00 50.00	
		PARKING REDUCTION		30%		15.00	
				TOTAL	REQUIRED	35.00	
		PARKING STALL REQUIREMENTS		TOTAL	REQUIRED	389.50	

BICYCLE PARKING CALCULATOR			
	BICYCLE STALLS	BICYCLE PARKING AREA (SF)	BICYCLE STALLS LONG TERM
	0		
	0		
	0		
	0		
	0	-	-
	204	1,930	204
	TOTAL	204	1,930
	TOTAL	-	-
	TOTAL	204	1,930
	TOTAL	-	-
	BICYCLE STALLS	TOTAL	PROVIDED REQUIRED
	CODE COMPLIANCY		COMPLIANT
			LONG TERM
			SHORT TERM
	PARKING	PER STALL REQUIRED	0.10 40
	TOTAL	REQUIRED	40



SE 1/4, SEC. 04, T. 22 N., R.04 E., W.M.  
KING COUNTY, WASHINGTON



DEVELOPMENT SUMMARY

BUILDING SF CALCULATIONS / PARKING COUNT

**BUILDING 1**  
LEVEL 1  
GROSS AREA: 75,221 SF  
PARKING: 55,417 SF; 167 STALLS (160 STANDARD, 7 ACCESSIBLE)  
BICYCLE PARKING: 709 SF; 39 BICYCLE STALLS  
RESIDENTIAL: 12,706 SF  
AMENITY: 3,059 SF  
LEASING OFFICE: 1,452 SF

LEVEL 2  
GROSS AREA: 75,221 SF  
PARKING: 55,417 SF; 167 STALLS (160 STANDARD, 7 ACCESSIBLE)  
BICYCLE PARKING: 709 SF; 39 BICYCLE STALLS  
RESIDENTIAL: 18,237 SF  
AMENITY: 3,696 SF

**LEVEL 3**  
GROSS AREA: 54,707 SF  
RESIDENTIAL: 52,221 SF  
AMENITY: 1,617 SF

**LEVELS 4 - 7**  
GROSS FLOOR AREA = 54,707 SF  
RESIDENTIAL: 54,037 SF

TOTAL NUMBER OF UNITS: 355  
TOTAL REQUIRED STALLS: 334 STALLS

**BUILDING 2**  
LEVEL P1  
GROSS AREA: 96,527 SF  
PARKING: 77,195 SF; 226 STALLS (222 STANDARD, 4 ACCESSIBLE)  
RESIDENTIAL: 6,962 SF  
COMMERCIAL: 2,716 SF  
AMENITY: 802 SF  
LEASING OFFICE: 1,564 SF

**LEVEL 1**  
GROSS AREA: 81,443 SF  
PARKING: 57,090 SF; 164 STALLS (160 STANDARD, 4 ACCESSIBLE)  
BICYCLE PARKING: 1,930 SF; 228 BICYCLE STALLS  
RESIDENTIAL: 10,670 SF  
COMMERCIAL: 4,465 SF  
AMENITY: 3,565 SF

**LEVEL 2**  
GROSS AREA: 61,654 SF  
RESIDENTIAL: 57,124 SF  
AMENITY: 2,767 SF

**LEVEL 3-6**  
GROSS AREA: 61,812 SF  
RESIDENTIAL: 59,281 SF

TOTAL NUMBER OF UNITS: 390  
TOTAL REQUIRED STALLS: 334 STALLS

OPEN SPACE / RECREATIONAL SF CALCULATION:

**BUILDING 1**  
BUILDING 1 LOT: 132,037 SF  
LEVEL 3 - NORTH TERRACE / COURTYARD #1 = 16,200 SF  
LEVEL 3 - SOUTH TERRACE / COURTYARD #2 = 7,840 SF  
AMENITY ROOMS = 9,042 SF  
TOTAL REC AREA PROPOSED = 32,882 SF  
TOTAL REC AREA REQUIRED = 355 X 60 = 21,300 SF

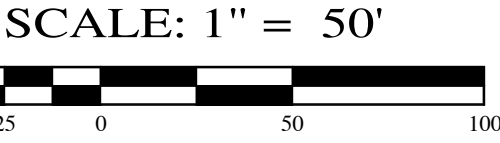
**BUILDING 2**  
BUILDING 2 LOT: 130,550 SF  
LEVEL 2 - NORTH TERRACE / COURTYARD = 10,085 SF  
LEVEL 2 - SOUTH TERRACE / COURTYARD = 17,863 SF  
AMENITY ROOMS = 5,838 SF  
TOTAL REC AREA PROPOSED = 33,786 SF  
TOTAL REC AREA REQUIRED = 390 X 60 = 23,400 SF

NORTH PLAZA AREA = 21,118 SF  
SOUTH PLAZA AREA = 9,124 SF

GRAND TOTAL RECREATION AREA PROPOSED  
= 32,882 + 33,786 + 21,118 + 9,124 = 96,910 SF

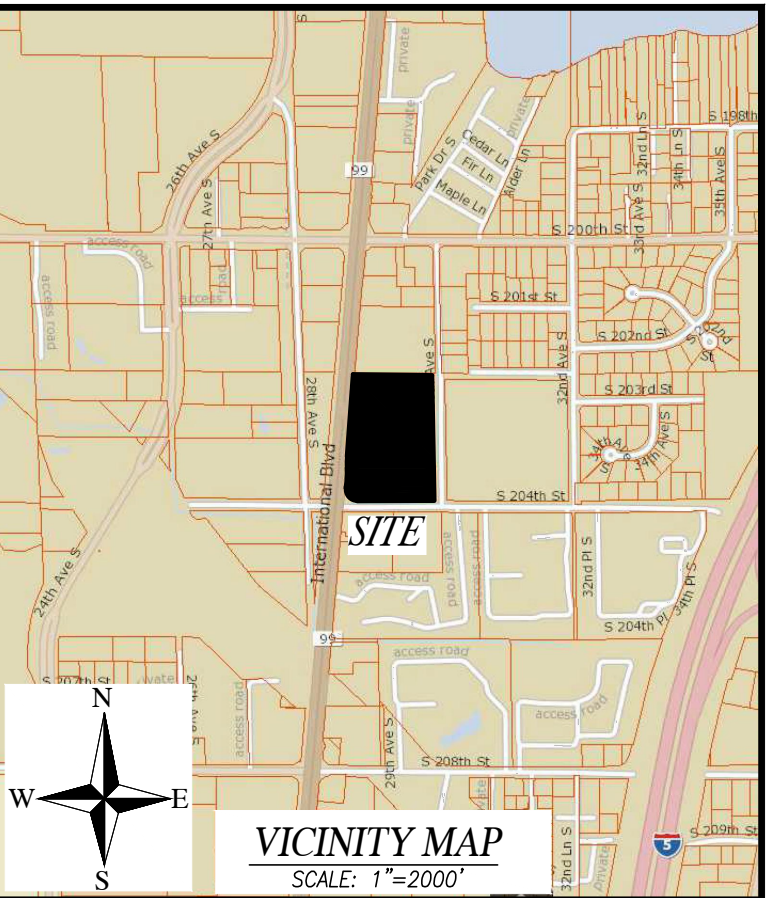
THE MINIMUM AREA OF RECREATION SPACE REQUIRED  
= 26,980 + 23,040 = 50,020 SF

MEETS THE SMC REQUIREMENTS.



LEGEND

- EXISTING MONUMENT (AS SHOWN)
- SECTION 1/4 CORNER NOT FOUND
- SECTION CORNER NOT FOUND
- FOUND REBAR/CAP OR I.P. (IRON PIPE)
- CALCULATED
- PLAT
- MEASURED
- TO BE REMOVED
- RIGHT-OF-WAY
- POINT OF BEGINNING
- CENTERLINE
- CHAIN LINK FENCE
- WOOD FENCE
- WATER SURFACE
- EDGE OF PAVEMENT
- BACK OF WALK
- STORM DRAIN CATCH BASIN (CB)
- STORM DRAIN MANHOLE (SDMH)
- SANITARY SEWER MANHOLE (SSMH)
- SANITARY SEWER CLEAN OUT (SSCO)
- POWER POLE
- GUY POLE
- WATER METER
- WATER VALVE
- MAILBOX
- UTILITY POLE ANCHOR
- FIRE HYDRANT (2 NOZZLE)
- PROPOSED WATER
- PROPOSED SANITARY SEWER
- PROPOSED STORM DRAINAGE
- PROPERTY LINE
- EXISTING FENCE LINE
- EDGE OF PAVEMENT
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PRE-EXISTING DRAINAGE PATTERN
- ROOF HATCH
- ASPHALT PAVING
- LANDSCAPE HATCH
- CONCRETE HATCH
- STREET LIGHT
- PEDESTRIAN LIGHT POLES



EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

**ENGINEER**  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 205  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

**APPLICANT / OWNERS**  
CYMBALUK PROPERTIES  
20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

**ARCHITECT**  
CHARLES MORGAN & ASSOCIATES  
PH: (425) 353-2888  
EMAIL: CHARLIE@CMARCH.COM

**DEVELOPER**  
SYNERGY CONSTRUCTION, INC.  
EMAIL: BRIAN@SYNERGYCONSTRUCTION.COM

**LEGAL DESCRIPTION**  
THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 2014205;  
EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4, SEC. 04, T. 22 N., R.04 E., W.M.  
**SEATAC APARTMENTS**

DWG FILENAME: 221230-FINAL.DWG DESIGNED BY: SPC DATE: 12-16-2022 SCALE: 1"=50' JOB NO.: 22-1230

SHEET 11

SITE PLAN



Know what's below.  
Call before you dig.

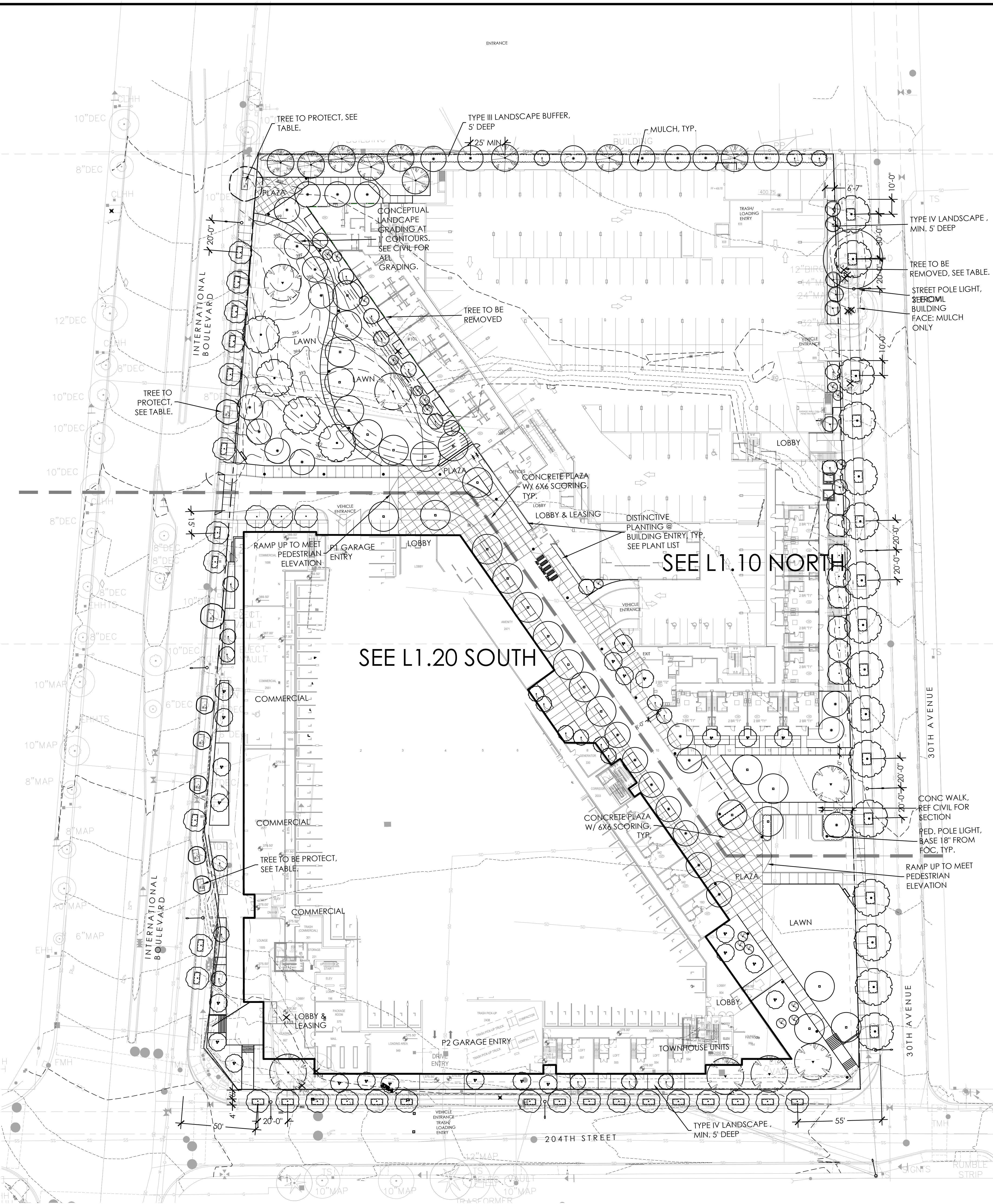
UTILITY CONFLICT NOTE:

**CAUTION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION,  
DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE  
PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL  
AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE  
CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING  
UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY  
WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN  
ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND  
ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR  
SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL  
PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

SEATAC APARTMENTS







PLANT LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	SPACING
** INDICATES DROUGHT TOLERANT; * INDICATES NATIVE			
NOTE: ALL PLANTING AREAS TO BE ON AUTOMATIC IRRIGATION SYSTEM			
RIGHT OF WAY PLANTS:			
PROPOSED NEW STREET TREES:			
SMALL TREES (4' WIDE PLANTING STRIP):			
●	STEWARTIA MONDELPHA**	2" CAL.	B&B 20' O.C. SPACING TYP.
●	CORNUS 'STARLIGHT' / STARLIGHT DOGWOOD **	2" CAL.	B&B 20' O.C. SPACING TYP.
●	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ HYBRID SERVICEBERRY **	2" CAL.	B&B 20' O.C. SPACING TYP.
MEDIUM TREES (6' WIDE PLANTING STRIP):			
●	GINGKO PRINCETON ENTRY **	2 1/2" CAL.	B&B 30' O.C. SPACING TYP.
●	GREENSPIRE LINDEN **	2 1/2" CAL.	B&B 30' O.C. SPACING TYP.
●	ZELKOVA 'VILLAGE GREEN'	2 1/2" CAL.	B&B 30' O.C. SPACING TYP.
SHRUBS & GROUNDCOVERS IN RIGHT OF WAY: (MAX. 24" HT. AT MATURITY)			
■	FRAGARIA CHILOENSIS / BEACH STRAWBERRY*	4"	POT 18" O.C. TRIANG. SPACING
■	LIRIOPE SPICATA / CREEPING LILYTURF**	1 GAL.	CONT. 24" O.C. TRIANG. SPACING
■	CALLUNA VULGARIS 'SPRING TORCH' / SPRING TORCH HEATHER **	1 GAL.	CONT. 24" O.C. TRIANG. SPACING
■	POLYSTICHUM MUNITUM * / SWORDFERN *	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	MAHONIA REPENS / CREEPING OREGON GRAPE *	1 GAL.	CONT. 30" O.C. TRIANG. SPACING

ON SITE PLANTS:

TREES:			
●	ULMUS PARVIFOLIA 'EMER II' / ALLEE LACEBARK ELM	2 1/2" CAL.	B&B 20' O.C. SPACING TYP.
●	PARROTIA PERSICA / PERSIAN IRONWOOD	2" CAL.	B&B 20' O.C. SPACING TYP.
●	CORNUS 'STARLIGHT' / STARLIGHT DOGWOOD *	2" CAL.	B&B PER PLAN
●	ACER CIRCINATUM/VINE MAPLE	6'-8" HT., MIN. 3 STEMS	B&B 10' TO 15' O.C. SPACING TYP.
●	ACER JAPONICUM / FULL MOON MAPLE (GREEN LEAFED VARIETY)	6'-8" HT., MIN. 3 STEMS	B&B PER PLAN
●	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ HYBRID SERVICEBERRY	6'-8" HT.	B&B PER PLAN
●	MAGNOLIA STELATTA 'ROYAL STAR'/ STAR MAGNOLIA	10 GAL	CONT. PER PLAN
●	PINUS FLEXILIS / LIMBAR PINE	6'-8" HT.	B&B 15' O.C. SPACING TYP.

TYPE III LANDSCAPING:

■	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	4"	POT 18" O.C. TRIANG. SPACING
●	VIBURNUM DAVIDII/ DAVID'S VIBURNUM *	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
●	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY*	1 GAL.	CONT. 30" O.C. TRIANG. SPACING

TYPE IV LANDSCAPING:

■	VIBURNUM BODANTENSE 'DAWN' / DAWN VIBURNUM**	5 GAL.	CONT. 5' O.C.
■	HAMAMELIS / WITCH HAZEL 'ARNOLD'S PROMISE' **	5 GAL.	CONT. 5' O.C.
■	ILEX CRENATA 'NORTHERN BEAUTY' / JAPANESE HOLLY**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	NANDINA DOMESTICA 'MOON BAY'/ DWARF HEAVENLY BAMBOO**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	PIERIS JAPONICA 'CAVATINE' / CAVATINE DWARF PIERIS**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA **	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	ROSA 'NOALA' / CORAL FLOWER CARPET ROSE**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'/ MINI FOUNTAINGRASS	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	VIBURNUM DAVIDII / DAVID'S VIBURNUM**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	LIRIOPE SPICATA / CREEPING LILYTURF**	1 GAL.	CONT. 24" O.C. TRIANG. SPACING
■	FRAGARIA CHILOENSIS / BEACH STRAWBERRY*	4"	POT 18" O.C. TRIANG. SPACING
■	POLYSTICHUM MUNITUM / SWORDFERN*	1 GAL.	CONT. 30" O.C. SPACING

PRIVATE DRIVE / PARKING PLANTING STRIP:

■	VIBURNUM DAVIDII/ DAVID'S VIBURNUM *	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	LIRIOPE SPICATA / CREEPING LILYTURF*	1 GAL.	CONT. 24" O.C. TRIANG. SPACING
■	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA *	1 GAL.	CONT. 30" O.C. TRIANG. SPACING

DECORATIVE LOBBY ENTRY PLANTINGS:

■	PIERIS JAPONICA 'CAVATINE' / CAVATINE DWARF PIERIS**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	HELLEBORE ORIENTALIS / ORIENTAL HYBRID HELLEBORE**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	POLYSTICHUM SETIFERUM / SOFT SHIELD FERN*	1 GAL.	CONT. 30" O.C. SPACING
■	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'/ MINI FOUNTAINGRASS	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
■	OPHIPOGON PLANISCAPUS 'NIGRESCENS'/ BLACK MONDO GRASS**	1 GAL.	CONT. 18" O.C. TRIANG. SPACING

■	LAWN
---	------

⊠ #4	EXISTING TREE TO REMAIN; PROTECT THROUGH CONSTRUCTION AND PROVIDE MULCH AT BASE OF EXISTING TREES. NUMBERS CORRESPOND TO TABLE. SEE EXISTING TREE LEGEND FOR SIZE, CANOPY.
✕ #101	EXISTING TREE TO BE REMOVED

EXISTING TREE LEGEND

NOTE: SIZE PER SURVEY. SPECIES APPROXIMATE PER L.A.

ID. #	APPROXIMATE DSH IN INCHES	SIGNIFICANT?	NOTES
STREET TREES:			
1	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	10	NO SAVE
2	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	8	NO SAVE
3*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	10	NO SAVE
4*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO SAVE
5*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO SAVE
6*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO SAVE
7*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO SAVE
8*	LIQUIDAMBAR STYRACIFLUA/SWEETGUM	6	NO SAVE
OTHER TREES IN RIGHT OF WAY:			
9	BETULA / BIRCH	6	NO REMOVE
10	ACER MACROPHYLLUM / BIGLEAF MAPLE	32	YES REMOVE
11	ACER MACROPHYLLUM / BIGLEAF MAPLE	24	YES REMOVE
12	MADRONA	14	YES REMOVE
13	BETULA / BIRCH	12	YES REMOVE
14	BETULA / BIRCH	12	YES REMOVE
ON SITE TREES:			
101	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	24	YES REMOVE FOR BUILDING
103	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	22	YES REMOVE FOR BUILDING
104	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	16	YES REMOVE FOR BUILDING
105	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	12	YES REMOVE FOR UTILITIES EASEMENT

- MINIMUM SETBACK OF TREES IN RIGHT-OF WAY FROM FIXED OBJECTS SHALL MEET THE FOLLOWING CRITERIA:
- 50 FEET FROM INTERSECTION VERTICAL CURB LINE
  - 20 FEET FROM LUMINARIES AND UTILITY POLES
  - 20 FEET FROM SIGNS
  - 15 FEET FROM BUS SHELTERS.
  - 10 FEET FROM DRIVEWAYS
  - 10 FEET FROM UTILITY VAULTS/BOXES
  - 10 FEET BACK OF SIDEWALK FOR ALL EVERGREEN TREES
  - 5 FEET FROM HYDRANTS
  - 2 FEET FROM BACK OF SIDEWALK FOR ALL DECIDUOUS TREES
  - OUTSIDE IDENTIFIED SIGHT DISTANCE RESTRICTED AREAS

MATERIALS AND FINISHES

SYMBOL	DESCRIPTION
■	CIP PAVING; LIGHT BROOM FINISH; DEEP TOOL JOINTS, NO SHINERS. SECTION: REF. CIVIL. CONTRACTION JOINTS @ 5' O.C. U.O.N. EXP. JT @ 10' O.C. U.O.N., REF. CITY OF SEATAC.
■	MULCH AREAS ONLY
○	STREET LIGHT, REF. CIVIL AND ELEC. (STANDARD PER CITY)
⊙	PEDESTRIAN POLE LIGHT, 18" FROM FACE OF CURB, REF. CIVIL AND ELEC.
⊠	OAHU BIKE RACK, SURFACE MOUNT

OVERALL LANDSCAPE SITE PLAN

CHARLES MORGAN & ASSOCIATES, LLC

ARCHITECTS

7301 BEVERLY LANE  
EVERETT, WA 98203

E-MAIL: info@cmarch.com  
PHONE: 425-355-2888

Karen Kiest  
Landscape Architects  
111 West John Street Suite 306  
Seattle Washington 98119  
206.323.6032  
www.kk-la.com

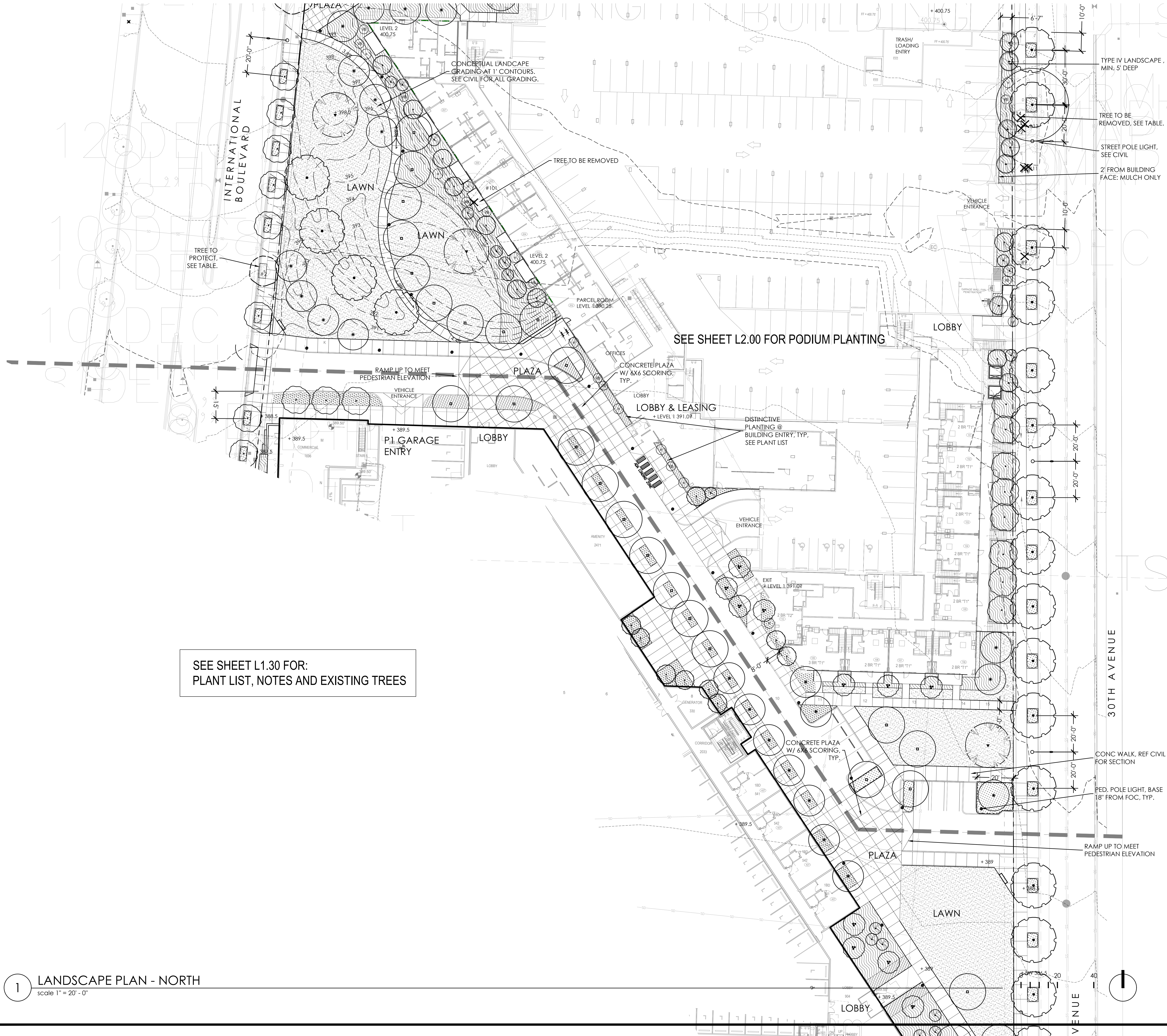
PROJECT: CYMBALUK PROPERTIES  
LOCATION: 2020 INTERNATIONAL BLVD., SEATAC WA 98188  
OWNER: CYMBALUK PROPERTIES, LLC  
DEVELOPER: SYNERGY CONSTRUCTION, INC.  
(CONTACT: BRAN@SYNERGYCONSTRUCTION.COM)

PRELIM SITE REVIEW 2/28/23  
PSPR REV. 6/21/23  
BUILDING PERMIT 7/19/2023  
PSPR REV. 9/14/23

SHEET

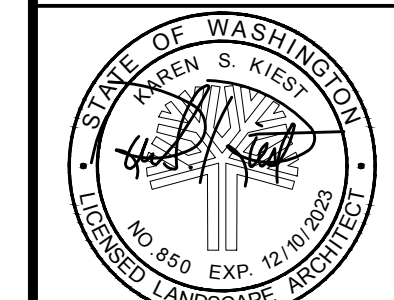
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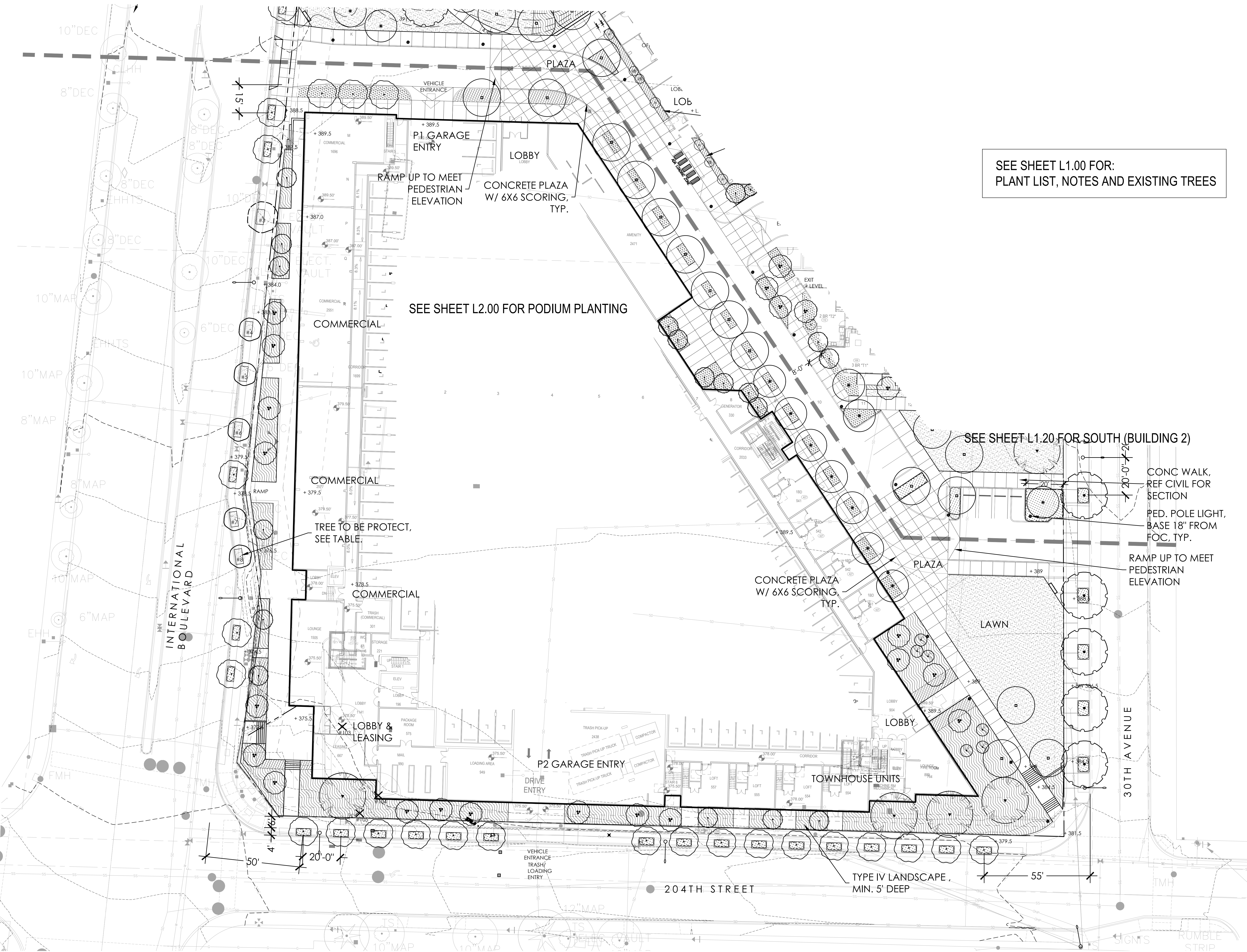
1 LANDSCAPE PLAN - NORTH  
scale 1" = 20' - 0"

LANDSCAPE SITE PLAN  
NORTH

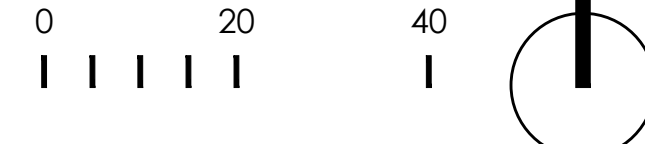


PRELIM SITE REVIEW 2/28/23  
PSPR REV. 6/21/23  
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PSPR REV. 9/14/23





1 LANDSCAPE PLAN - SOUTH  
scale 1" = 20' - 0"



LANDSCAPE SITE PLAN  
SOUTH

SEE SHEET L1.00 FOR:  
PLANT LIST, NOTES AND EXISTING TREES

SEE SHEET L2.00 FOR PODIUM PLANTING

SEE SHEET L1.20 FOR SOUTH (BUILDING 2)

CONC WALK,  
REF CIVIL FOR  
SECTION  
PED. POLE LIGHT,  
BASE 18" FROM  
FOC, TYP.

RAMP UP TO MEET  
PEDESTRIAN  
ELEVATION

CHARLES MORGAN & ASSOCIATES, LLC

ARCHITECTS

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Karen Kiest  
Landscape Architects  
111 West John Street Suite 306  
Seattle Washington 98119  
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www.kk-la.com

SEATTLE  
WASHINGTON  
LANDSCAPE ARCHITECT  
NO. 489 EXP. 01/01/2025

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SHEET

L1.20





PLANT LIST			
SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	SPACING

\*\* INDICATES DROUGHT TOLERANT; \* INDICATES NATIVE  
NOTE: ALL PLANTING AREAS TO BE ON AUTOMATIC IRRIGATION SYSTEM

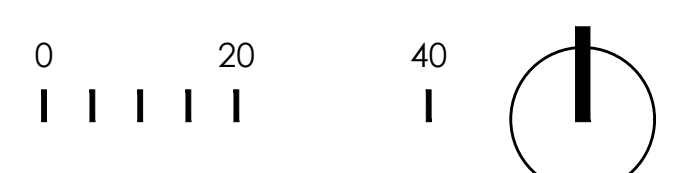
ON STRUCTURE PLANTING:

TREES:			
	SMALL TREES/TALL SHRUBS:		
	ACER CIRCINATUM/VINE MAPLE	6'-8' HT.	B&B
	MAGNOLIA STELATTA 'ROYAL STAR' / STAR MAGNOLIA	6' HT.	B&B
	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' / HYBRID SERVICEBERRY **	6'-8' HT.	B&B
	ARBUSUS UNEDO 'COMPACTA' / COMPACT STRAWBERRY TREE	5' HT.	#10
	LAGERSTROEMIA X 'CHEYENNE' / CHEYENNE CREPE MYRTLE	5' HT.	#10
	MEDIUM TREES:		
	ACER PALMATUM / JAPANESE MAPLE**	6'-8' HT.	B&B
	CORNUS 'STARLIGHT' / STARLIGHT DOGWOOD **	6'-8' HT.	B&B
	PARROTIA PERSICA / PERSIAN IRONWOOD	6'-8' HT.	B&B
	ACER JAPONICUM / FULL MOON MAPLE (GREEN LEAFED VARIETY)	6'-8' HT.	B&B
GROUNDCOVERS/ PERENNIALS/SHRUBS:			
	VIBURNUM BODANTENSE 'DAWN' / DAWN VIBURNUM**	5 GAL.	CONT. 5' O.C.
	HAMAMELIS / WITCH HAZEL 'ARNOLD'S PROMISE' **	5 GAL.	CONT. 5' O.C.
	ILEX CRENATA 'NORTHERN BEAUTY' / JAPANESE HOLLY**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	NANDINA DOMESTICA 'MOON BAY' / DWARF HEAVENLY BAMBOO**1	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	PIERIS JAPONICA 'CAVATINE' / CAVATINE DWARF PIERIS**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	SPIRAEA BUMALDA 'DENISTAR' / SUPERSTAR SPIRAEA **	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	RHODODENDRON 'HINO CRIMSON' / HINO AZALEA**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / MINI FOUNTAIN GRASS1	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	VIBURNUM DAVIDII / DAVIDS VIBURNUM**	1 GAL.	CONT. 30" O.C. TRIANG. SPACING
	LIRIOPE SPICATA / CREEPING LILYTURF**	1 GAL.	CONT. 24" O.C. TRIANG. SPACING
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY*	4"	POT 18" O.C. TRIANG. SPACING
	POLYSTICHUM MUNITUM / SWORDFERN*	1 GAL.	CONT. 30" O.C. SPACING
	DRYOPTERIS ERYTHROSORA / AUTUMN FERN		

MATERIALS AND FINISHES

SYMBOL	DESCRIPTION
	PAVERS ON PEDESTAL, 24"x24"x2" THICK PRECAST CONCRETE PAVERS, TEXADA HYDRAPRESSED SLABS, COLOR: NATURAL, AVAILABLE FROM COLUMBIA GREEN.
	DRAIN ROCK/ PEBBLE MULCH
	PLAY TURF
	ALL PLANTINGS ON STRUCTURE: AVRS MULTILAYER SYSTEM BY COLUMBIA GREEN TECHNOLOGIES, 503.684.9123. INSTALL SYSTEM PER MFG. INSTRUCTION. SOIL DEPTHS PER PLAN.
	8" TALL BLACK METAL EDGING
	FALL PROTECTION, PARAPET, REF. ARCH.
	CATENARY LIGHTS, LIGHT BOLLARD, REF. ELEC.
	BARBECUE PROVIDED BY OWNER
	SINK, REFERENCE ARCH FOR OUTDOOR KITCHEN
	FURNITURE, REF. INTERIORS

1 LANDSCAPE PLAN - PODIUM LEVEL  
scale 1" = 20' - 0"



PODIUM LANDSCAPE  
SITE PLAN

CHARLES MORGAN & ASSOCIATES, LLC

ARCHITECTS

7301 BEVERLY LANE  
EVERETT, WA 98203  
E-MAIL info@cmarch.com  
PHONE 425-355-2888

PROJECT  
CYMBALUK PROPERTIES

LOCATION  
2020 INTERNATIONAL BLVD., SEATAC WA 98188

OWNER  
CYMBALUK PROPERTIES, LLC

DEVELOPER  
SYNERGY CONSTRUCTION, INC.

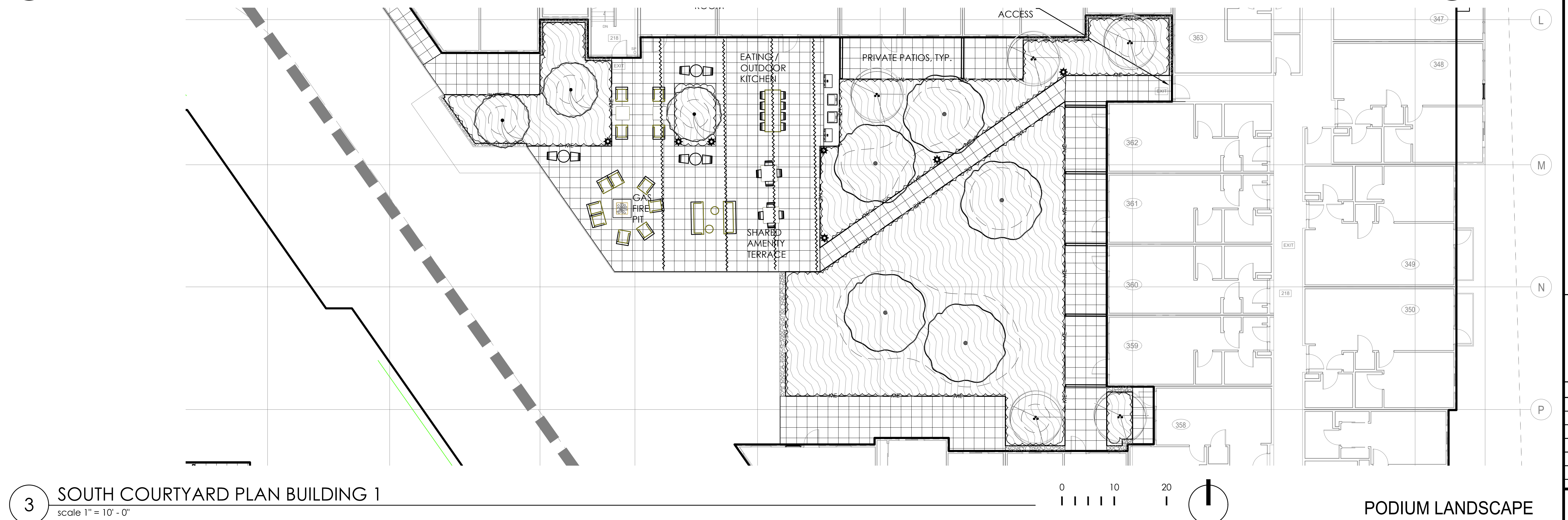
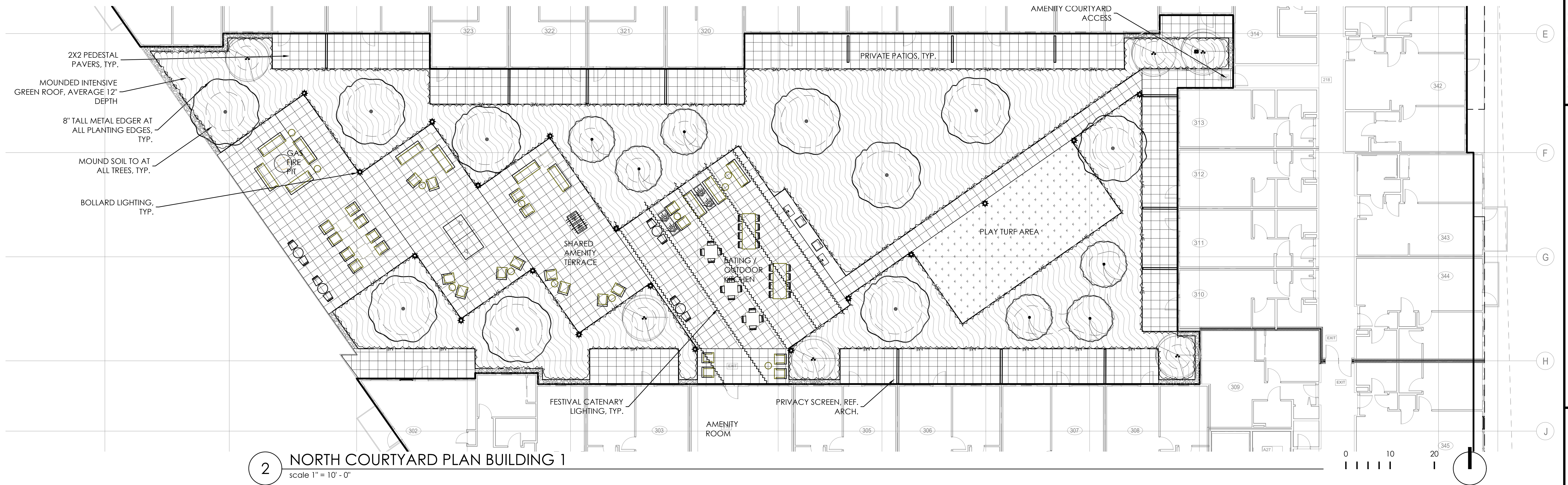
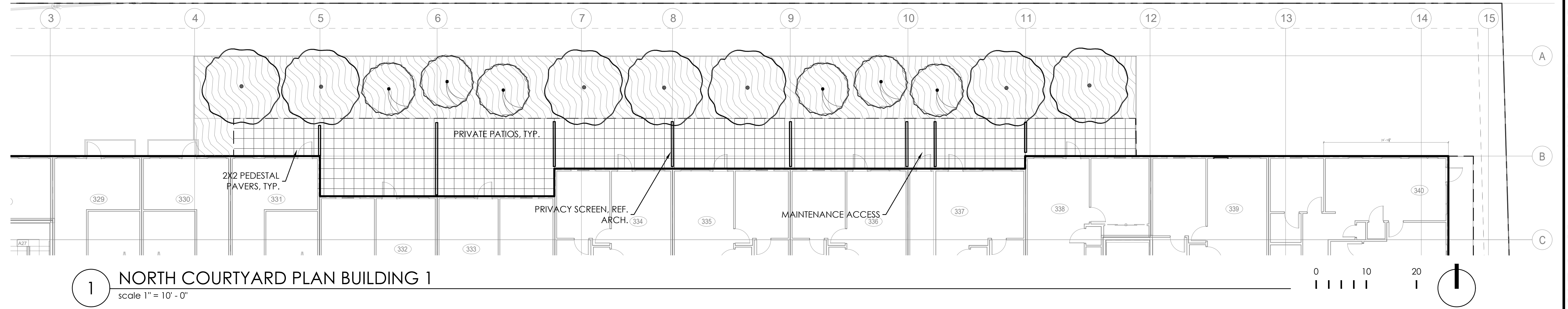
CONTACT BRAM@SYNERGYCONSTRUCTION.COM

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PRELIM SITE REVIEW 2/28/23  
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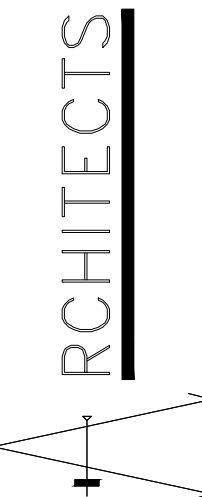
SHEET  
L2.00





PODIUM LANDSCAPE  
SITE PLAN BLDG 1

CHARLES MORGAN & ASSOCIATES, LLC



E-MAIL info@cmarch.com  
PHONE 425-355-2888

7301 BEVERLY LANE  
EVERETT, WA 98203

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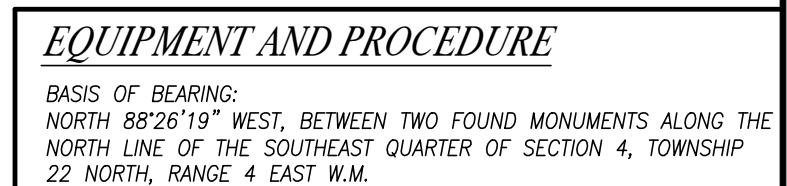
PRELIM SITE REVIEW 2/28/23  
PSPR REV. 6/21/23

SHEET

L2.20




# SEATAC APARTMENTS

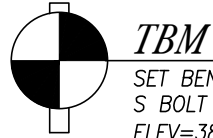


### LEGEND

- SHEET INDEX

- | REV. NO. | DESCRIPTION   | INITIALS | DATE |
|----------|---|----------|------|
|          |  |          |      |
|          | 06/22/2023  |          |      |

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.



SURVEYOR

<b><i>APPLICANT / OWNERS</i></b>	<b><i>ARCHITECT</i></b>
<b>CYMBALUK PROPERTIES</b> 20220 INTERNATIONAL BLVD SEATAC, WA 98198	<b>CHARLES MORGAN &amp; ASSOCIATES</b> PH: (425) 353-2888 EMAIL: CHARLUE@CMAARCH.COM

**SYNERGY CONSTRUCTION, INC.**  
EMAIL: [BRIAN@SYNERGYCONSTRUCTION.COM](mailto:BRIAN@SYNERGYCONSTRUCTION.COM)

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 2014205;

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EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(25) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

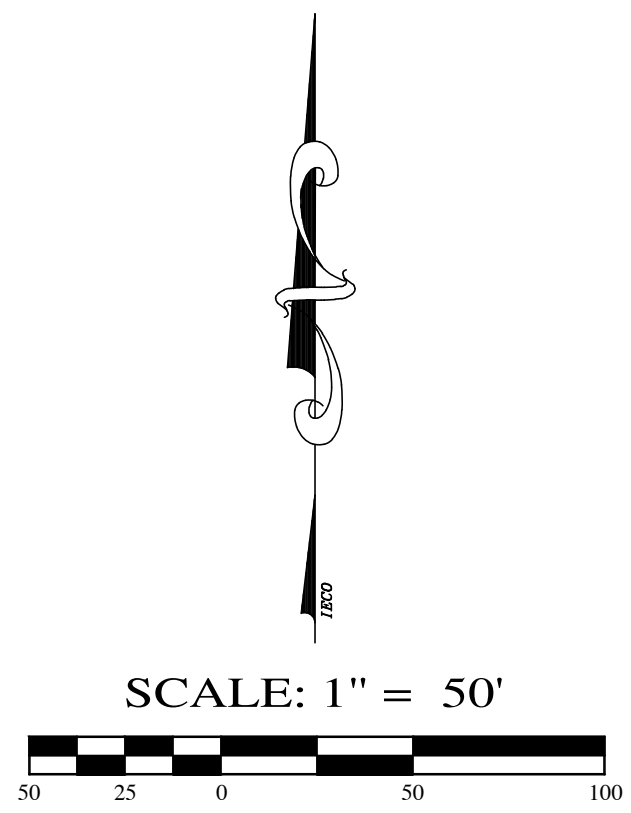
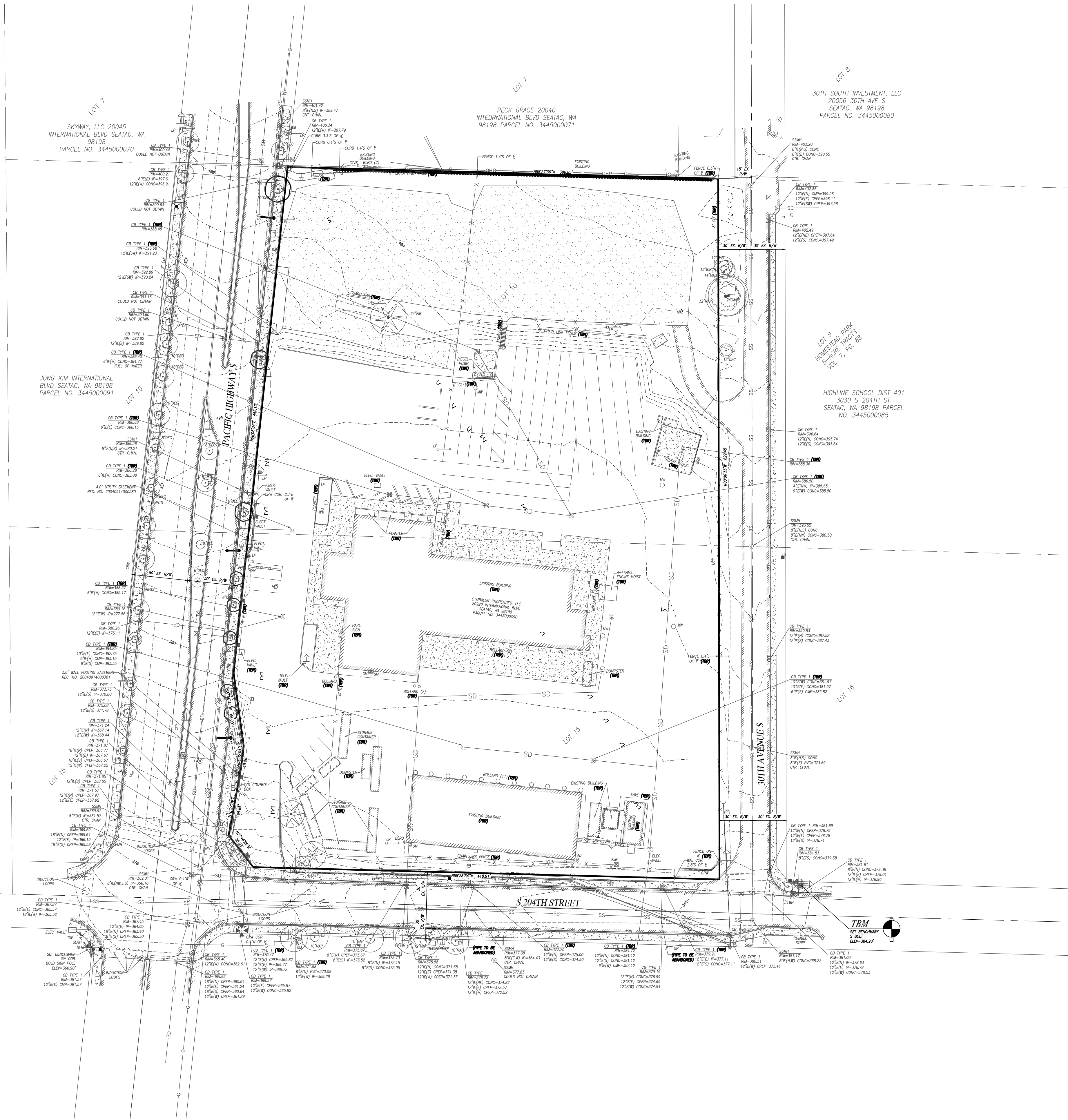
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R. 4 E., W.M.  
SEATAC APARTMENTS

DWG. FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-FINAL.DWG	SPC	12-16-2022	1"=50'	22-1230
COVER SHEET				SHEET C1.0



SE 1/4 SEC. 04, T. 22 N., R. 4 E., W.M.  
KING COUNTY, WASHINGTON



LEGEND

- SET 1/2" X 24" REBAR W/CAP STAMPED "PCS 375.36"
- EXISTING REBAR W/CAP, AS NOTED
- ✕ SET NAIL AND WASHER STAMPED "PCS 375.36"
- ✕ EXISTING NAIL AND WASHER AS NOTED
- ⊙ FOUND CONCRETE MONUMENT AS NOTED
- ⊙ RIGHT OF WAY CENTERLINE
- ⊙ STORM DRAIN MANHOLE
- > INVERT/CULVERT
- CATCH BASIN
- ⊗ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ FIBER OPTIC MANHOLE
- ⊙ MONITOR WELL
- ⊙ TRAFFIC SIGNAL JUNCTION BOX
- ⊙ STREET LIGHT
- ⊙ GAS VALVE
- ⊙ SIGN POST
- ⊙ UTILITY/POWER POLE
- ⊙ GUY ANCHOR
- ⊙ POWER VAULT
- ⊙ POWER TRANSFORMER
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- F FIR
- H HEMLOCK
- P PINE
- M MAPLE

EQUIPMENT AND PROCEDURE

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DESIGNATION: GP17509-169  
BRASS "DICK" AT SIDEWALK OF BRIDGE  
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ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
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DATUM:  
NAVD 88

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WOODINVILLE, WA 98072  
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**APPLICANT / OWNERS**  
CRYSTAL PROPERTIES, LLC  
100TH PL SE  
EVERETT, WA 98208

**ARCHITECT / CONTACT**  
CARON  
801 BLANCHARD ST, STE. 200  
SEATTLE, WA 98121  
PH: (206) 361-1382  
WWW.CARONARCHITECTURE.COM

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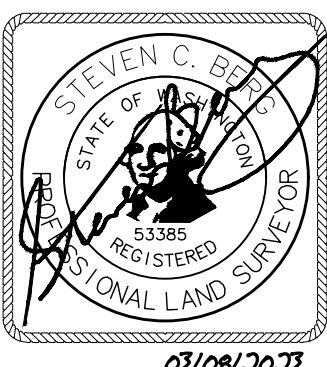
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SEATAC APARTMENTS

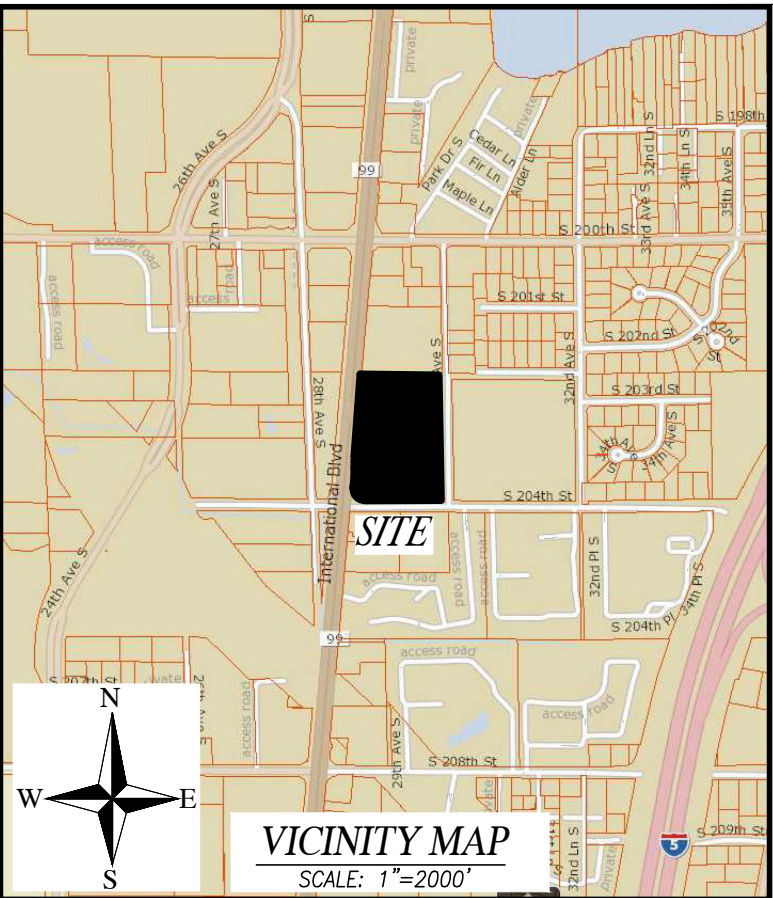
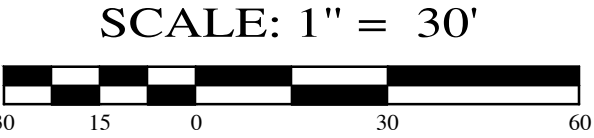
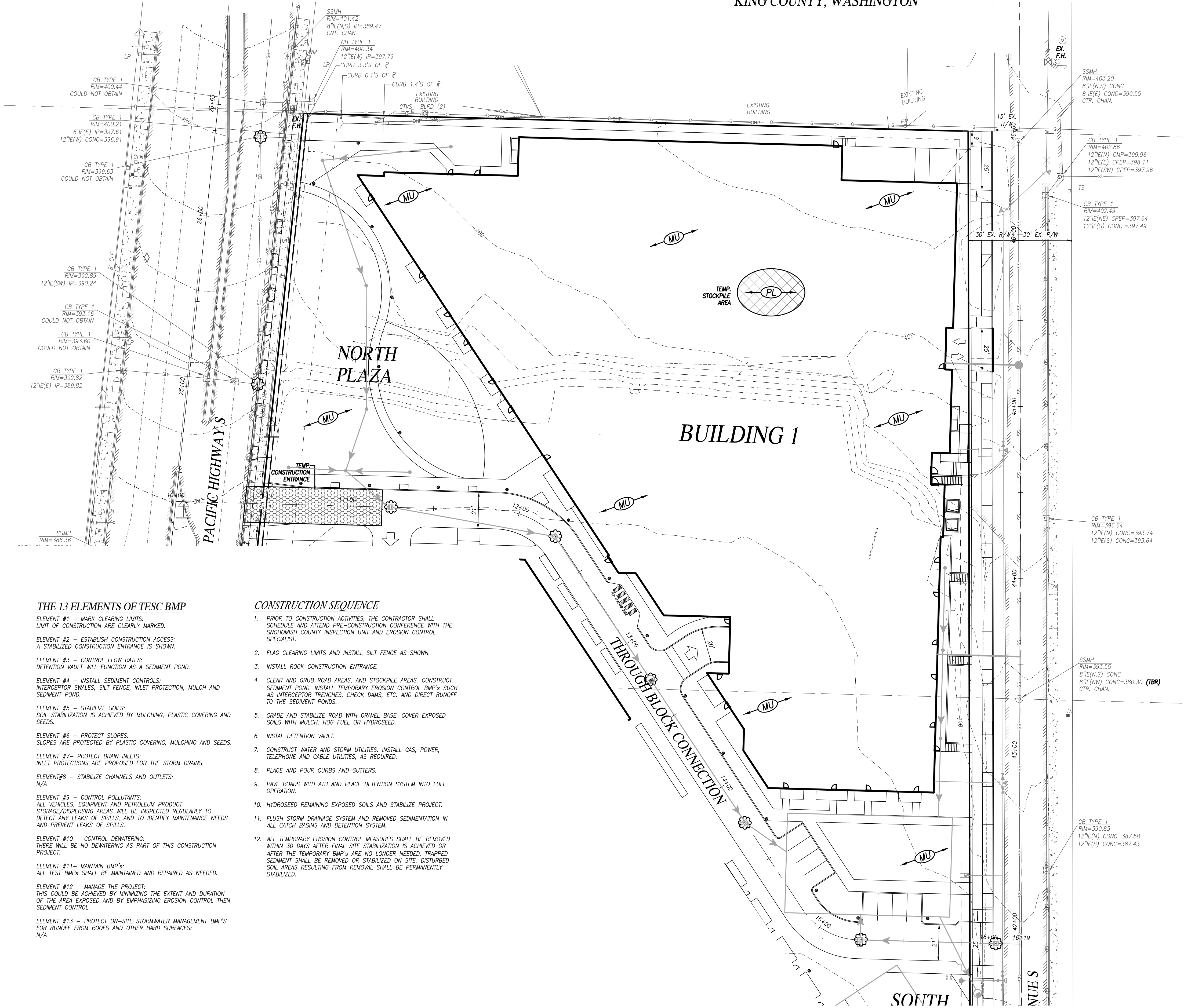
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DESIGNED BY: SPC  
DATE: 12-16-2022  
SCALE: 1"=50'  
JOB NO.: 22-1230  
SHEET

TOPOGRAPHIC SURVEY  
CL.1





SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



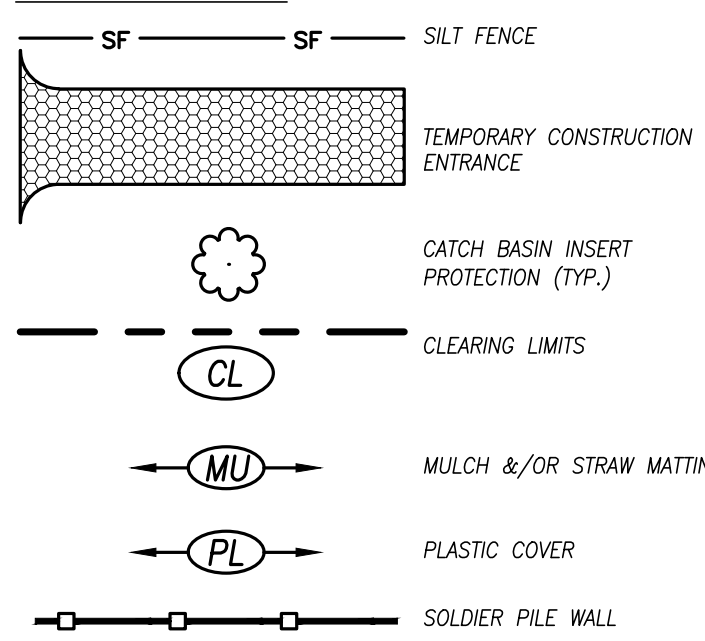
THE 13 ELEMENTS OF TESC BMP

- ELEMENT #1 - MARK CLEARING LIMITS:  
LIMIT OF CONSTRUCTION ARE CLEARLY MARKED.
- ELEMENT #2 - ESTABLISH CONSTRUCTION ACCESS:  
A STABILIZED CONSTRUCTION ENTRANCE IS SHOWN.
- ELEMENT #3 - CONTROL FLOW RATES:  
DETENTION VAULT WILL FUNCTION AS A SEDIMENT POND.
- ELEMENT #4 - INSTALL SEDIMENT CONTROLS:  
INTERCEPTOR SWALES, SILT FENCE, INLET PROTECTION, MULCH AND SEDIMENT POND.
- ELEMENT #5 - STABILIZE SOILS:  
SOIL STABILIZATION IS ACHIEVED BY MULCHING, PLASTIC COVERING AND SEEDS.
- ELEMENT #6 - PROTECT SLOPES:  
SLOPES ARE PROTECTED BY PLASTIC COVERING, MULCHING AND SEEDS.
- ELEMENT #7 - PROTECT DRAIN INLETS:  
INLET PROTECTIONS ARE PROPOSED FOR THE STORM DRAINS.
- ELEMENT #8 - STABILIZE CHANNELS AND OUTLETS:  
N/A
- ELEMENT #9 - CONTROL POLLUTANTS:  
ALL VEHICLES, EQUIPMENT AND PETROLEUM PRODUCT STORAGE/STORAGE AREAS WILL BE INSPECTED REGULARLY TO DETECT ANY LEAKS OF SPILLS, AND TO IDENTIFY MAINTENANCE NEEDS AND PREVENT LEAKS OF SPILLS.
- ELEMENT #10 - CONTROL DEWATERING:  
THERE WILL BE NO DEWATERING AS PART OF THIS CONSTRUCTION PROJECT.
- ELEMENT #11 - MAINTAIN BMP'S:  
ALL TEST BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED.
- ELEMENT #12 - MANAGE THE PROJECT:  
THIS COULD BE ACHIEVED BY MINIMIZING THE EXTENT AND DURATION OF THE AREA EXPOSED AND BY EMPHASIZING EROSION CONTROL THEN SEDIMENT CONTROL.
- ELEMENT #13 - PROTECT ON-SITE STORMWATER MANAGEMENT BMP'S FOR RUNOFF FROM ROOFS AND OTHER HARD SURFACES:  
N/A

CONSTRUCTION SEQUENCE

1. PRIOR TO CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE AND ATTEND PRE-CONSTRUCTION CONFERENCE WITH THE SNOHOMISH COUNTY INSPECTION UNIT AND EROSION CONTROL SPECIALIST.
2. FLAG CLEARING LIMITS AND INSTALL SILT FENCE AS SHOWN.
3. INSTALL ROCK CONSTRUCTION ENTRANCE.
4. CLEAR AND GRUB ROAD AREAS, AND STOCKPILE AREAS. CONSTRUCT SEDIMENT POND. INSTALL TEMPORARY EROSION CONTROL BMP'S SUCH AS INTERCEPTOR TRENCHES, CHECK DAMS, ETC. AND DIRECT RUNOFF TO THE SEDIMENT PONDS.
5. GRADE AND STABILIZE ROAD WITH GRAVEL BASE. COVER EXPOSED SOILS WITH MULCH, HOG FUEL OR HYDROSEED.
6. INSTALL DETENTION VAULT.
7. CONSTRUCT WATER AND STORM UTILITIES. INSTALL GAS, POWER, TELEPHONE AND CABLE UTILITIES, AS REQUIRED.
8. PLACE AND POUR CURBS AND GUTTERS.
9. PAVE ROADS WITH ATB AND PLACE DETENTION SYSTEM INTO FULL OPERATION.
10. HYDROSEED REMAINING EXPOSED SOILS AND STABILIZE PROJECT.
11. FLUSH STORM DRAINAGE SYSTEM AND REMOVED SEDIMENTATION IN ALL CATCH BASINS AND DETENTION SYSTEM.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.

T.E.S.C. LEGEND

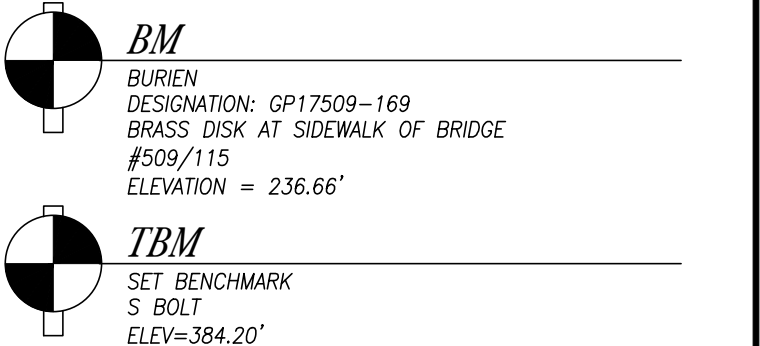


REV. NO.	DESCRIPTION	INITIALS	DATE



EQUIPMENT AND PROCEDURE

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DATUM:  
NAVD 88

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EVERETT, WA 98208  
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SEATAC, WA 98198

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SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
SEATAC APARTMENTS

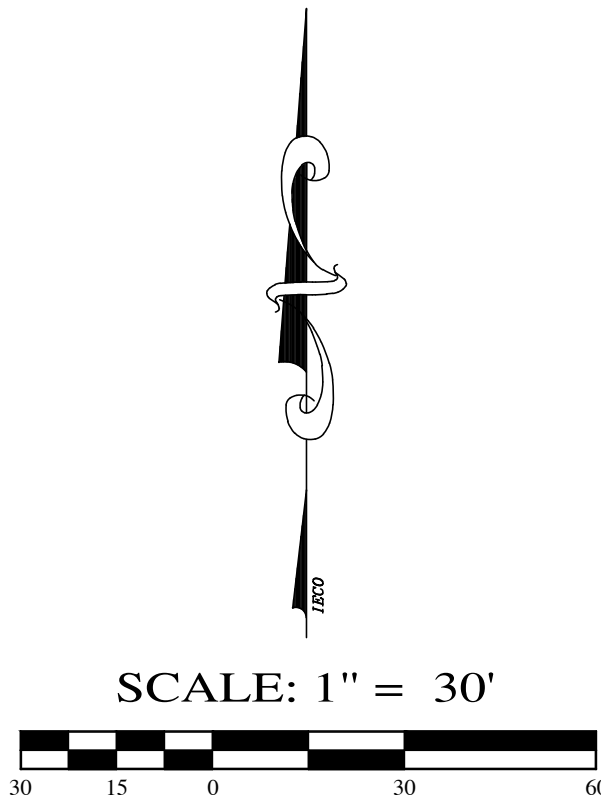
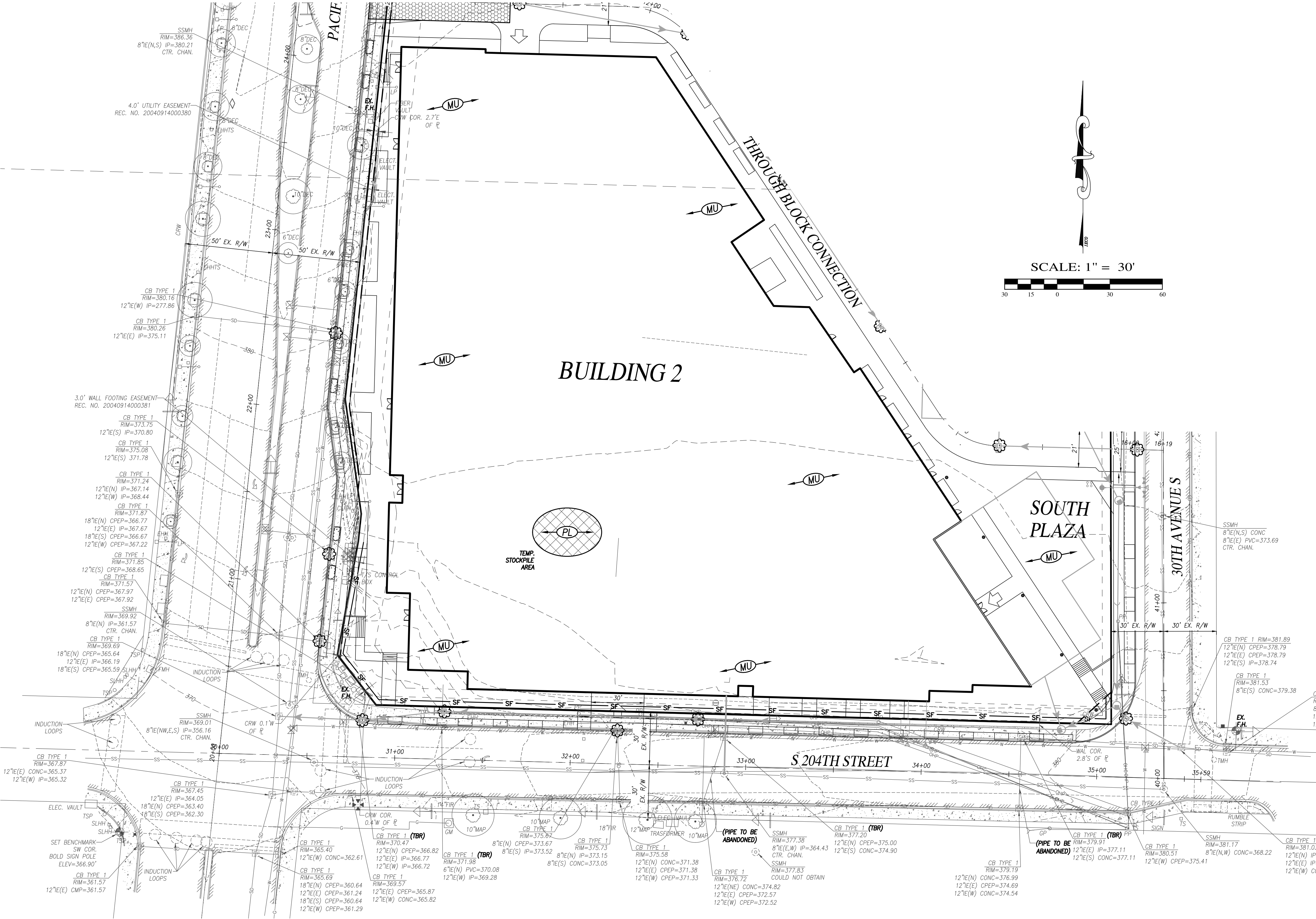
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SCALE: 1"=40'

JOB NO.: 22-1230  
SHEET  
TESC AND EXCAVATION PLAN  
C2.0

SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
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ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
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DATUM:  
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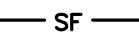
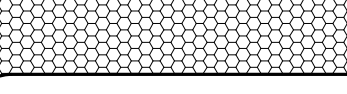


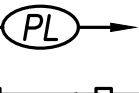
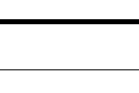
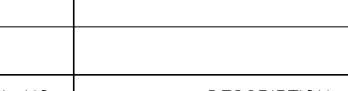
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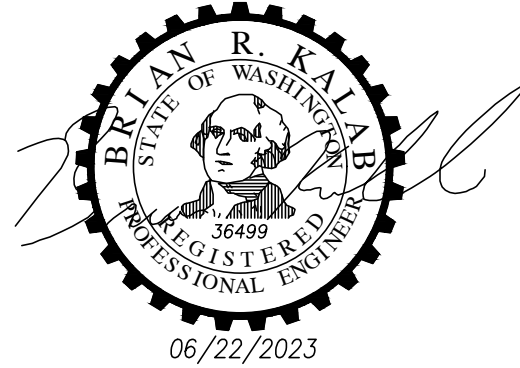
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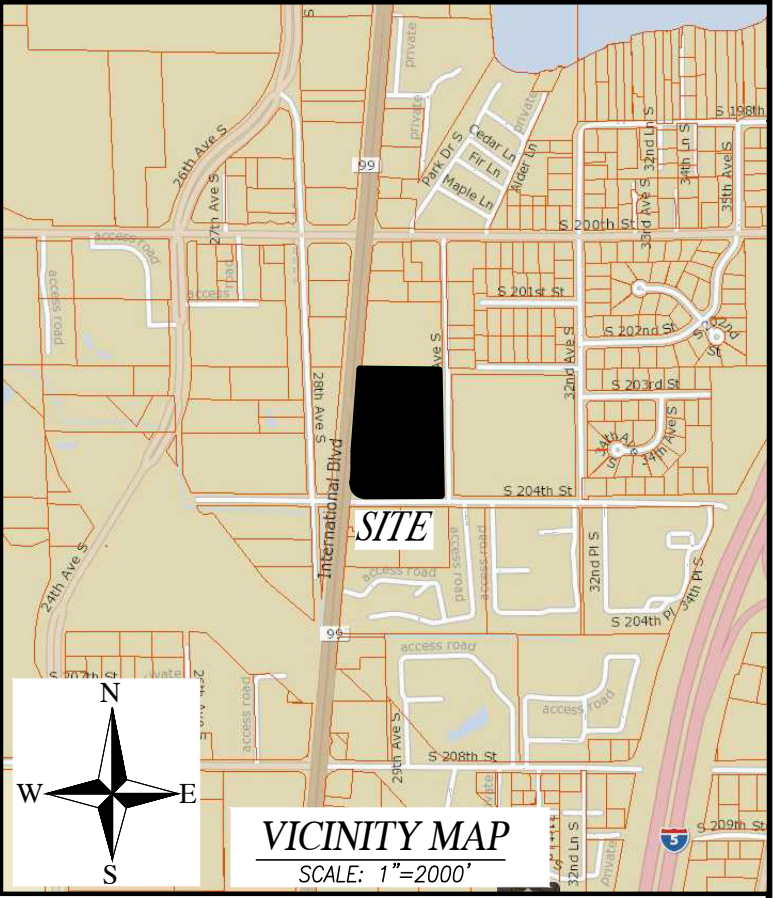
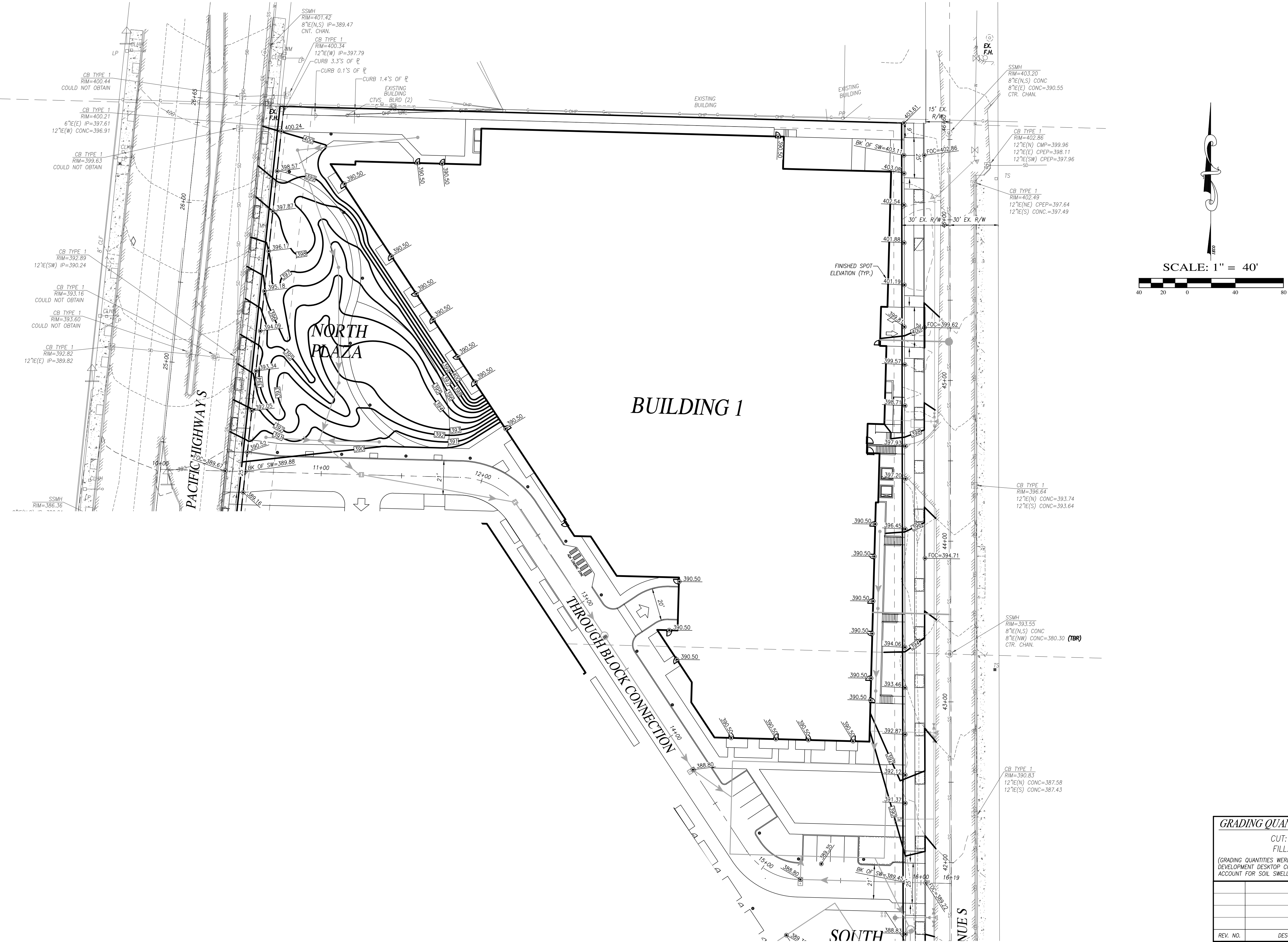
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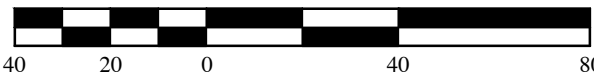
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EQUIPMENT AND PROCEDURE

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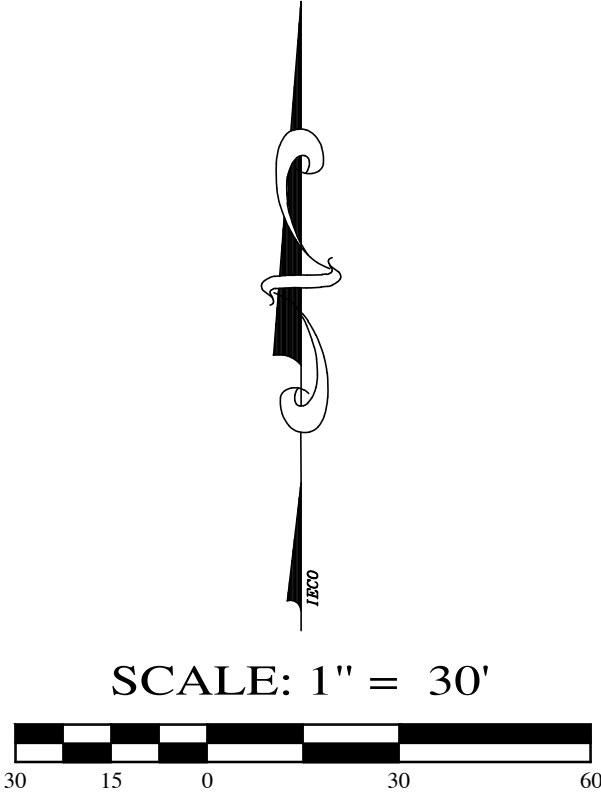
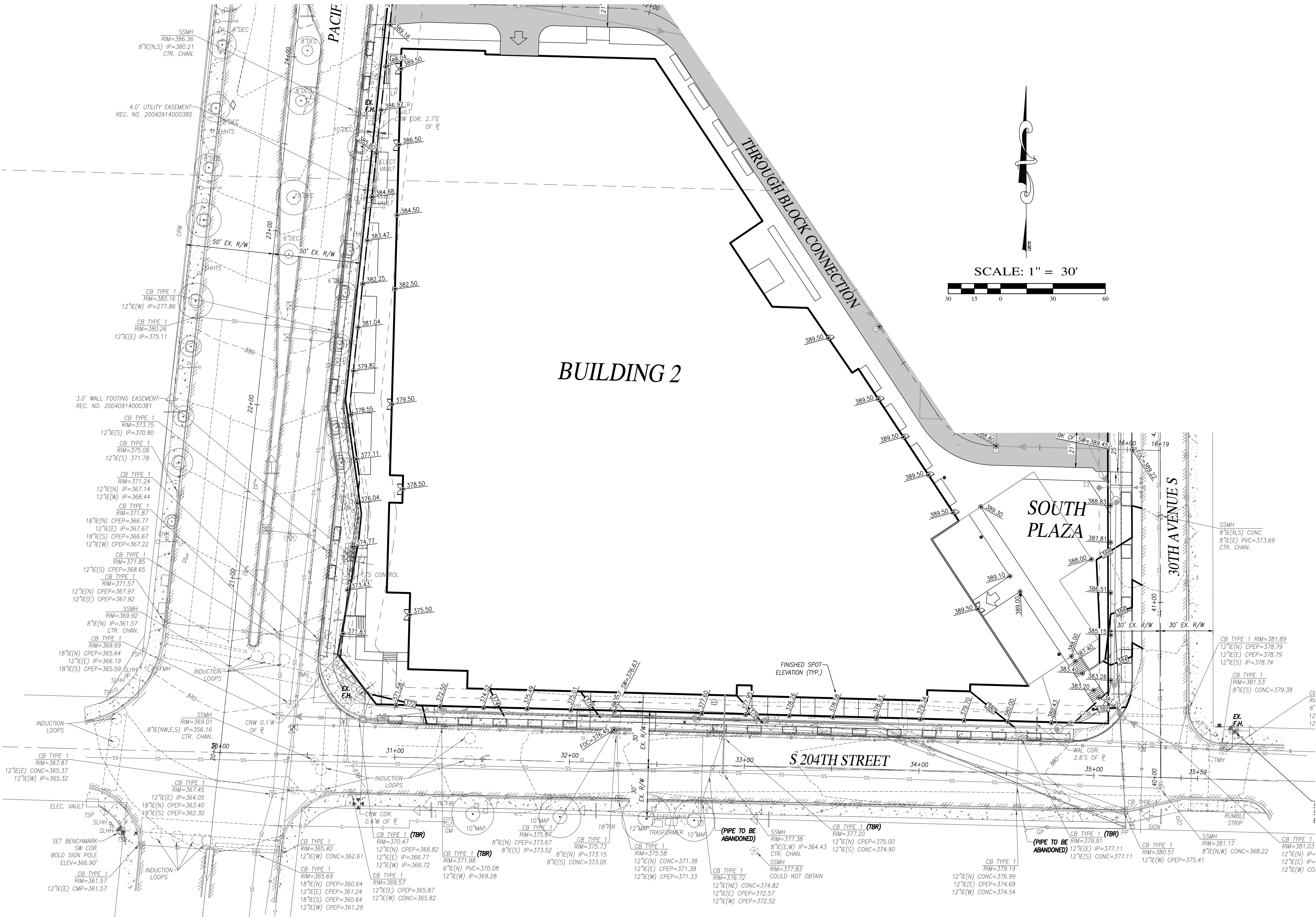
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NAVD 88

ENGINEER

INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

SURVEYOR

NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 205  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

APPLICANT / OWNERS

CYMBALUK PROPERTIES  
20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

ARCHITECT

CHARLES MORGAN & ASSOCIATES  
PH: (425) 353-2888  
EMAIL: CHARLIE@CMARCH.COM

DEVELOPER

SYNERGY CONSTRUCTION, INC.  
EMAIL: BRIAN@SYNERGYCONSTRUCTION.COM

LEGAL DESCRIPTION

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATTLE  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



INSIGHT ENGINEERING CO.  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
SEATAC APARTMENTS

DWG FILENAME: 221230-FINAL.DWG DESIGNED BY: SPC DATE: 12-16-2022 SCALE: 1"=30' JOB NO.: 22-1230

GRADING PLAN

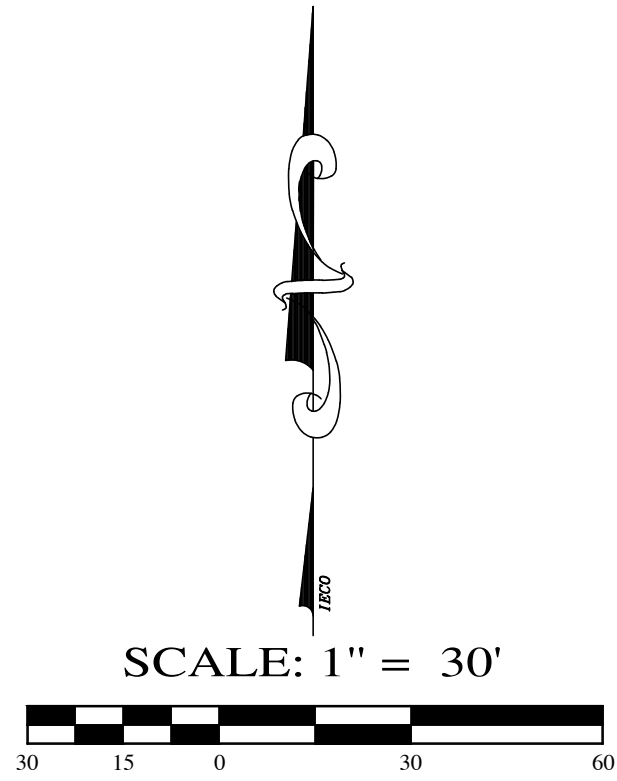
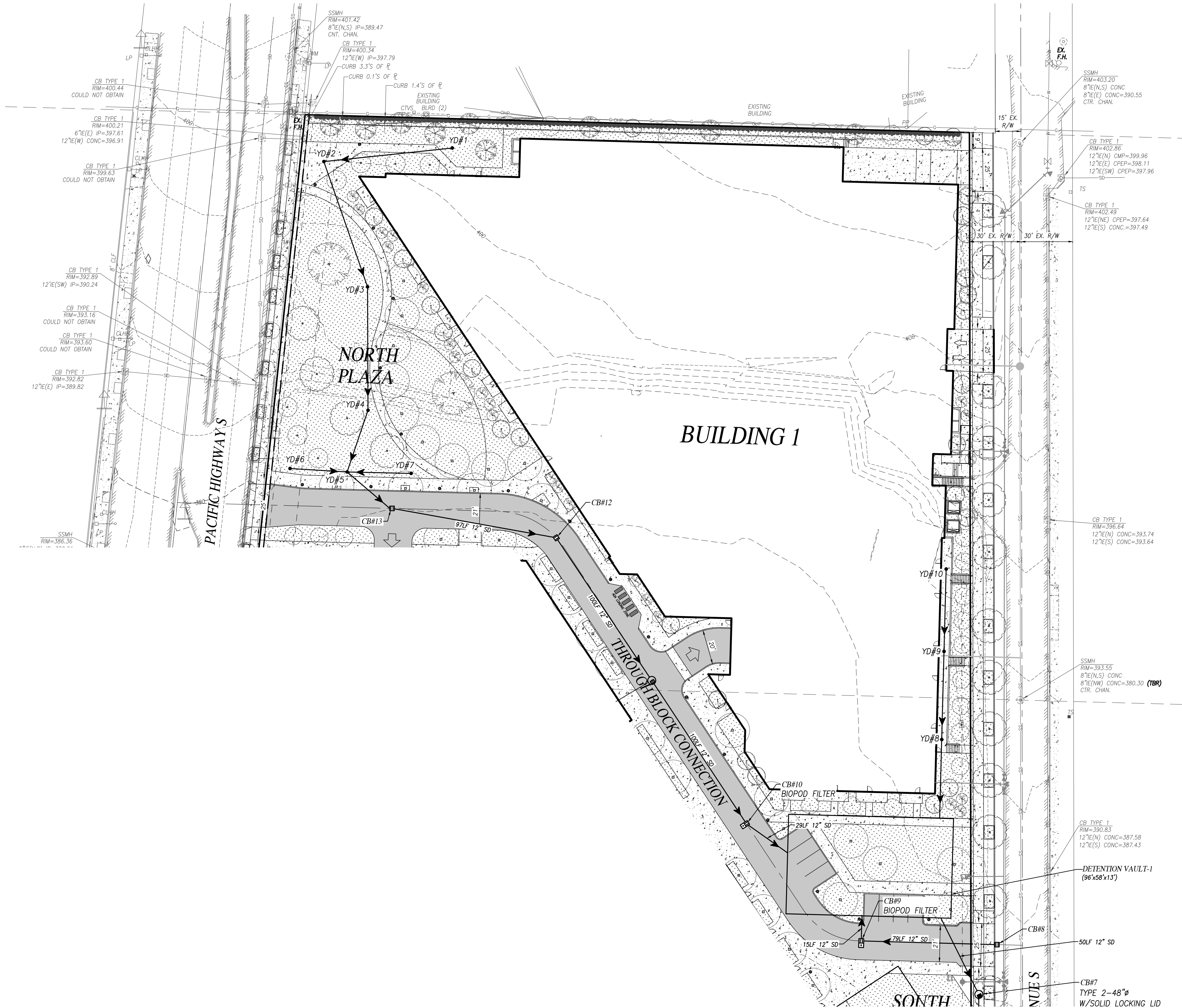
SHEET  
C2.3



SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



SEATAC APARTMENTS

EQUIPMENT AND PROCEDURE			
BASIS OF BEARING: NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.			
<div><div><div></div><div>BM</div><div>BURIEN DESIGNATION: GP17509-169 BRASS DISK AT SIDEWALK OF BRIDGE #509/115 ELEVATION = 236.66'</div></div><div><div></div><div>TBM</div><div>SET BENCHMARK S BOLT ELEV=384.20'</div></div></div>			
DATUM: NAVD 88			
REV. NO.	DESCRIPTION	INITIALS	DATE



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EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.

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**SEATAC APARTMENTS**

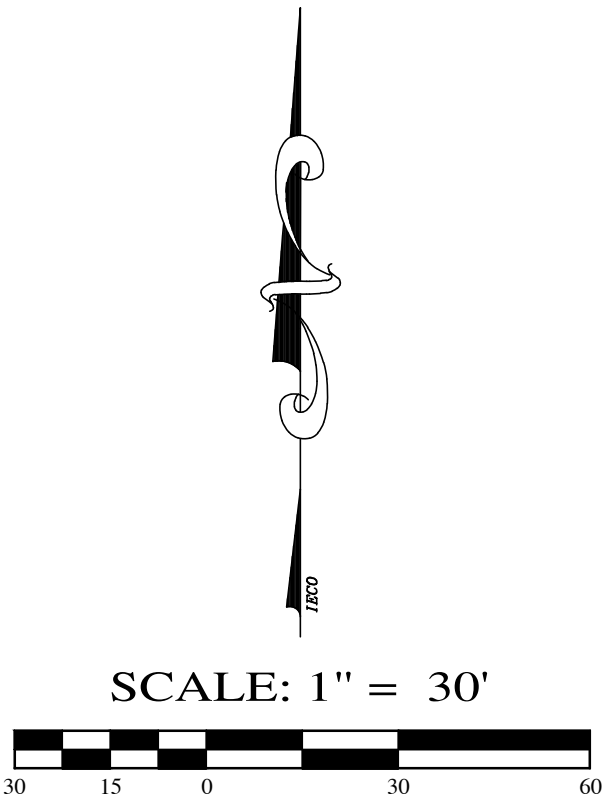
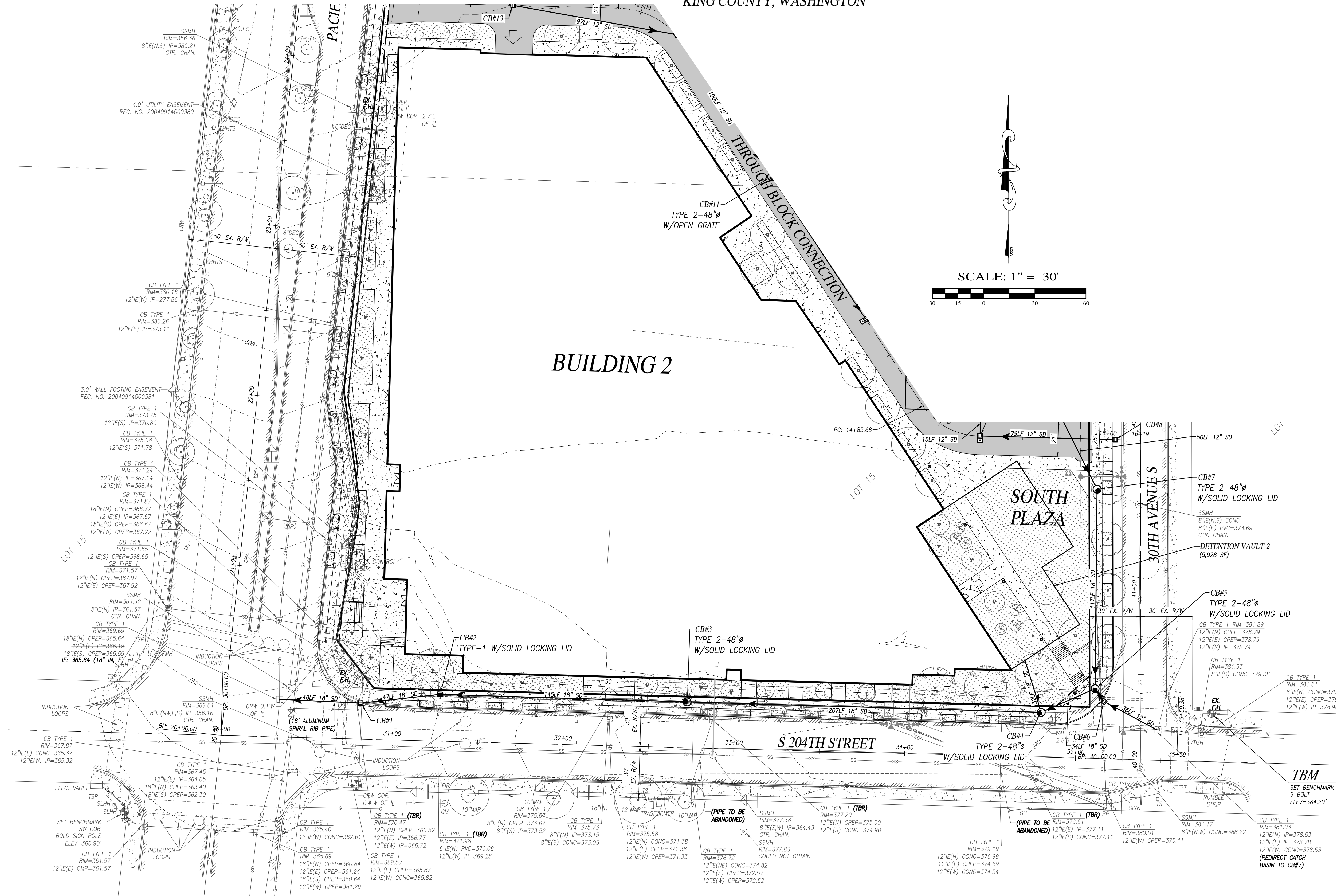
DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-FINAL.DWG	SPC	12-16-2022	1"=30'	22-1230

DRAINAGE PLAN

C3.0



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



**EQUIPMENT AND PROCEDURE**

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

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---	--

<b>APPLICANT / OWNERS</b> CYMBALUK PROPERTIES 20220 INTERNATIONAL BLVD SEATTLE, WA 98198	<b>ARCHITECT</b> CHARLES MORGAN & ASSOCIATES PH: (425) 353-2888 EMAIL: CHARLIE@CMARCH.COM
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REV. NO.	DESCRIPTION	INITIALS	DATE

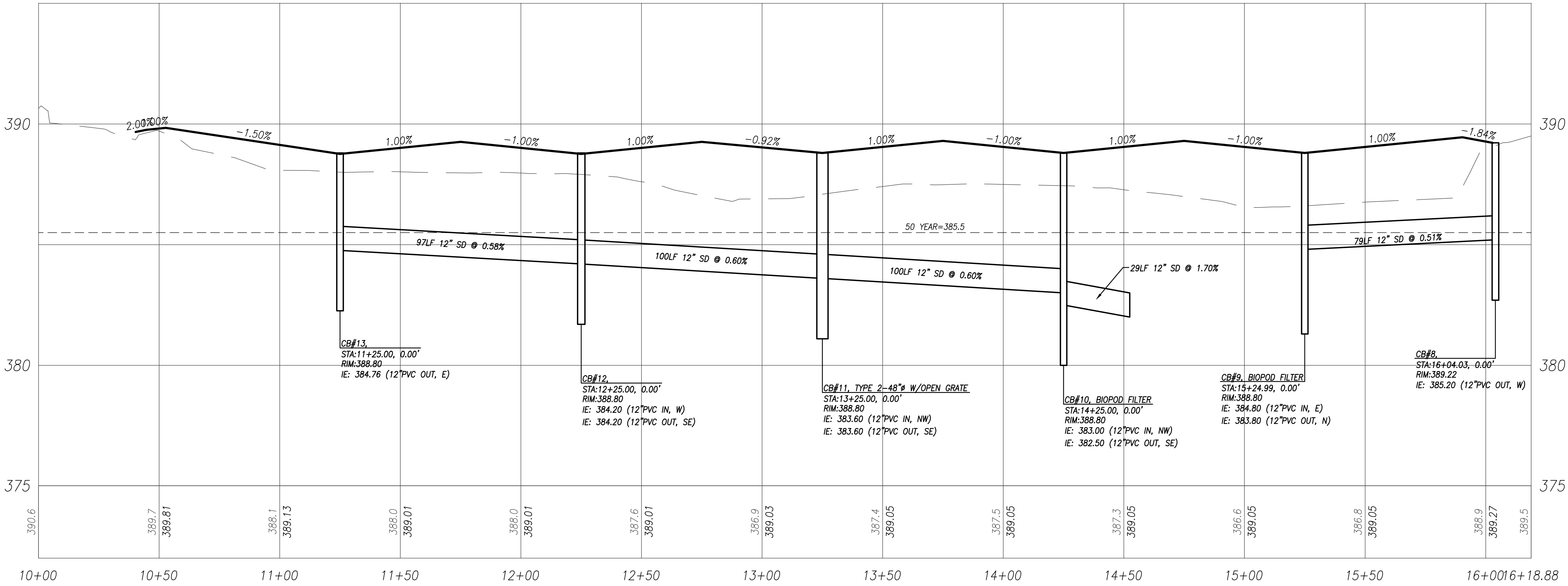
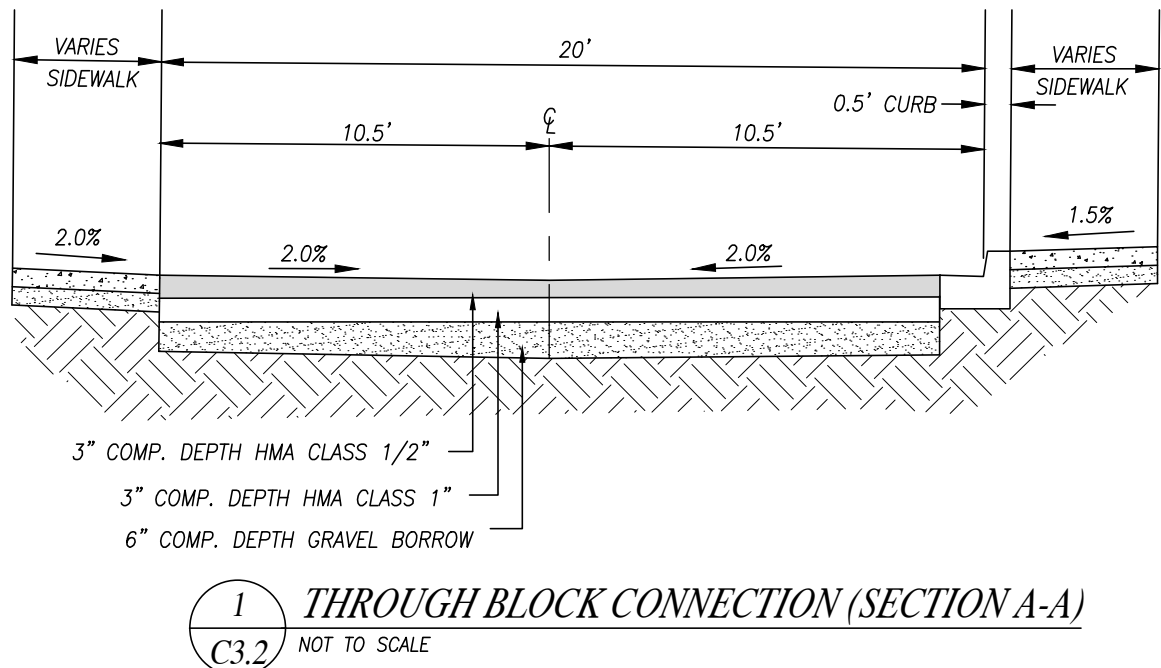
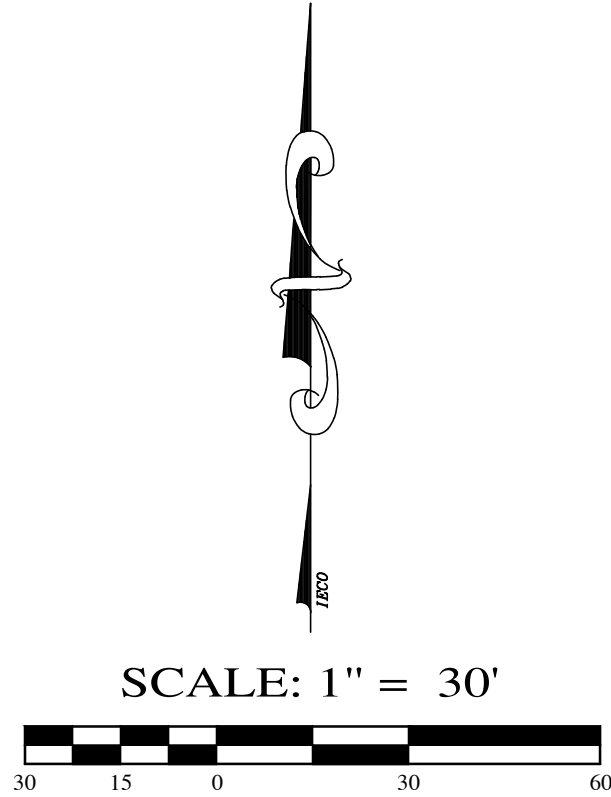
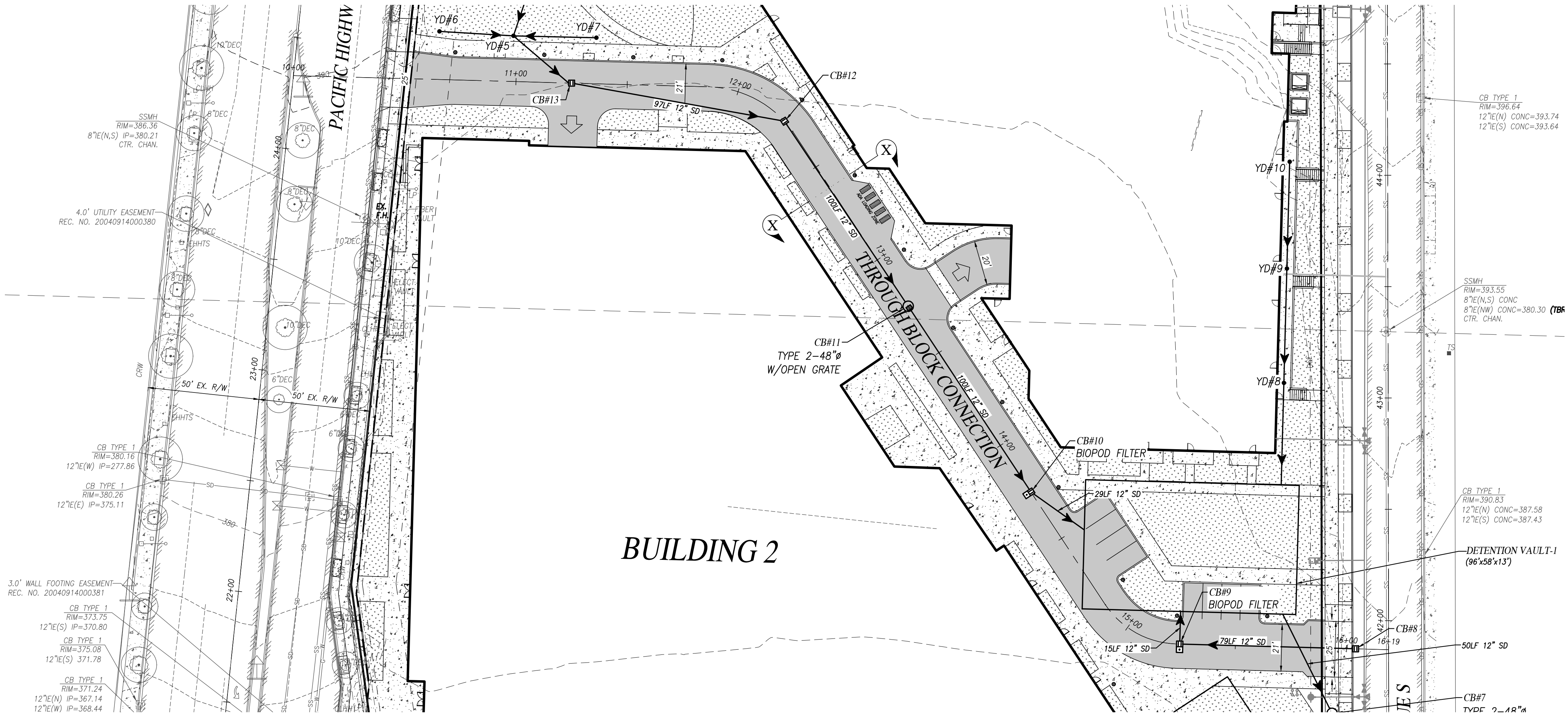
06/22/2023

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M. <b>SEATAC APARTMENTS</b>			
DWG FILENAME 221230-FINAL.DWG	DESIGNED BY SPC	DATE 12-16-2022	SCALE 1"=30'
JOB NO.: 22-1230			SHEET C3.1
DRAINAGE PLAN			

# SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



<



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TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
**SEATAC APARTMENTS**

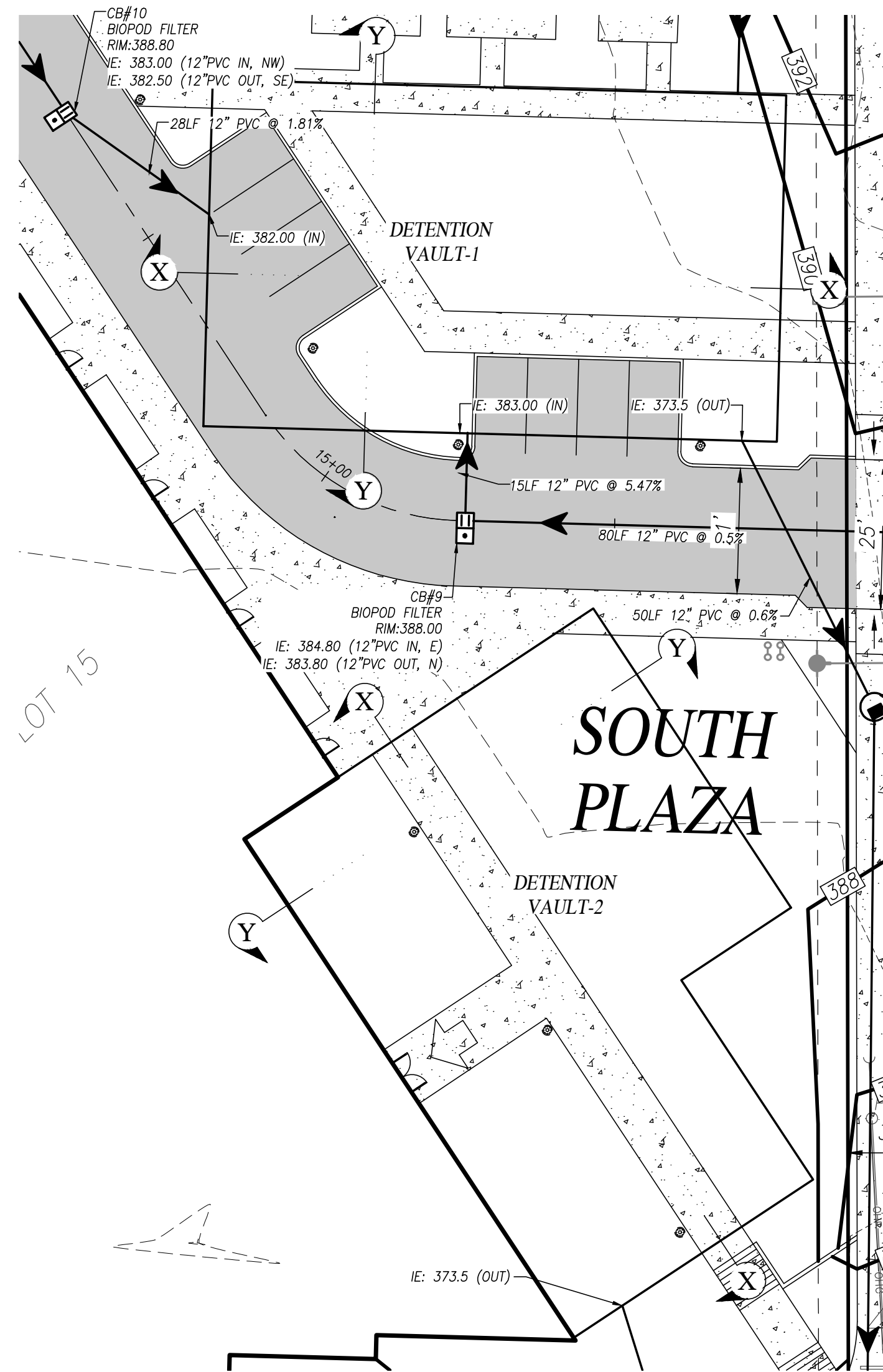
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DRAINAGE PLAN AND PROFILE SHEET C3.2

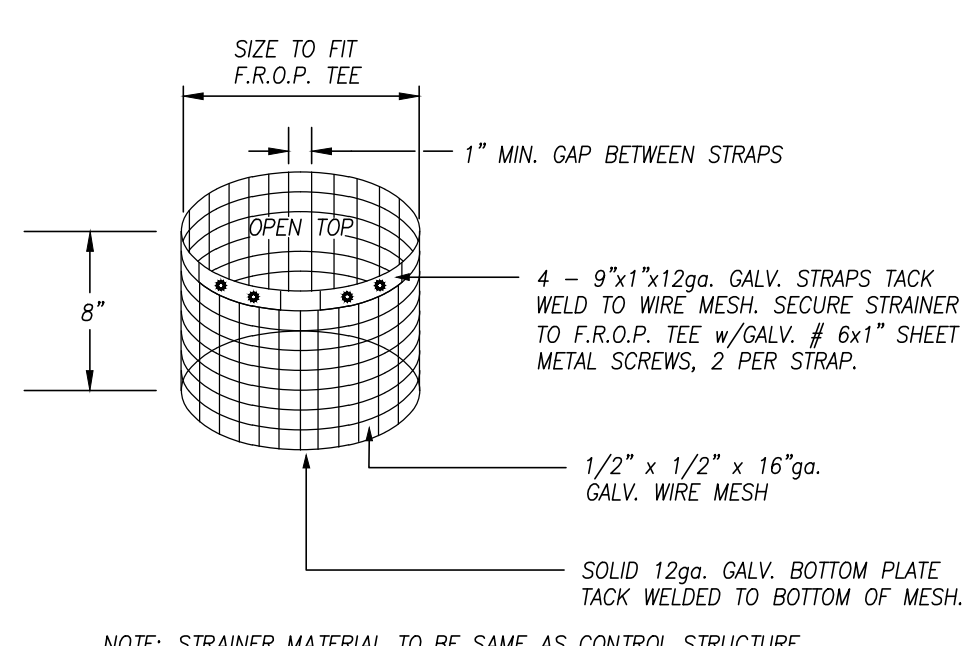
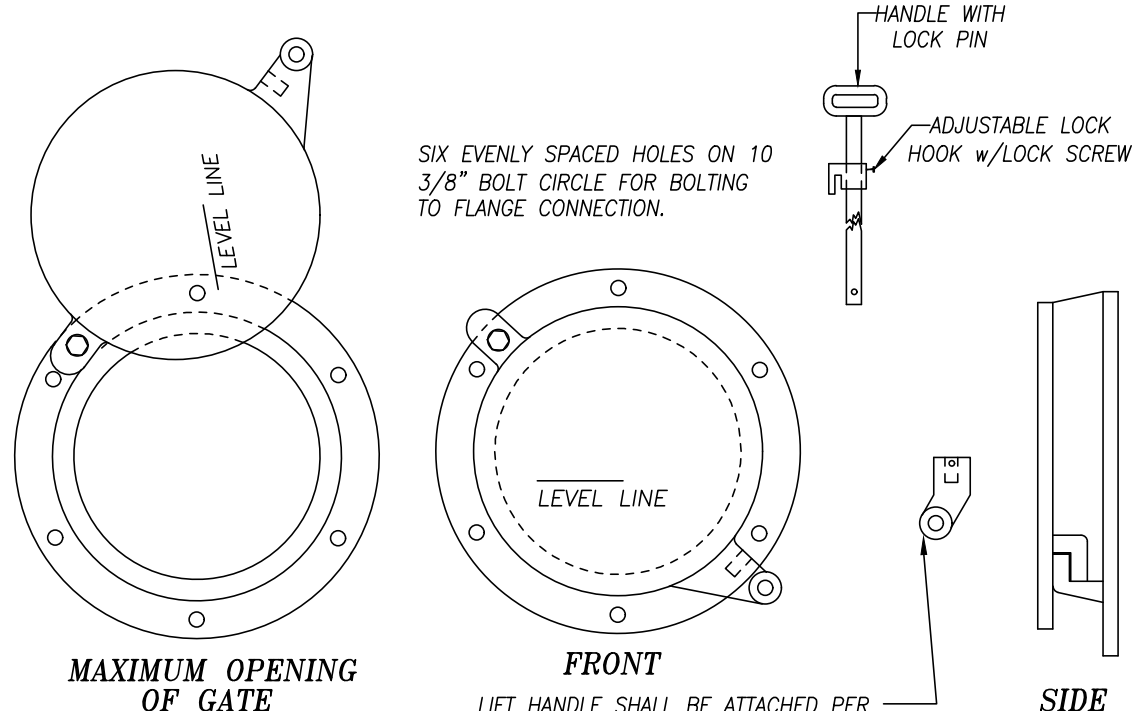
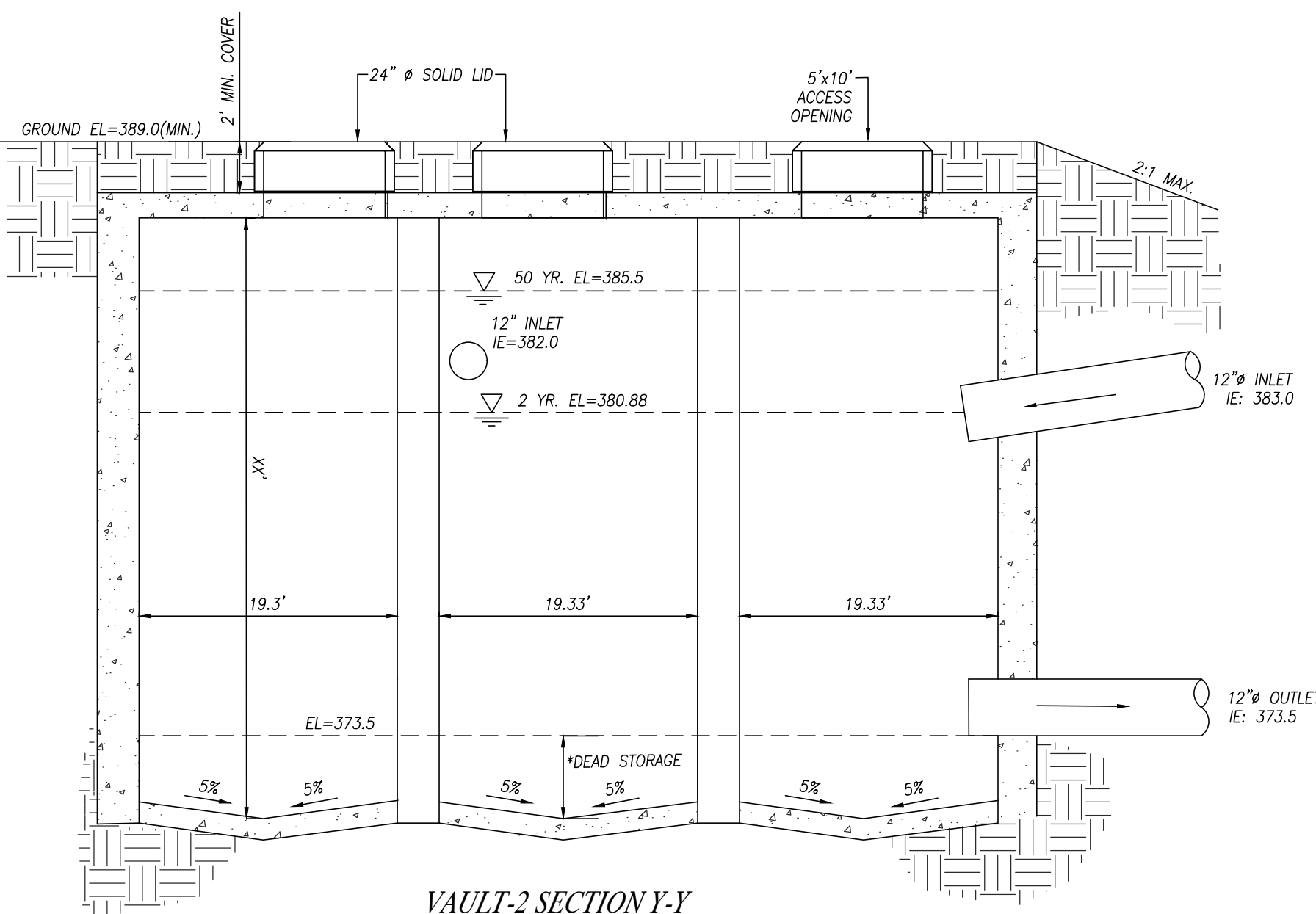
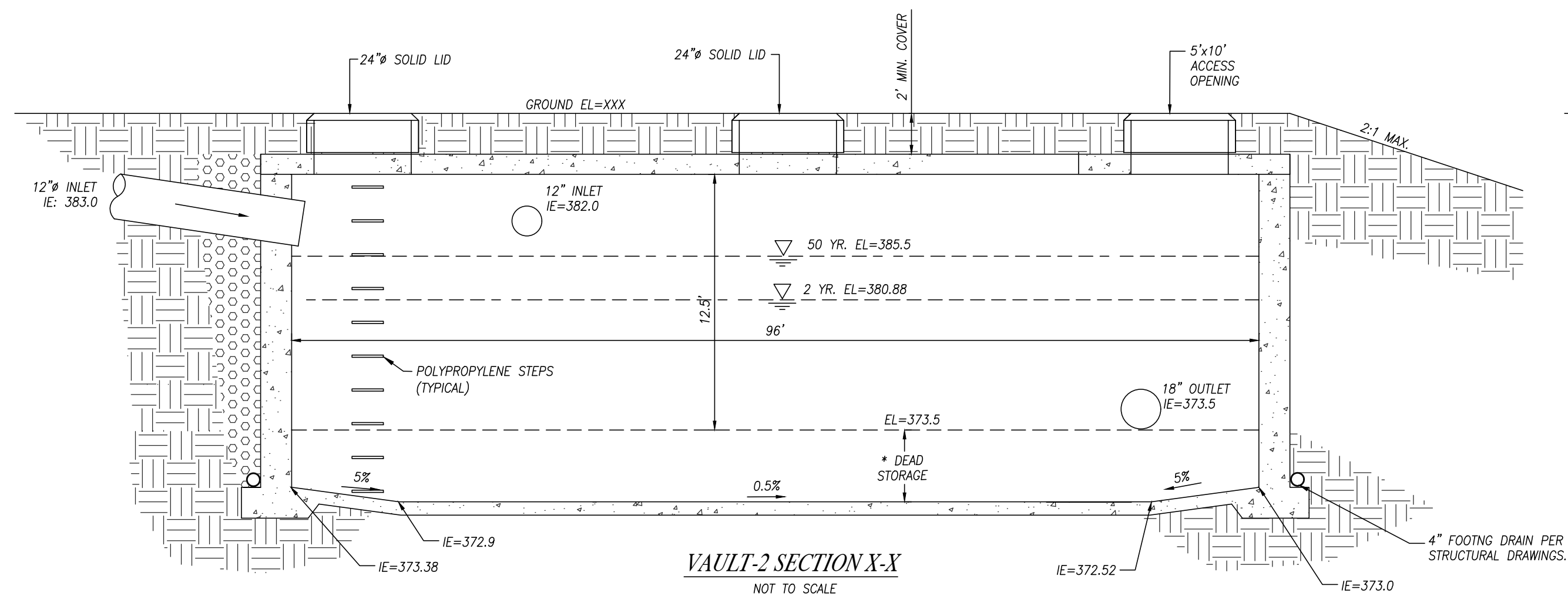
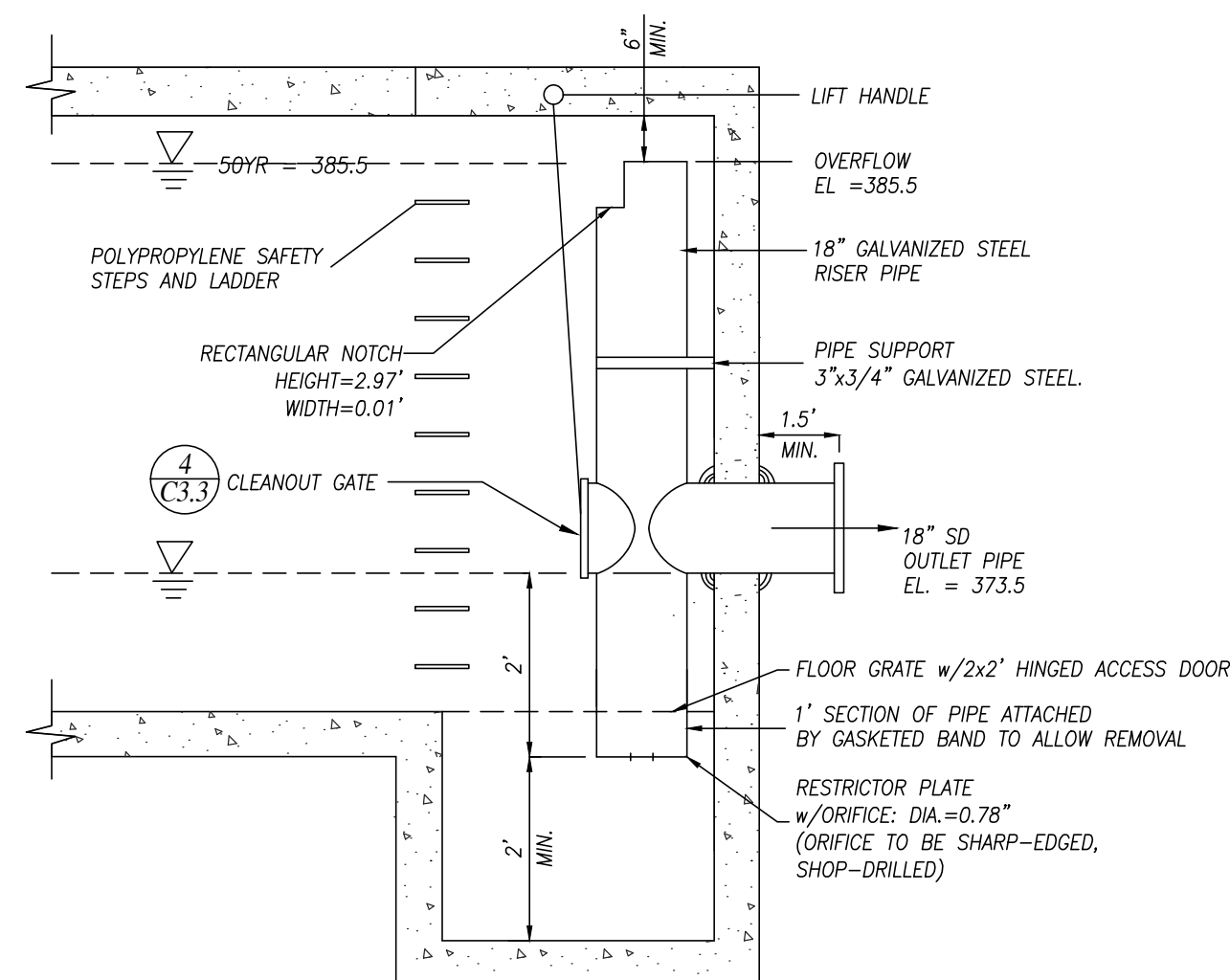
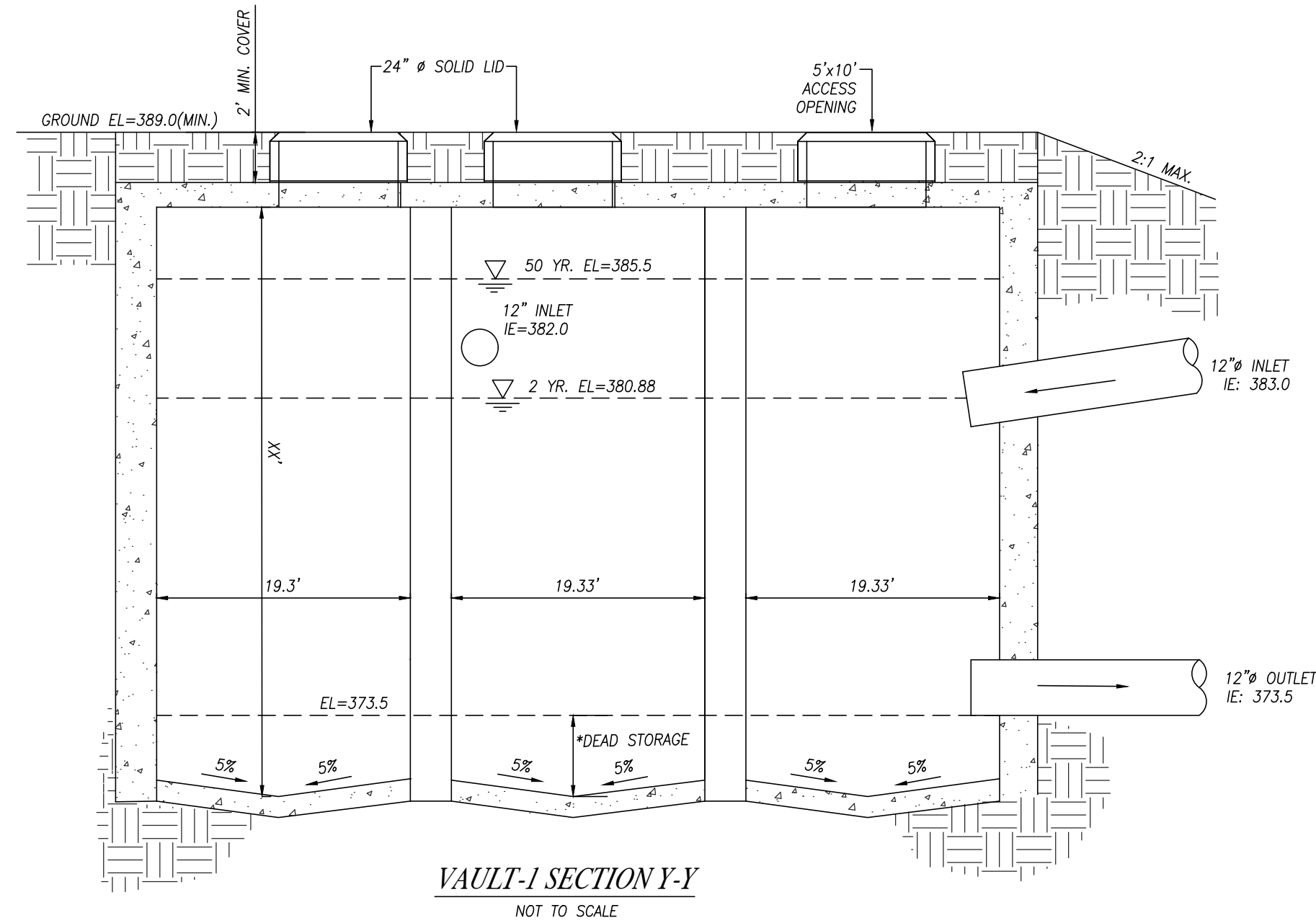
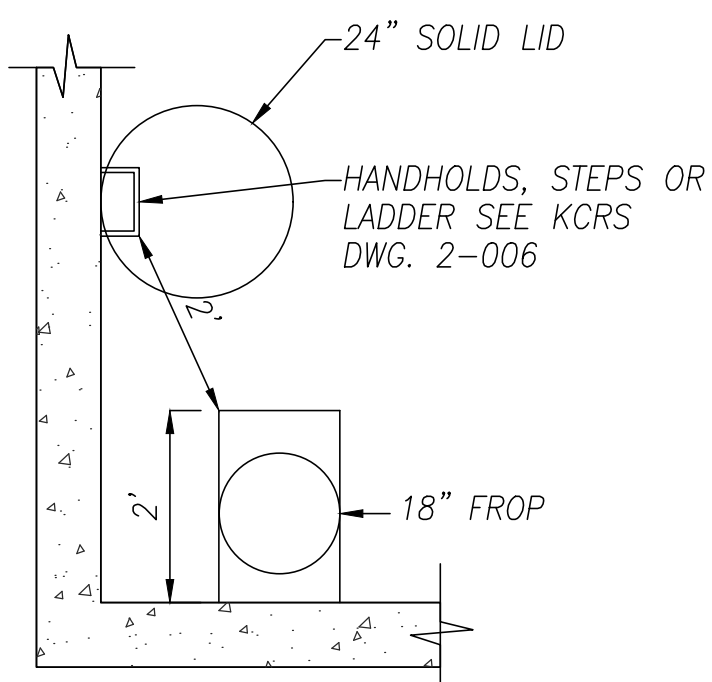
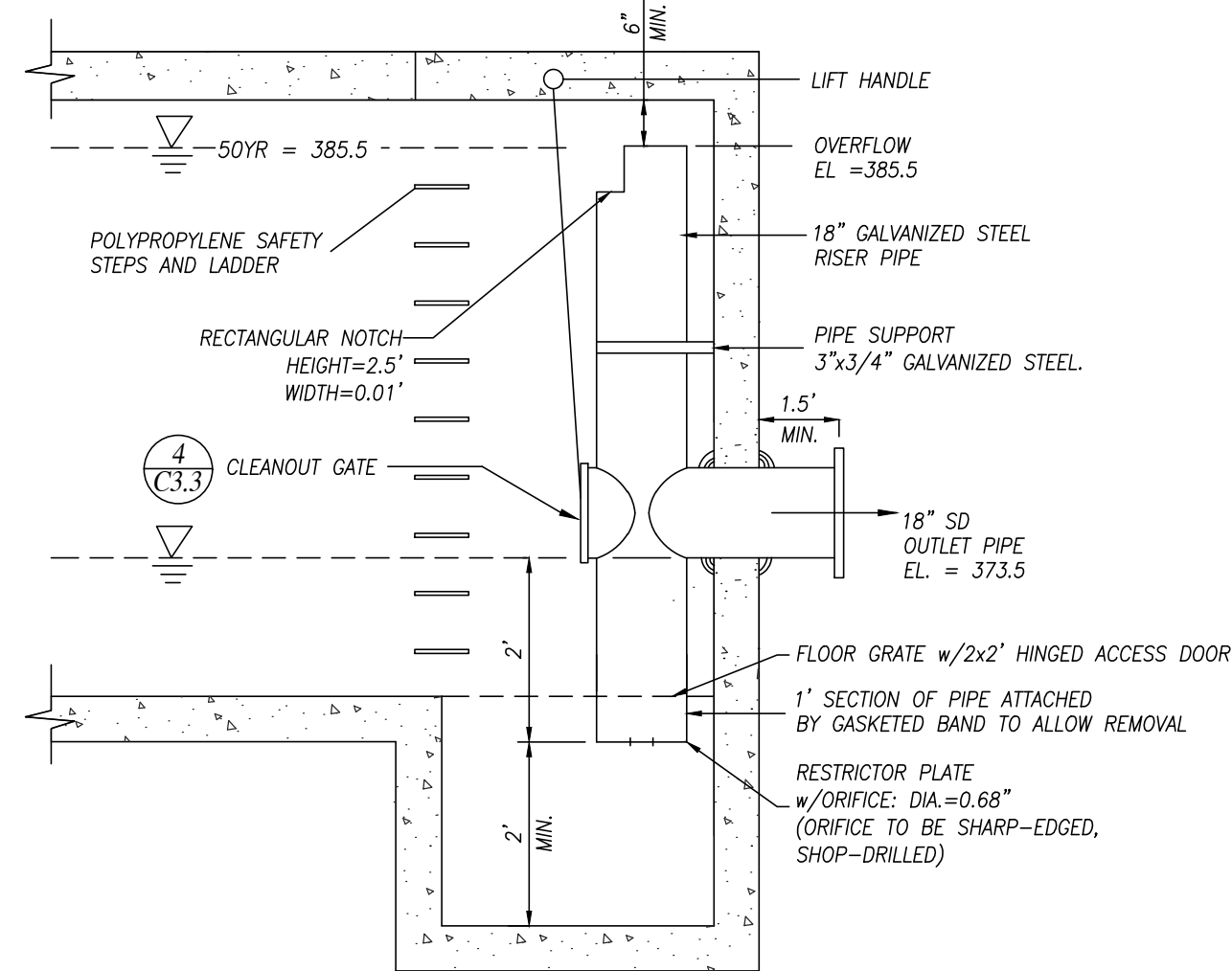
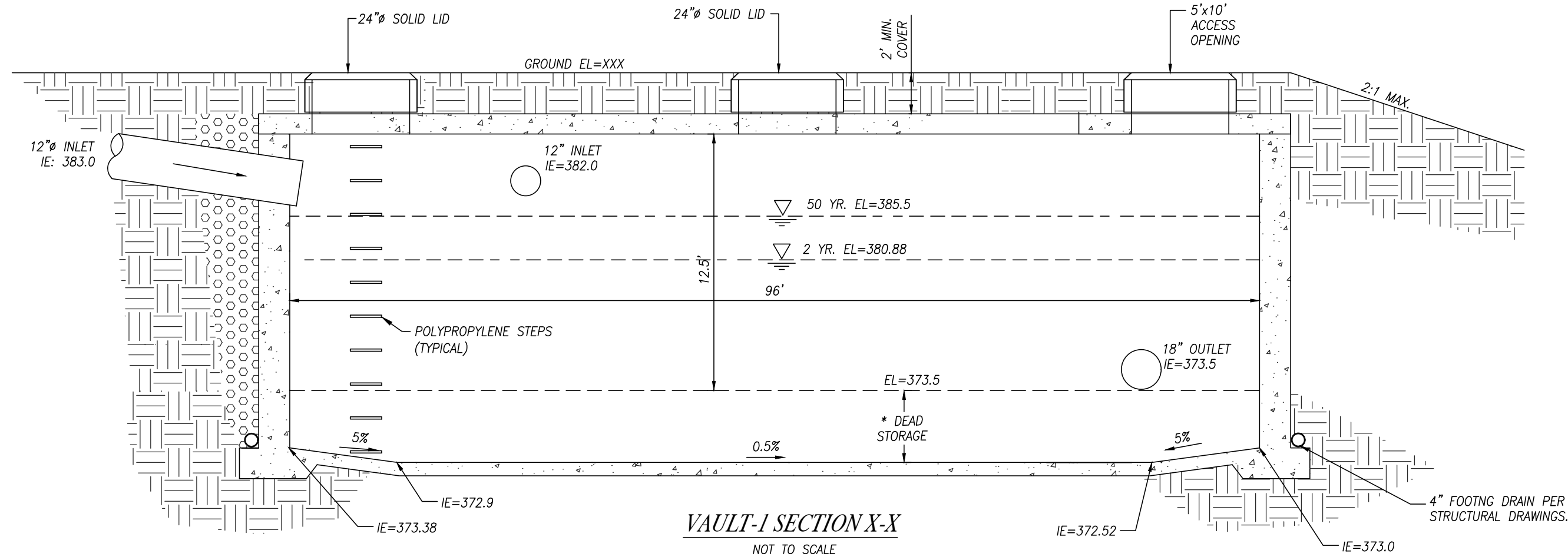
SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



SCALE: 1" = 20'



EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 22 NORTH, RANGE 4 EAST W.M.

**BM**  
BUREN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

**ENGINEER**  
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TAX ACCOUNT NO.'S: 3445000090

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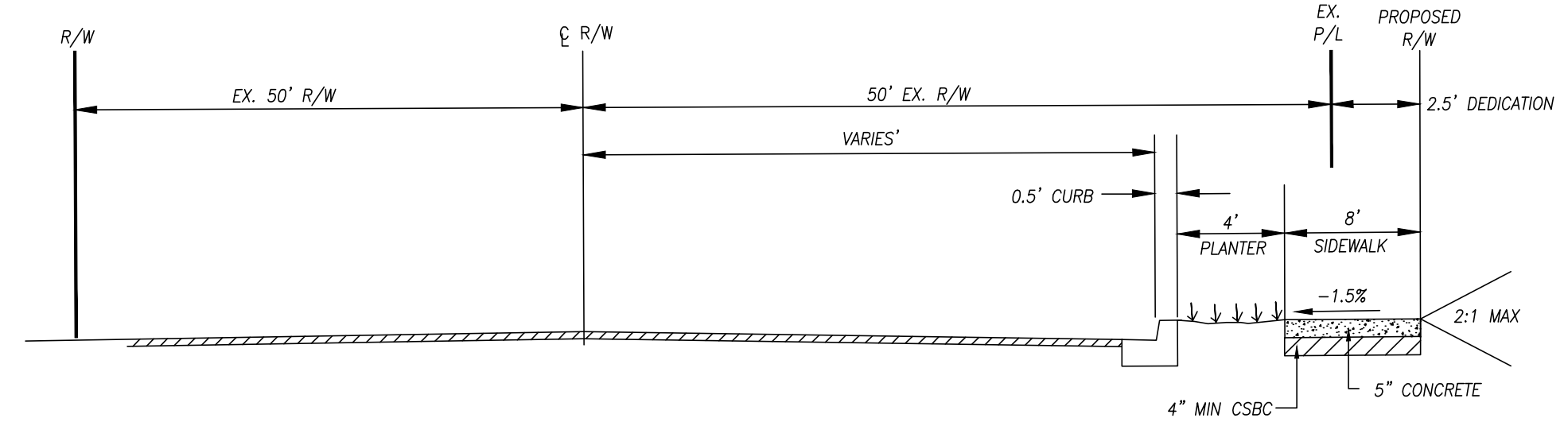
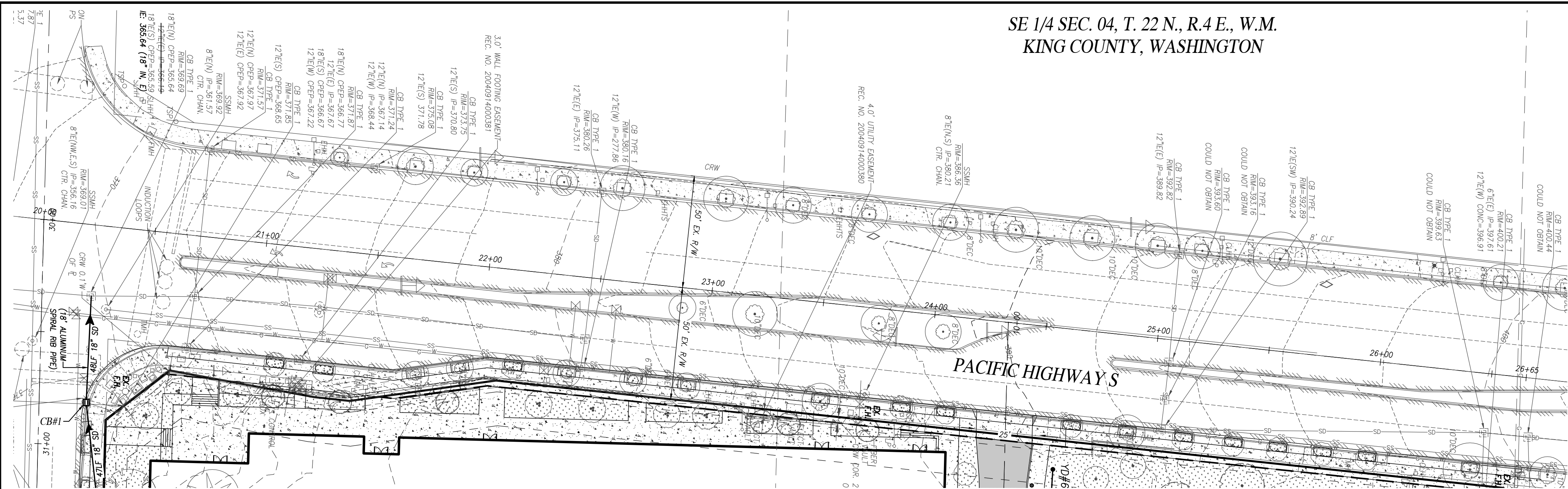
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DETENTION PLAN AND DETAILS				C3.3

SEATAC APARTMENTS

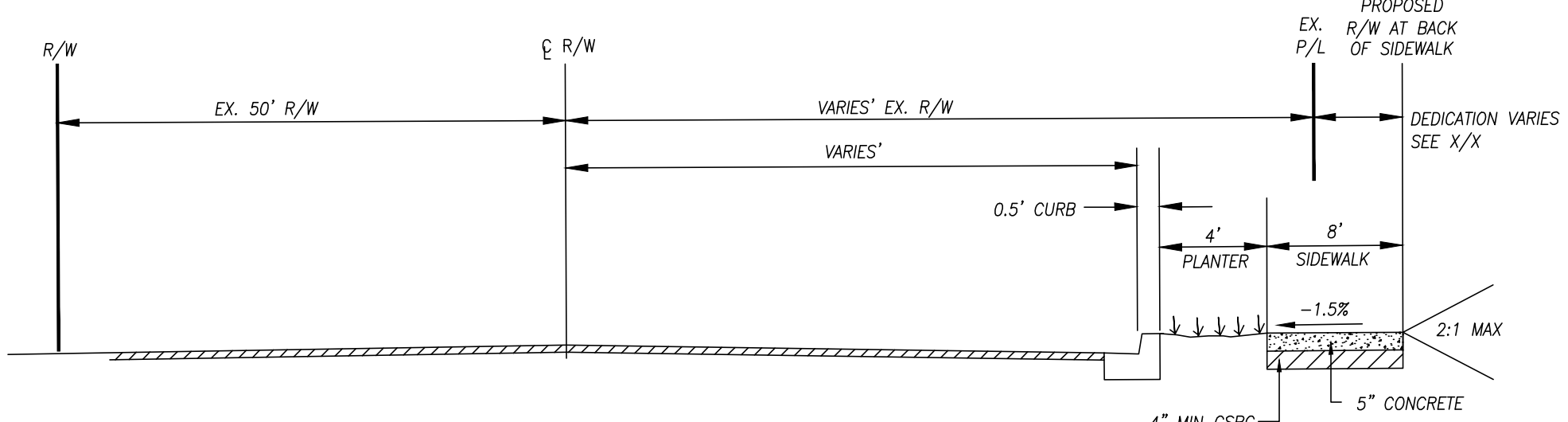




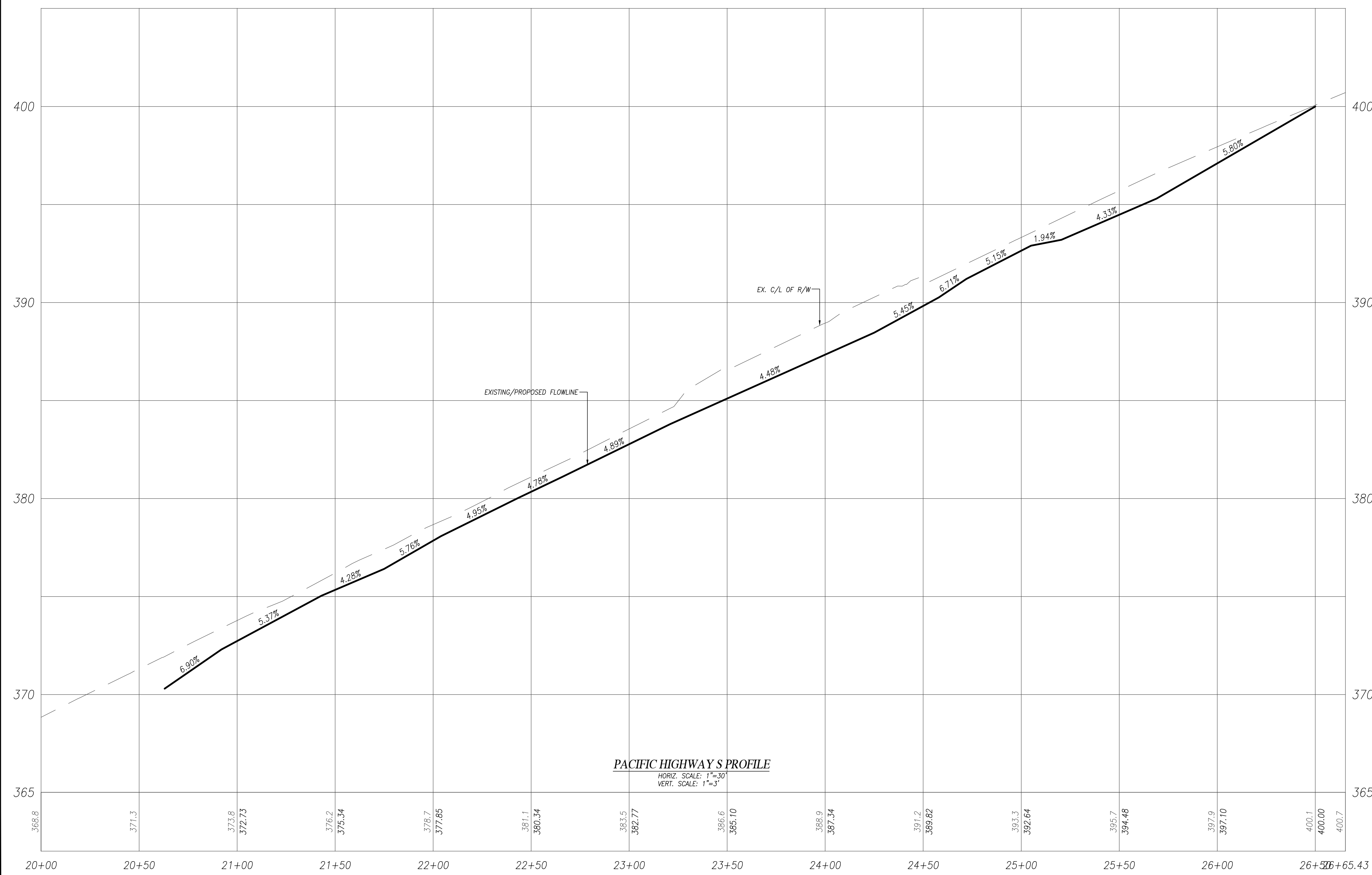
SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



1 PACIFIC HIGHWAY S  
C4.0 (STA: 22+08.31 - STA: 26+60.39)  
NOT TO SCALE



2 PACIFIC HIGHWAY S  
C4.0 (STA: 20+60.39 - STA: 22+09.31)  
NOT TO SCALE



PACIFIC HIGHWAY S PROFILE  
HORIZ. SCALE: 1"=30'  
VERT. SCALE: 1"=3'

<b>ENGINEER</b> INSIGHT ENGINEERING COMPANY P.O. BOX 1478 EVERETT, WA 98208 CONTACT: BRIAN R. KALAB, P.E. PH: (425) 303-9363 EMAIL: INFO@INSIGHTENGINEERING.NET	<b>SURVEYOR</b> NORTH PEAK ASSOCIATES, LLC 17270 WOODINVILLE-REDMOND RD NE STE. 205 WOODINVILLE, WA 98072 PHONE: (206) 601-4682 EMAIL: CHARLIE@NPMARCH.COM
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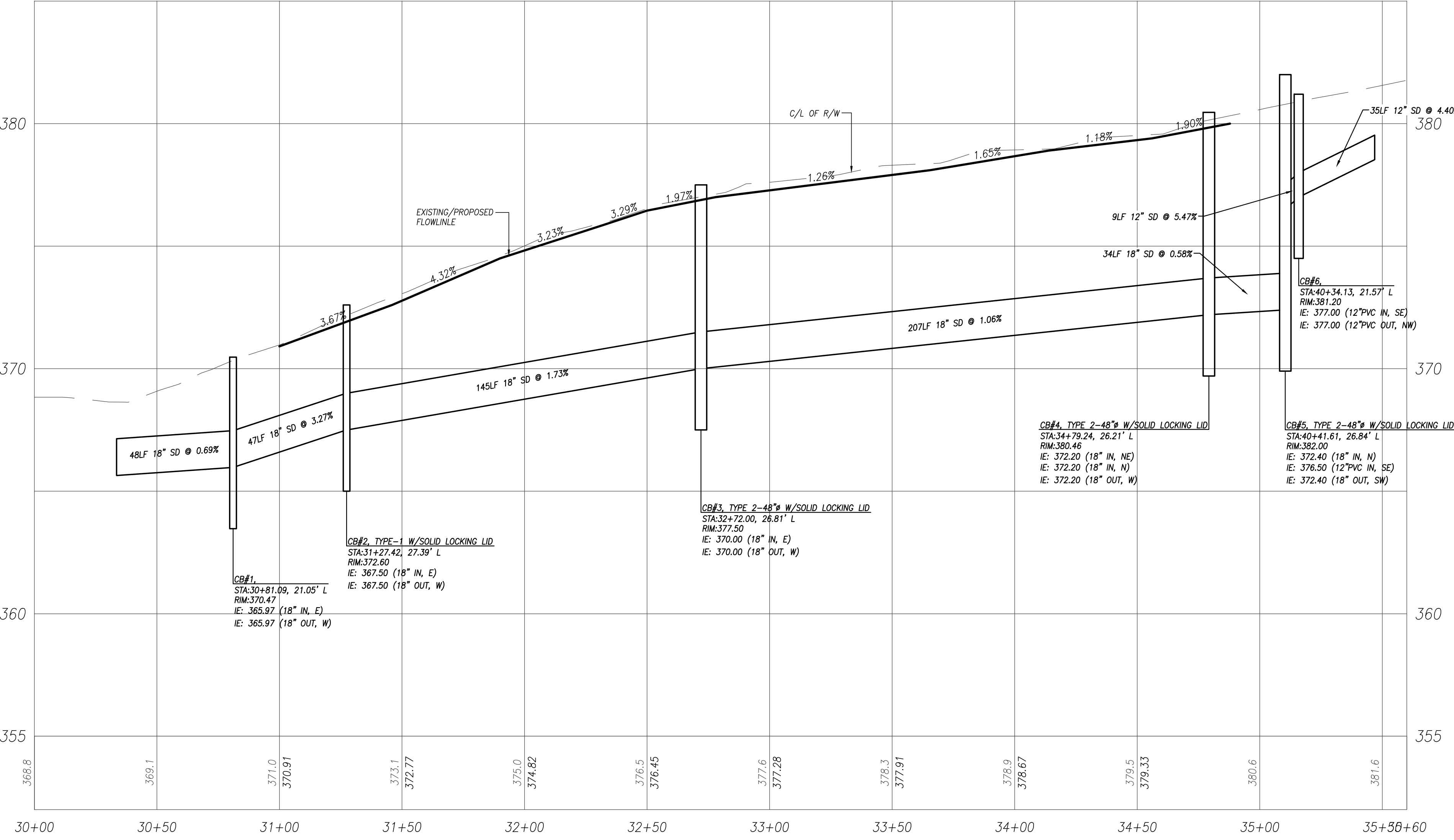
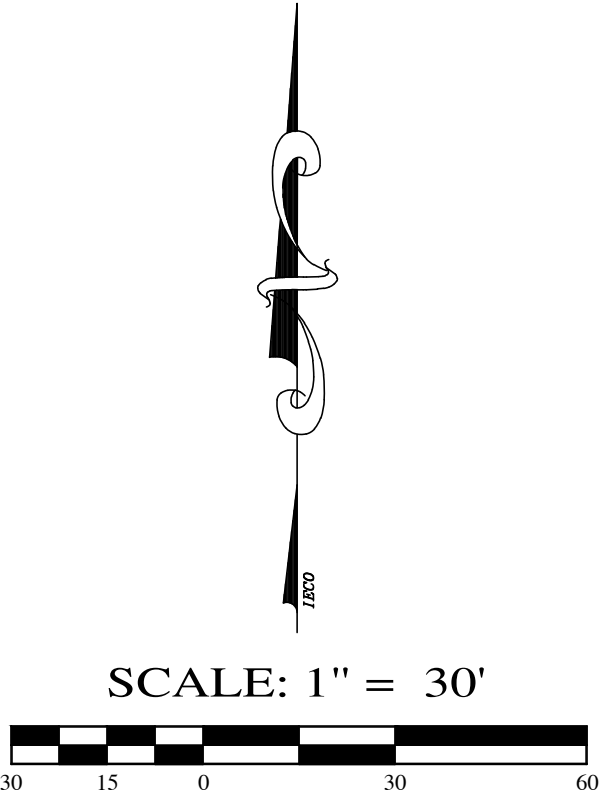
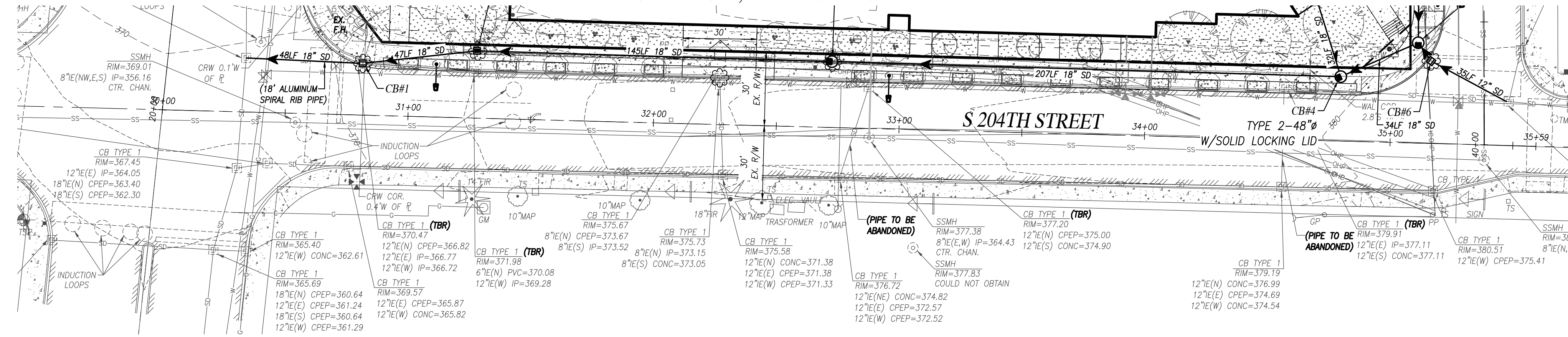
DWG FILENAME: 221230-FINAL.DWG  
DESIGNED BY: SPC  
DATE: 12-16-2022  
SCALE: 1"=30'  
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FRONTAGE PLAN AND PROFILE  
SHEET  
C4.0

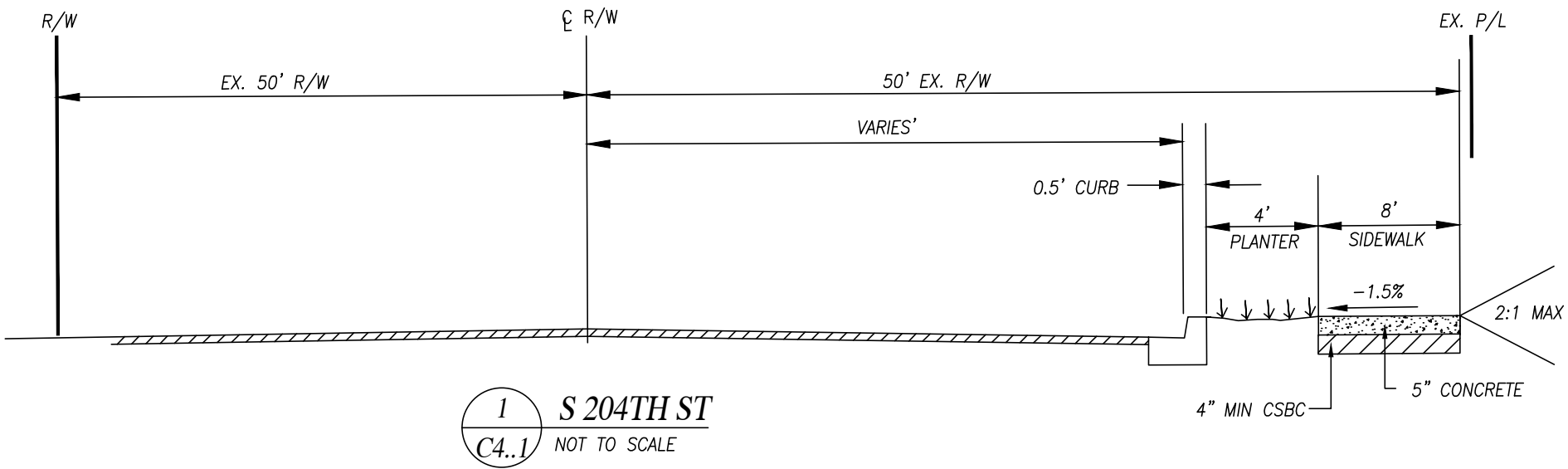
REV. NO.	DESCRIPTION	INITIALS	DATE



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



S 204TH ST PROFILE  
HORIZ. SCALE: 1"=30'  
VERT. SCALE: 1"=3'



SEATAC APARTMENTS

EQUIPMENT AND PROCEDURE

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SEATTLE, WA 98198

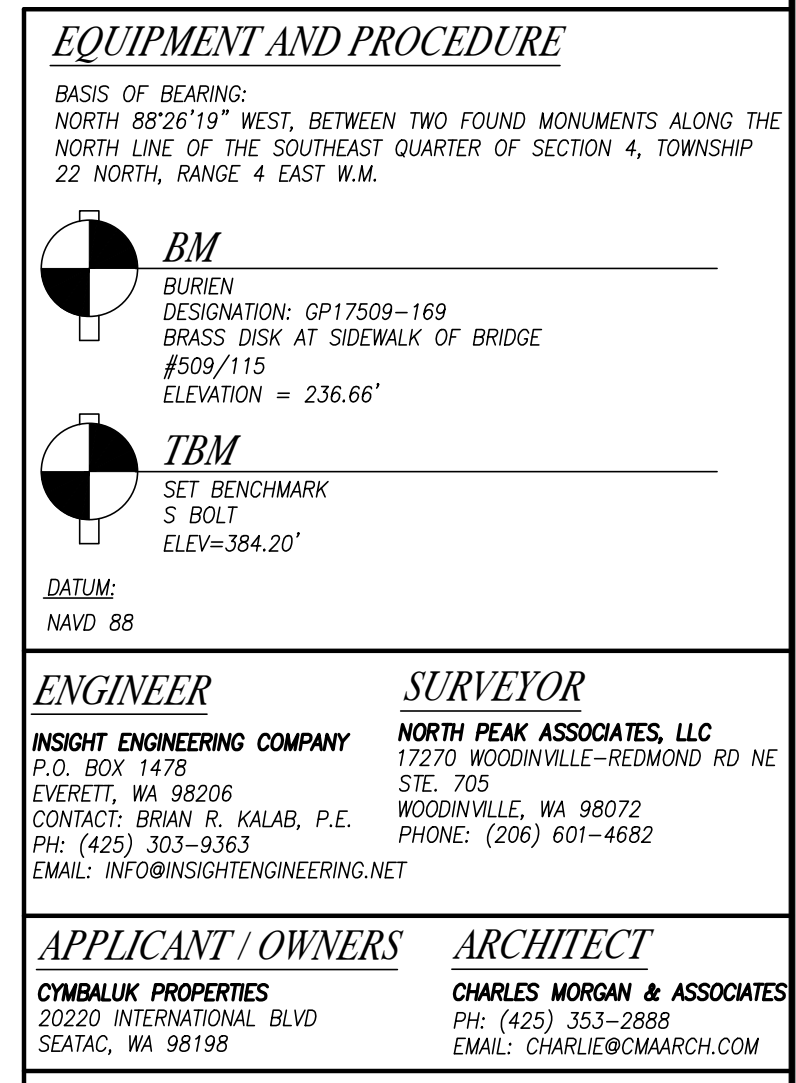
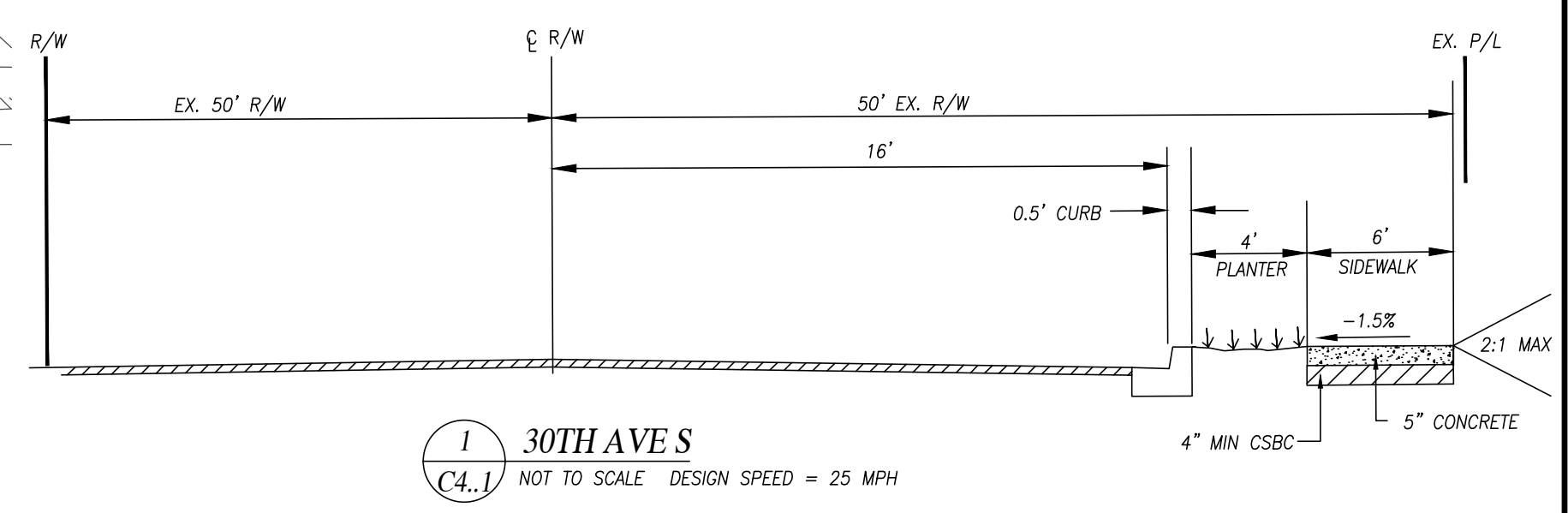
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
SEATAC APARTMENTS

DWG FILENAME: 221230-FINAL.DWG  
DESIGNED BY: SPC  
DATE: 12-16-2022  
SCALE: 1"=30'  
JOB NO.: 22-1230

FRONTAGE PLAN AND PROFILE  
SHEET  
C4.1





**LEGAL DESCRIPTION**

THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS, ACCORDING TO THE PLAN THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD NO. 1, CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NUMBER 2014205;

EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH 15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER 20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R. 4 E., W.M.  
**SEATAC APARTMENTS**

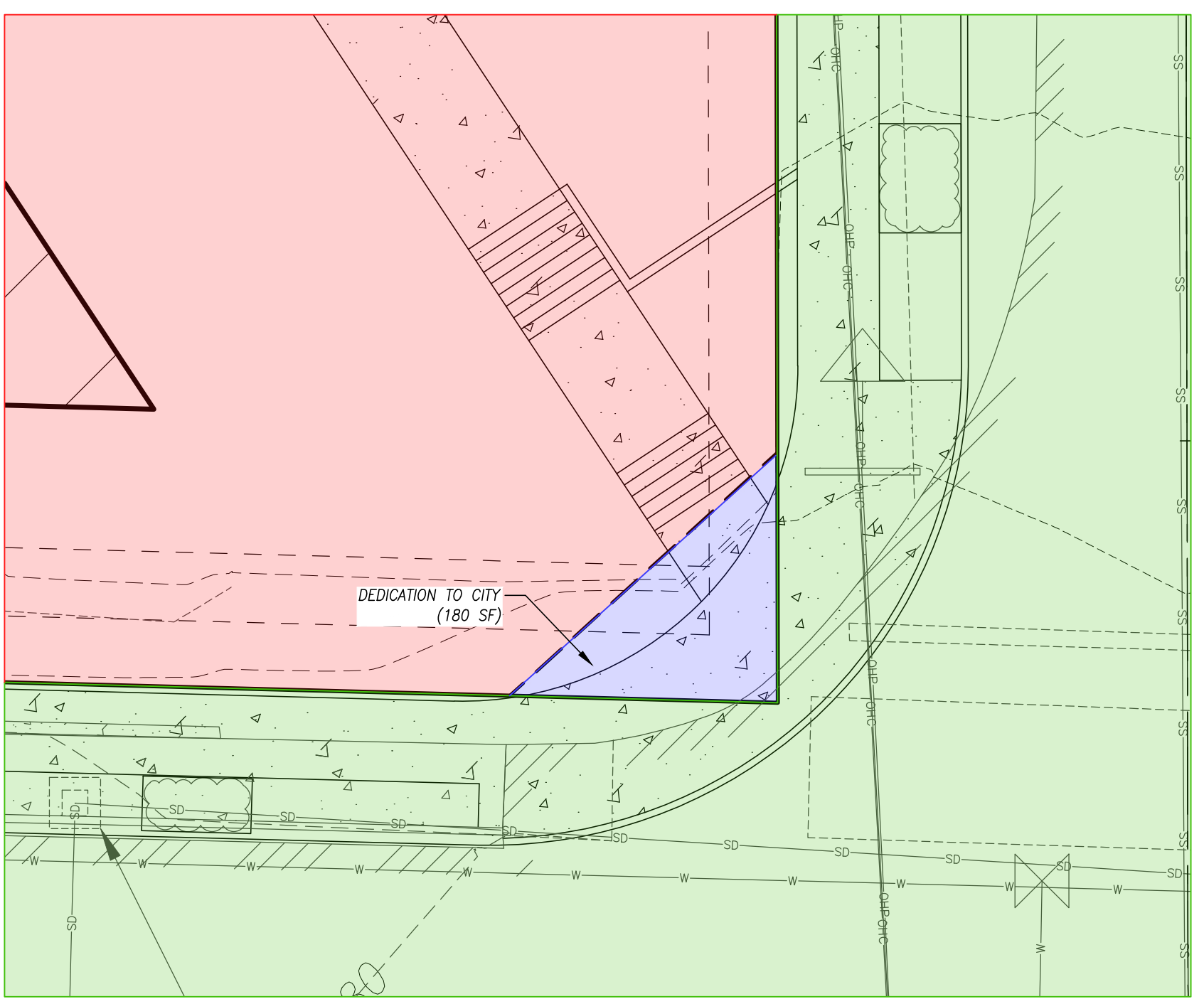
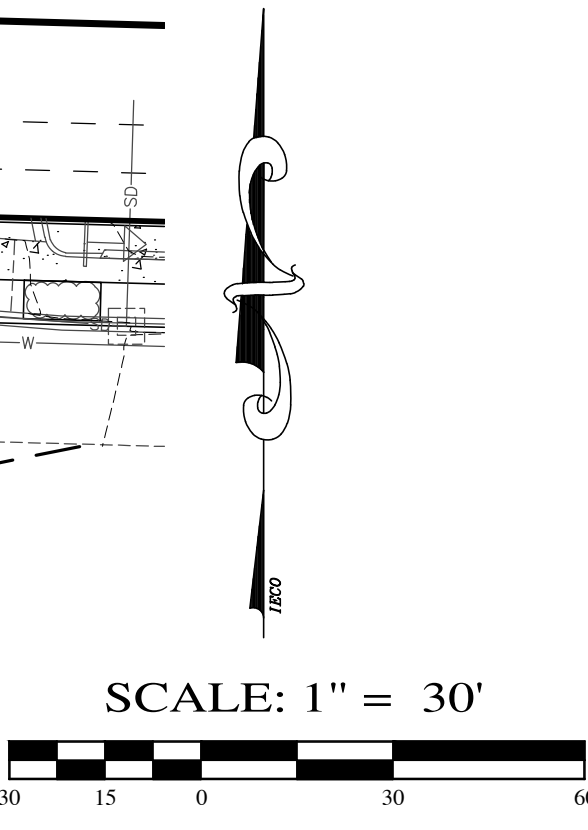
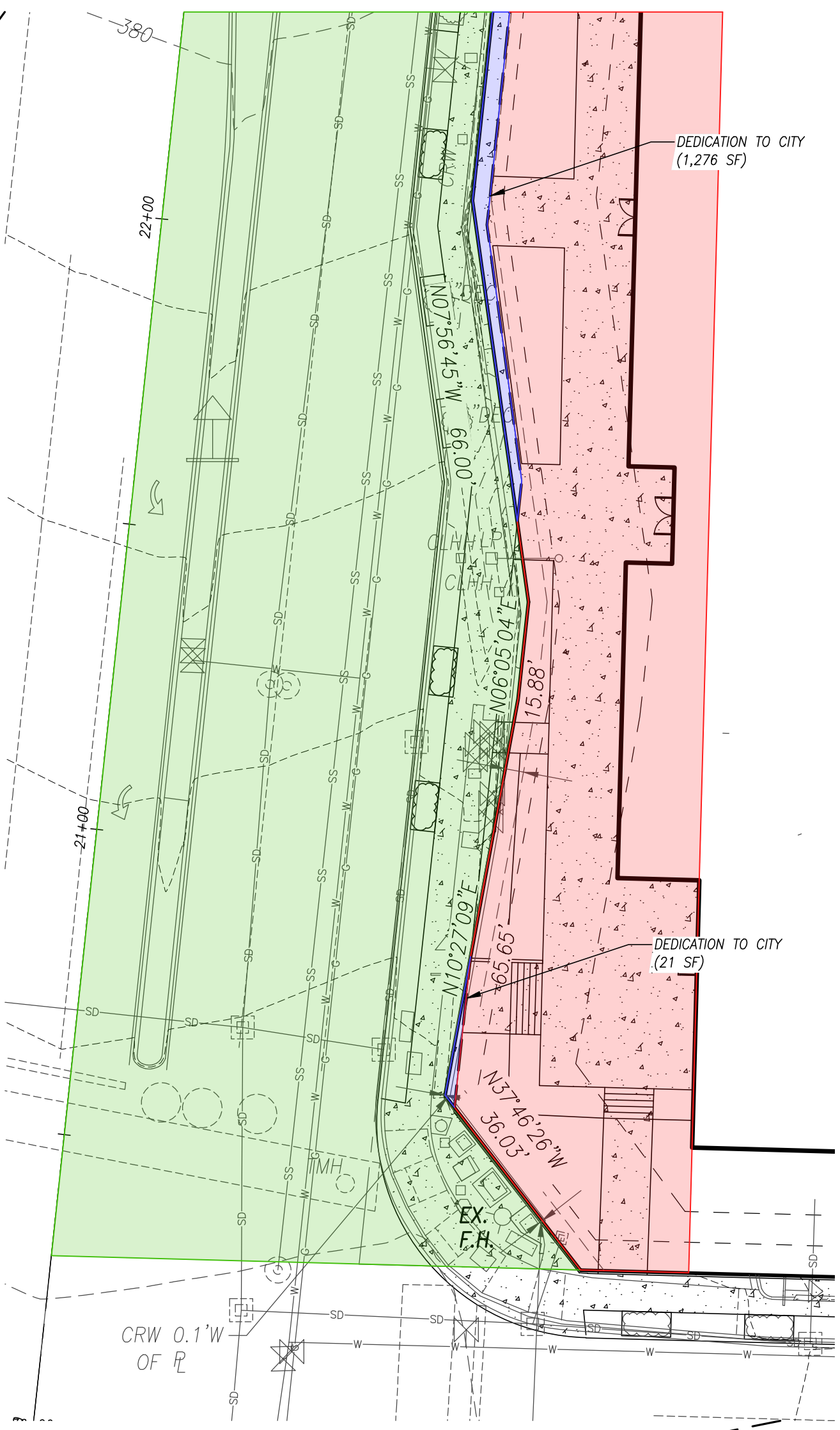
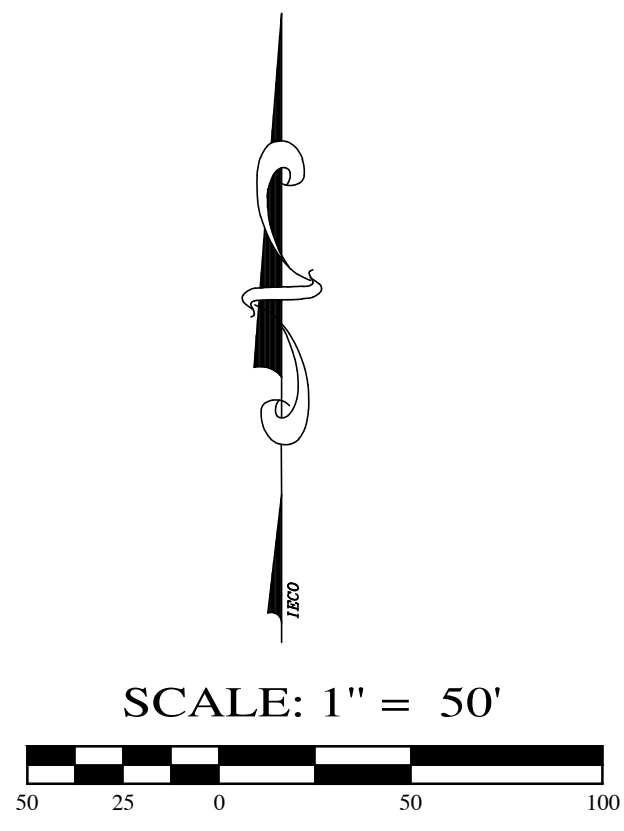
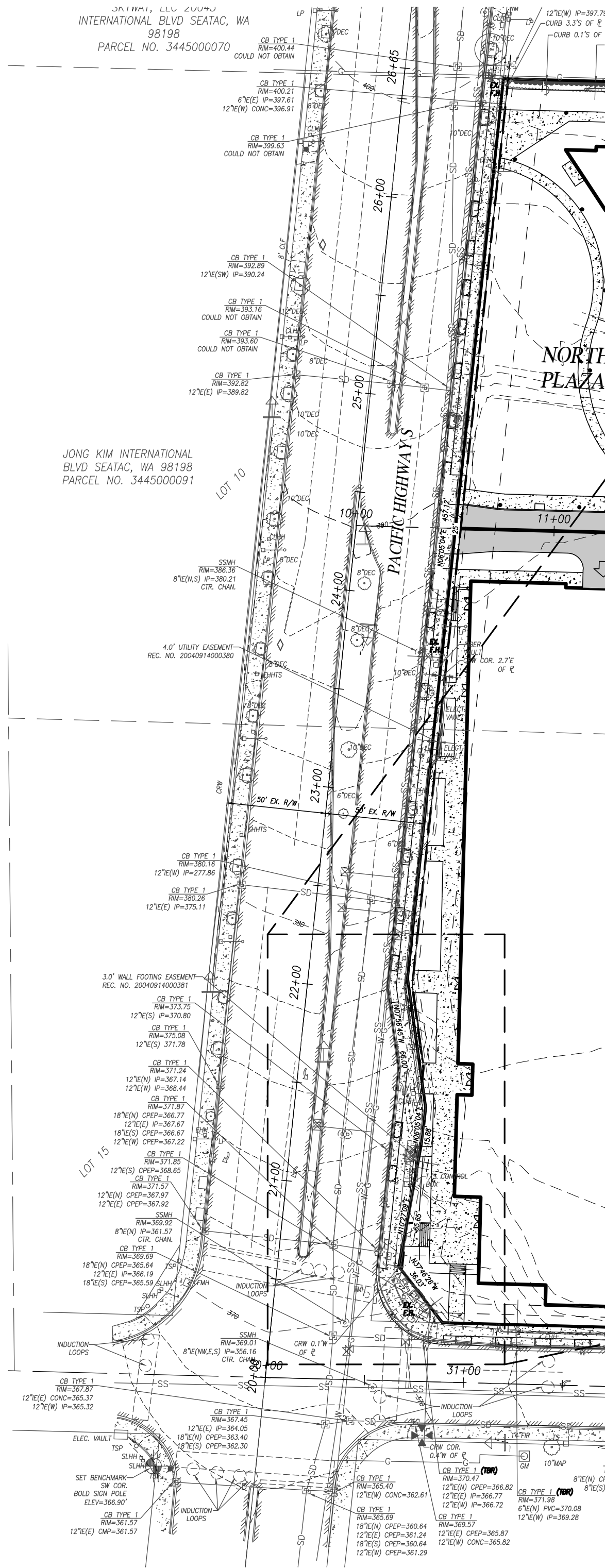
DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-FINAL.DWG	SPC	12-16-2022	1"=30'	22-1230

FRONTAGE PLAN AND PROFILE C4.2

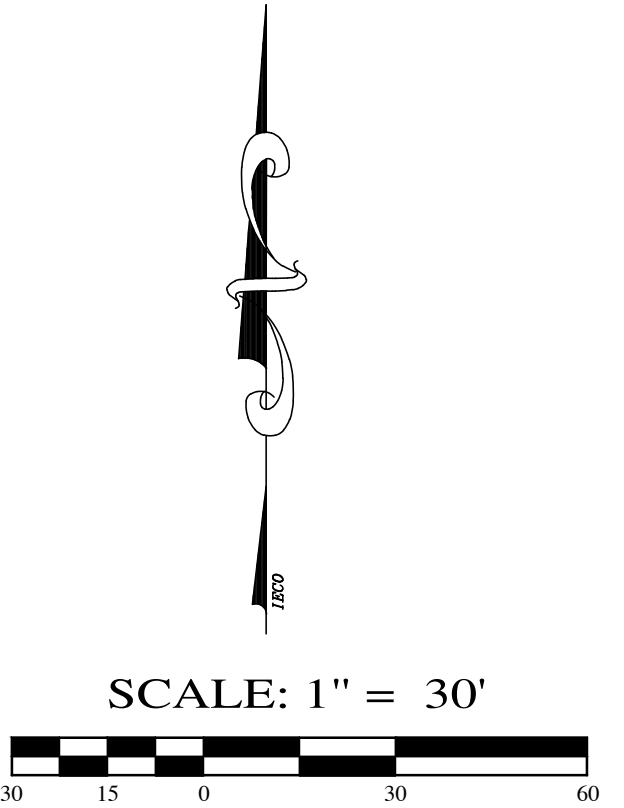
# SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



- LEGEND**
- PRIVATE PROPERTY
  - DEDICATED ROW
  - EXISTING ROW



**EQUIPMENT AND PROCEDURE**

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

**ENGINEER**  
INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98206  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

**SURVEYOR**  
NORTH PEAK ASSOCIATES, LLC  
17270 WOODINVILLE-REDMOND RD NE  
STE. 205  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

**APPLICANT / OWNERS**  
CYMBALUK PROPERTIES  
20220 INTERNATIONAL BLVD  
SEATAC, WA 98198

**ARCHITECT**  
CHARLES MORGAN & ASSOCIATES  
PH: (425) 353-2888  
EMAIL: CHARLIE@CMARCH.COM

**DEVELOPER**  
SYNERGY CONSTRUCTION, INC.  
EMAIL: BRIAN@SYNERGYCONSTRUCTION.COM

**LEGAL DESCRIPTION**  
THAT PORTION OF LOTS 10 AND 15, HOMESTEAD PARK 5-ACRE TRACTS,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS,  
PAGE 88, IN KING COUNTY, WASHINGTON, LYING EAST OF STATE ROAD  
NO. 1, AS CONVEYED TO THE STATE OF WASHINGTON BY DEED  
RECORDED UNDER RECORDING NUMBER 2014205;  
EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF SEATAC  
PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
**SEATAC APARTMENTS**

DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-FINAL.DWG	SPC	12-16-2022	1"=30'	22-1230
ROW DEDICATION				SHEET C4.3

**NOTE:**  
PRIVATE PROPERTY LOCATED WITHIN THE PROPOSED FRONTAGE  
SIDEWALK AREA IS TO BE DEDICATED TO THE CITY. SEE  
EXHIBITS FOR MARKED AREAS.

REV. NO.	DESCRIPTION	INITIALS	DATE



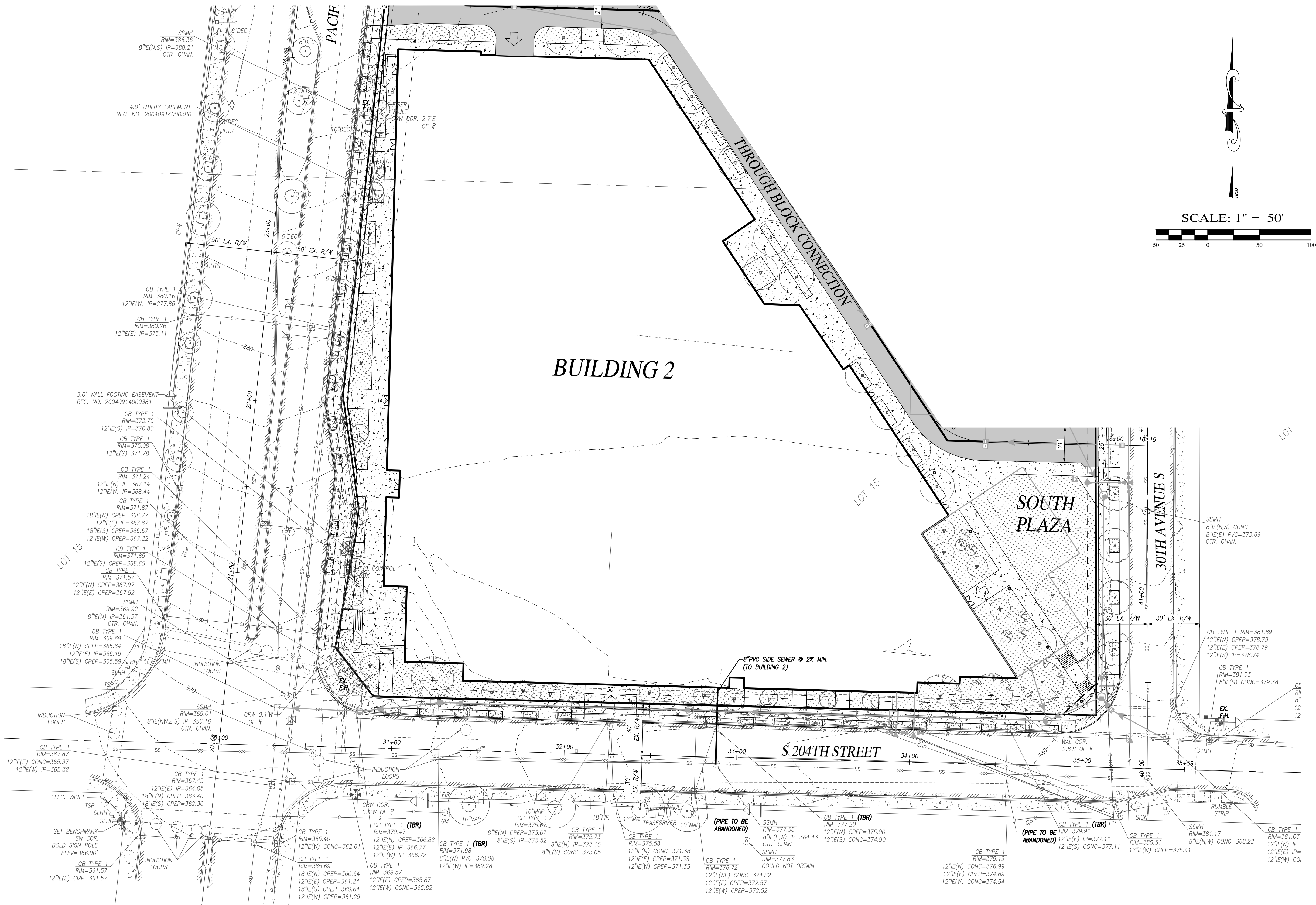
**SEATAC APARTMENTS**







SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



EQUIPMENT AND PROCEDURE

BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP  
22 NORTH, RANGE 4 EAST W.M.

**BM**  
BURIEN  
DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'

**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'

DATUM:  
NAVD 88

ENGINEER

INSIGHT ENGINEERING COMPANY  
P.O. BOX 1478  
EVERETT, WA 98208  
CONTACT: BRIAN R. KALAB, P.E.  
PH: (425) 303-9363  
EMAIL: INFO@INSIGHTENGINEERING.NET

SURVEYOR

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17270 WOODINVILLE-REDMOND RD NE  
STE. 205  
WOODINVILLE, WA 98072  
PHONE: (206) 601-4682

APPLICANT / OWNERS

CYMBALUK PROPERTIES  
20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198

ARCHITECT

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DEVELOPER

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15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
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20040914000379.



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SEATTLE, WA 98198

TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
SEATAC APARTMENTS

DWG FILENAME: 221230-FINAL.DWG  
DESIGNED BY: SPC  
DATE: 12-16-2022  
SCALE: 1"=50'  
JOB NO.: 22-1230

SEWER PLAN

SHEET  
C5.1

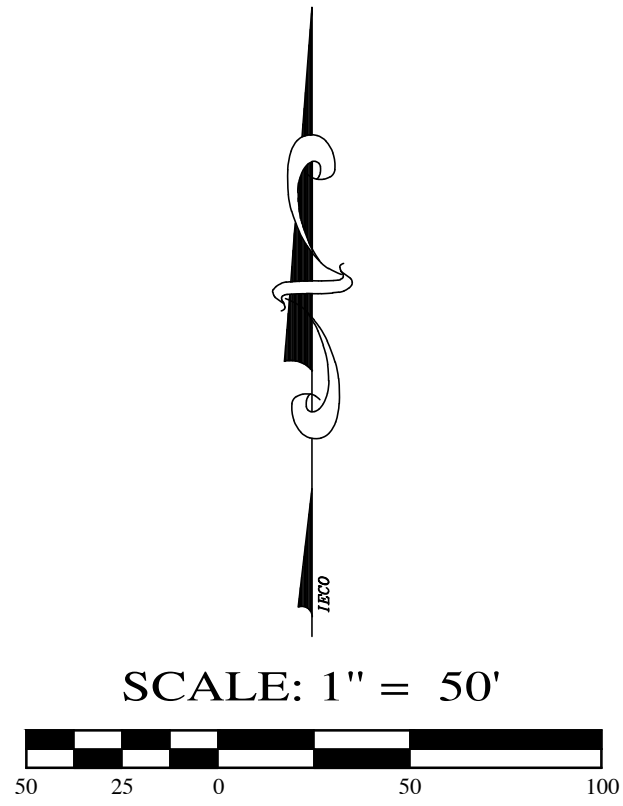
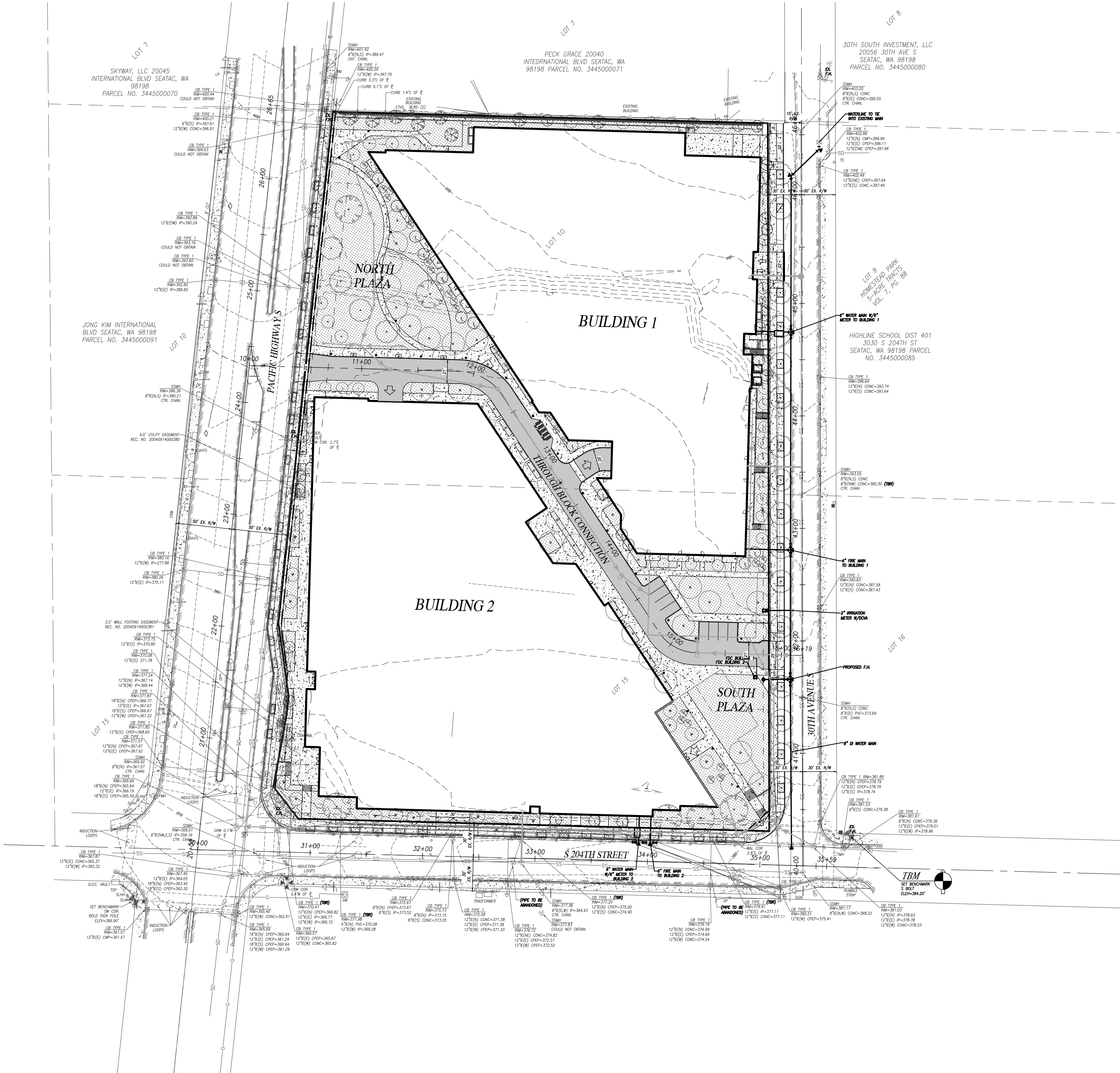


06/22/2023

SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



**EQUIPMENT AND PROCEDURE**  
BASIS OF BEARING:  
NORTH 88°26'19" WEST, BETWEEN TWO FOUND MONUMENTS ALONG THE  
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DESIGNATION: GP17509-169  
BRASS DISK AT SIDEWALK OF BRIDGE  
#509/115  
ELEVATION = 236.66'  
**TBM**  
SET BENCHMARK  
S BOLT  
ELEV=384.20'  
DATUM:  
NAVD 88

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**APPLICANT / OWNERS**  
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**ARCHITECT**  
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EMAIL: CHARLIE@CMARCH.COM

**DEVELOPER**  
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EMAIL: BRIAN@SYNERGYCONSTRUCTION.COM

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RECORDED UNDER RECORDING NUMBER 20142205;  
EXCEPT THE EAST 15 FEET OF SAID LOTS 10 AND 15 AND THE SOUTH  
15 FEET OF LOT 15 CONVEYED TO KING COUNTY FOR ROAD PURPOSES  
BY DEED RECORDED UNDER RECORDING NUMBER 5086651; AND  
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PURSUANT TO THE DEED RECORDED UNDER RECORDING NUMBER  
20040914000379.



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SITE ADDRESS: 20220 INTERNATIONAL BLVD  
SEATTLE, WA 98198  
TAX ACCOUNT NO.'S: 3445000090

SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
**SEATAC APARTMENTS**

DWG FILENAME	DESIGNED BY:	DATE:	SCALE:	JOB NO.:
221230-FINAL.DWG	SPC	12-16-2022	1"=50'	22-1230
SHEET				C6.0
WATER PLAN				

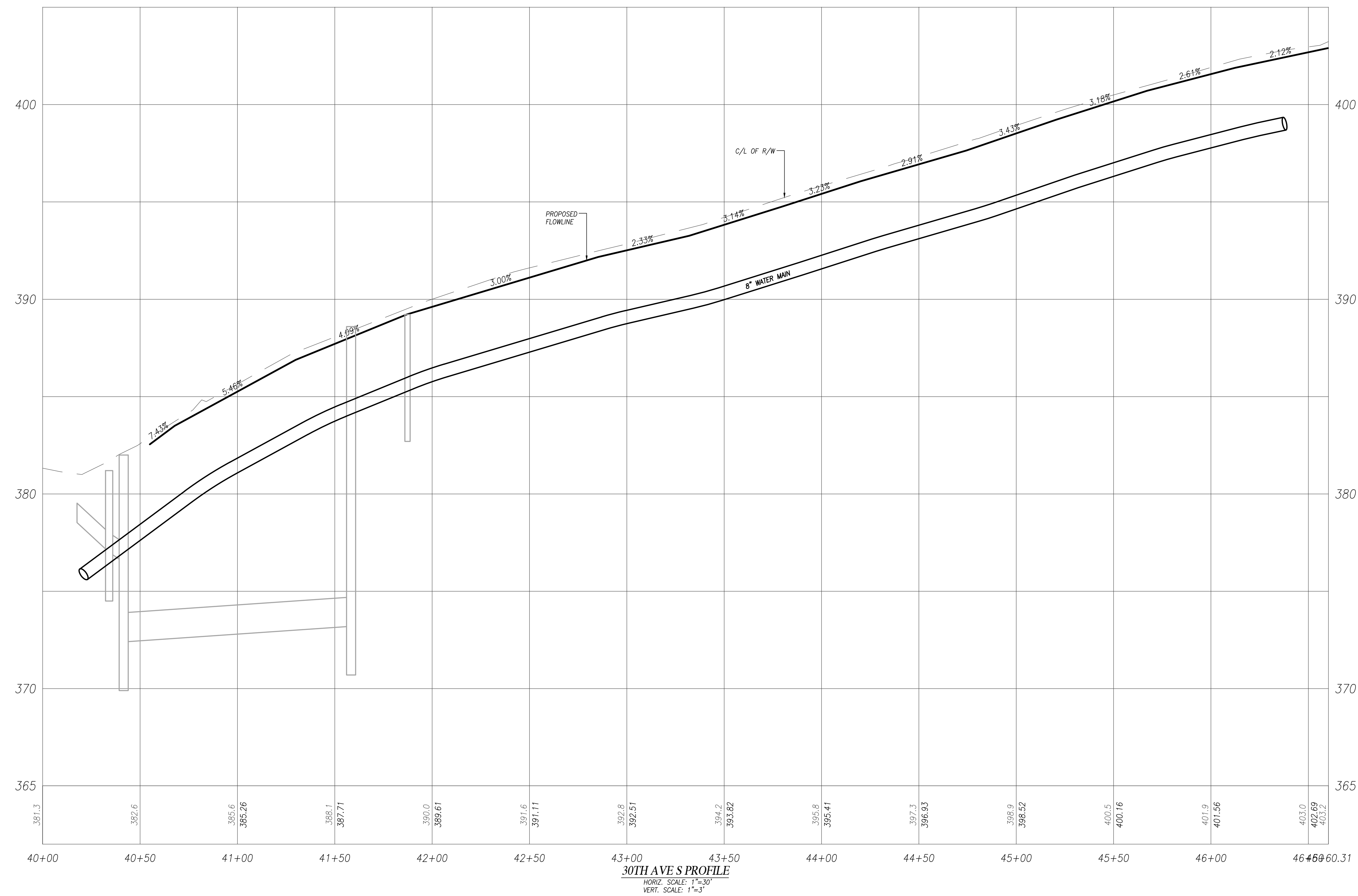
REV. NO.	DESCRIPTION	INITIALS	DATE

06/22/2023

SEATAC APARTMENTS



SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M.  
KING COUNTY, WASHINGTON



SEATAC APARTMENTS

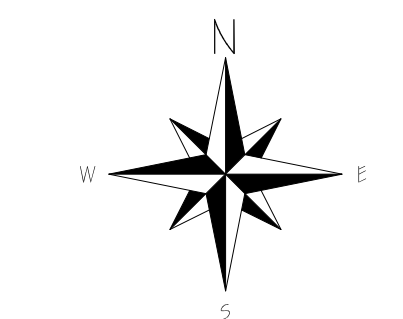
REV. NO.	DESCRIPTION	INITIALS	DATE

06/22/2023

**INSIGHT ENGINEERING CO.**  
P.O. BOX - 1478  
EVERETT, WA 98206  
(425) 303-9363 (425) 303-9362 FAX  
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 20220 INTERNATIONAL BLVD SEATTLE, WA 98198	
TAX ACCOUNT NO.'S: 3445000090	
SE 1/4 SEC. 04, T. 22 N., R.4 E., W.M. SEATAC APARTMENTS	
DWG FILENAME: 221230-FINAL.DWG	DESIGNED BY: SPC
DATE: 12-16-2022	SCALE: 1"=30'
JOB NO.: 22-1230	SHEET C6.1
WATER PROFILE	





**A1.00**

PROJECT CYMBALUK PROPERTIES  
LOCATION 20220 INTERNATIONAL E  
OWNER CYMBALUK PROPERTIES,  
DEVELOPER  
SYNERGY CONSTRUCTION

PRELIMINARY SITE PLAN REVIEW RESPONSE - 30 JUNE 23

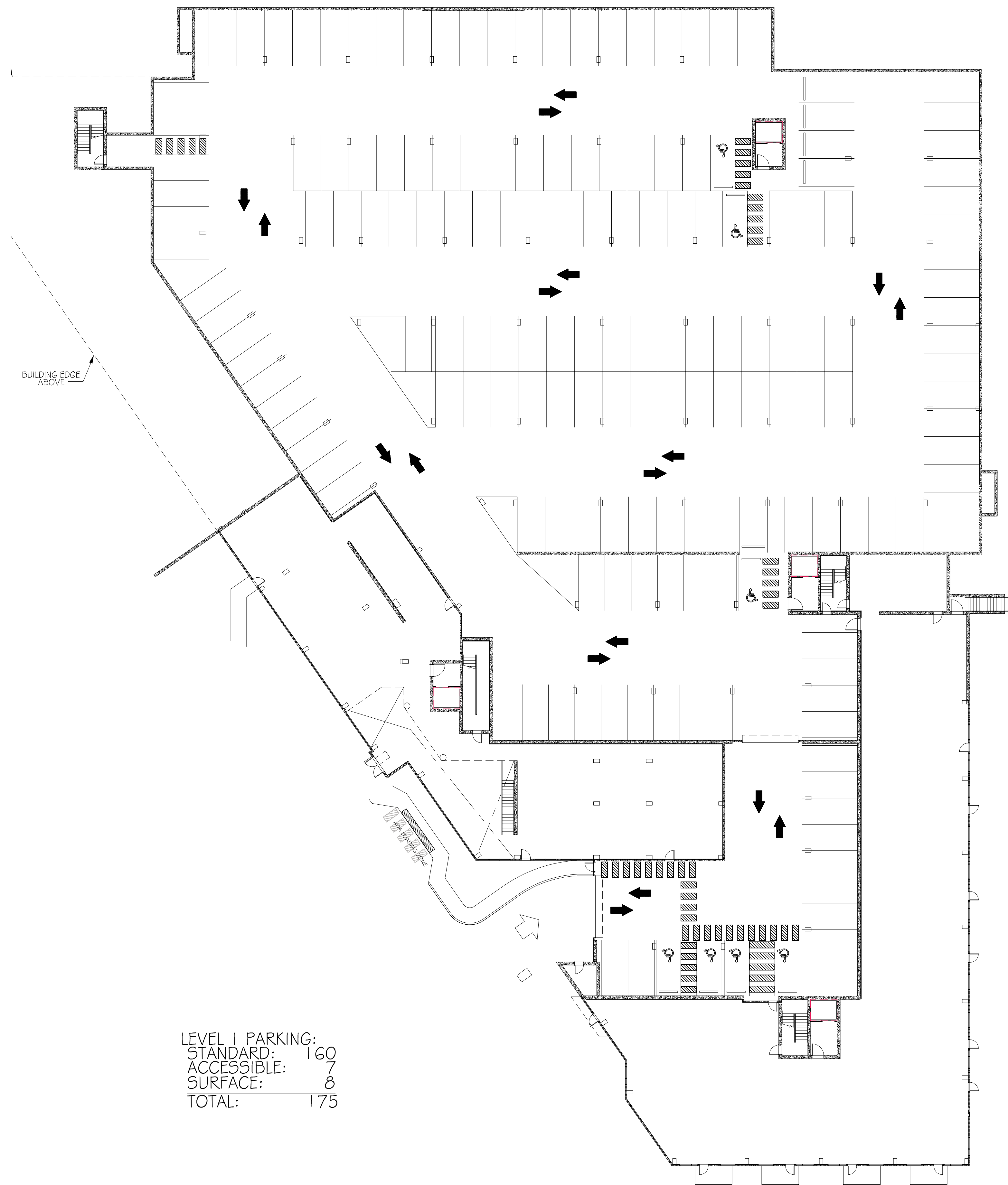
DATE	30 JUNE 23
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RESUBMIT	
RESUBMIT	

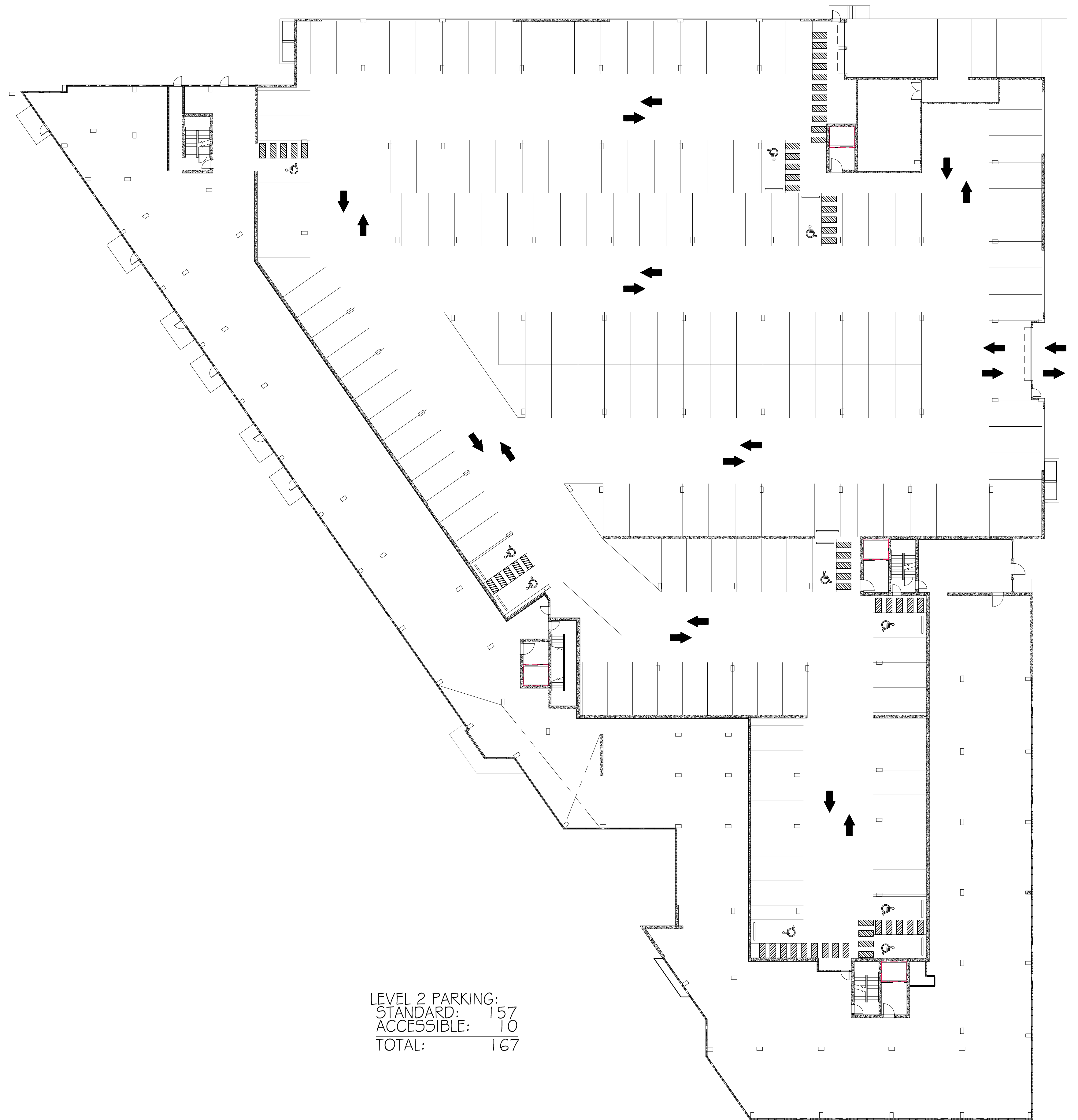
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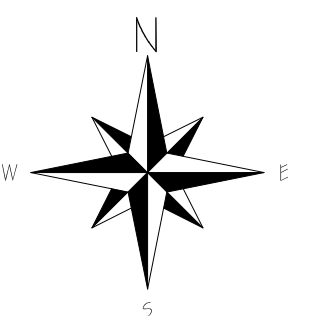




LEVEL #1



LEVEL #2



BLDG #1  
PARKING PLAN  
SCALE 1" = 20'-0"

PROJECT  
CYMBALUK PROPERTIES  
LOCATION  
20220 INTERNATIONAL BLVD., SEATAC WA 98198  
OWNER  
CYMBALUK PROPERTIES, LLC  
DEVELOPER  
SYNERGY CONSTRUCTION, INC. (CONTACT BRIAN@SYNERGYCONSTRUCTION.COM)

PRELIMINARY SITE PLAN REVIEW RESPONSE - 30 JUNE 23

REGISTERED ARCHITECT  
Charles E. Morgan  
CHARLES E. MORGAN  
STATE OF WASHINGTON

DATE 30 JUNE 23  
RESUBMIT  
RESUBMIT

SHEET  
A1.2.1

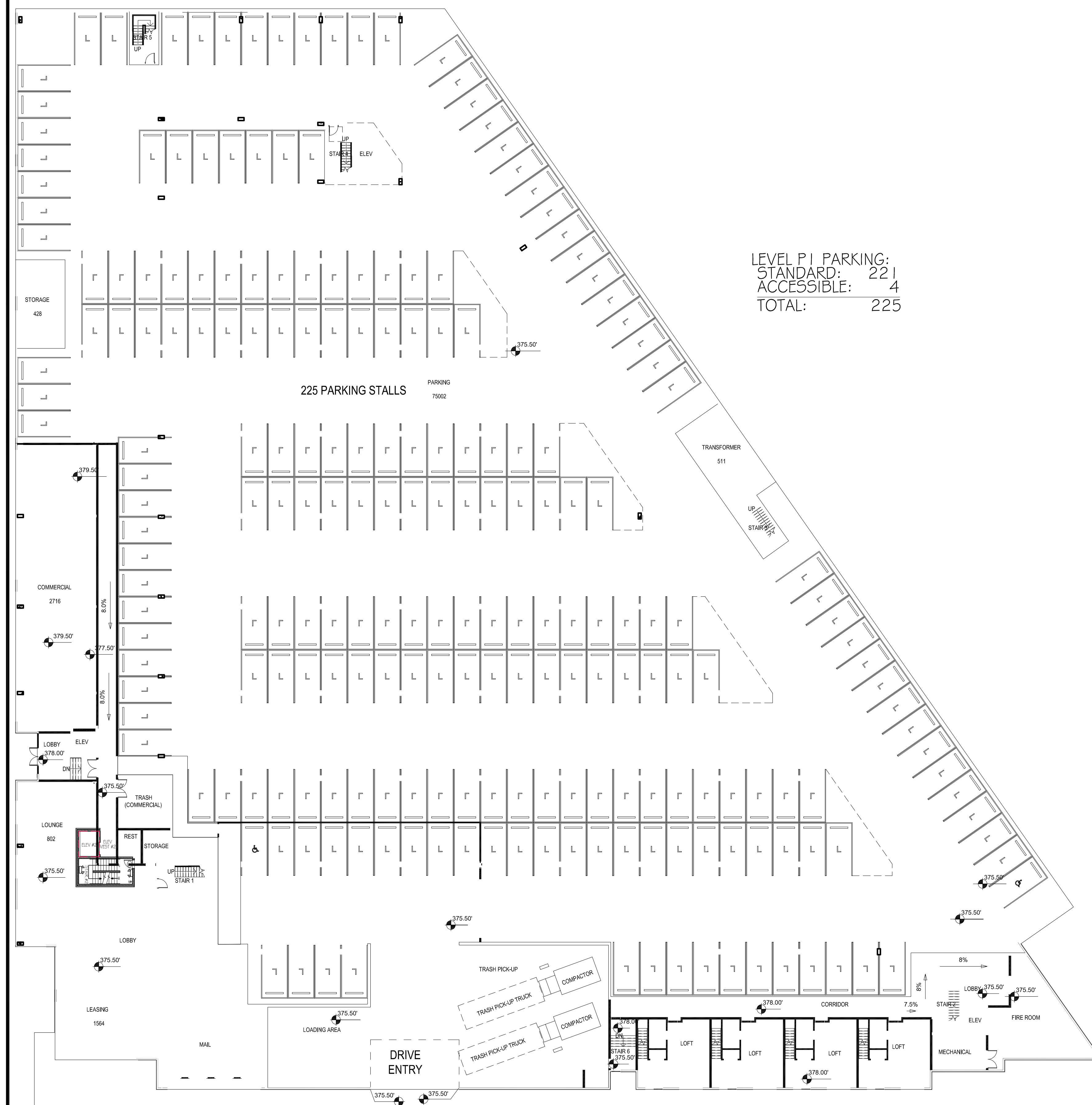
CHARLES MORGAN & ASSOCIATES, LLC

7301 BEVERLY LANE  
EVERETT, WA 98203

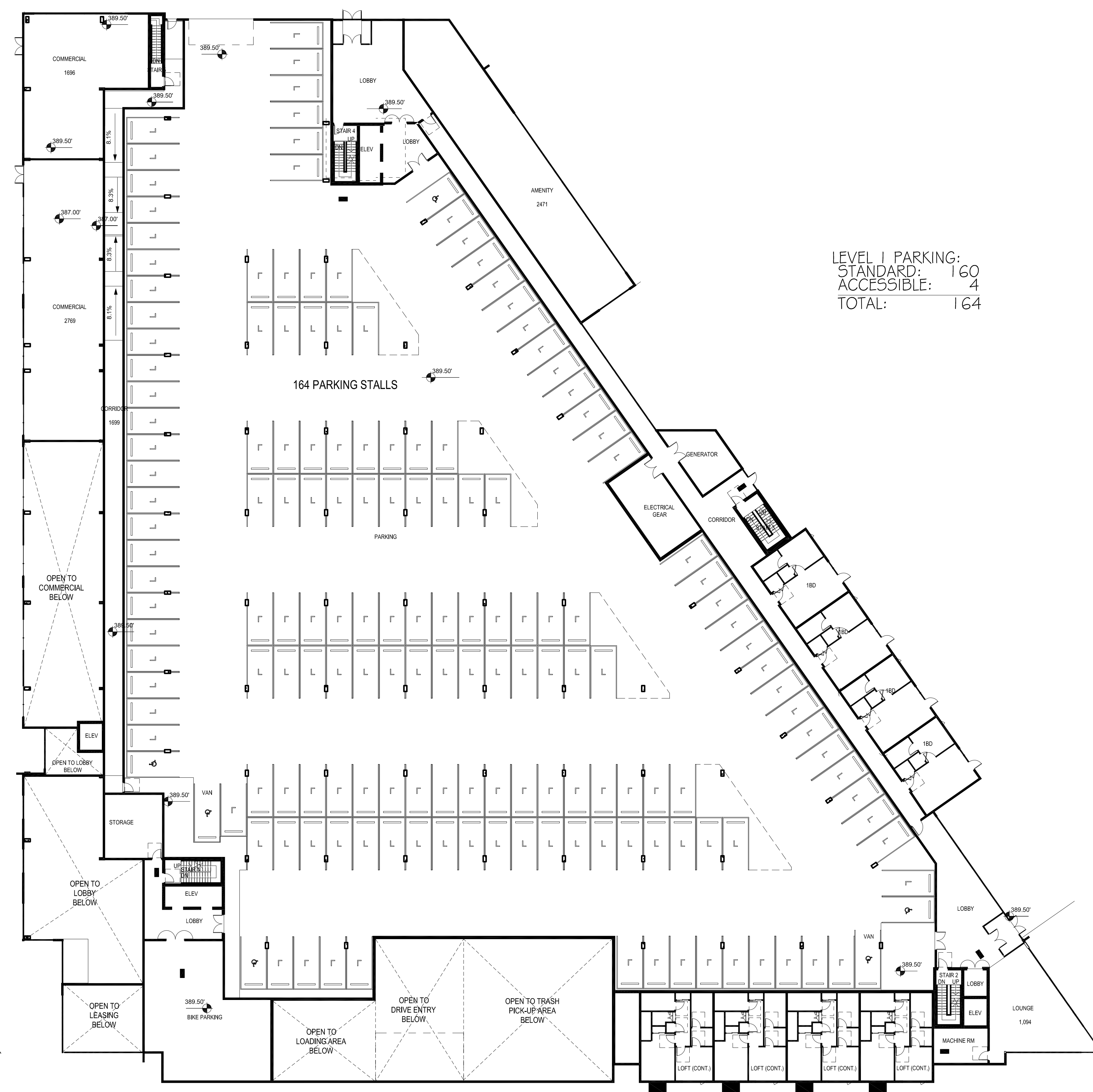
RC HITECTS

E-MAIL info@cmarch.com  
PHONE 425-353-2888





*LEVEL #P1*



## LEVEL #1

**BLDG #2  
PARKING PLAN**  
SCALE 1" = 20'-0"



INTERNATIONAL BLVD.

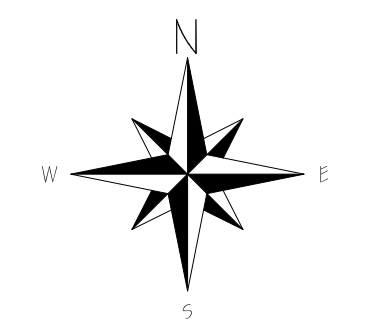
NORTH  
PLAZA

30TH AVENUE S

THROUGH BLOCK CONNECTION

WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA.1.1	
[Symbol]	EXTERIOR WALL - FIRE 1 SIDE
[Symbol]	CONCRETE WALL
[Symbol]	STANDARD WALL (1 HR/SEE SHT RA.1.1 #3)
[Symbol]	2 HR WALL - GENERIC (SEE SHT RA.1.1 #6)
[Symbol]	2 HR STAIR WALL w/ FURRED WALL
[Symbol]	ENCLOSURE WALL (SEE SHT RA.1.1 #4)
[Symbol]	2 HR EXTERIOR LINER WALL (SEE SHT RA.1.1 #2)
[Symbol]	2 HR SHAFT LINER WALL w/ FURRED (SEE SHT RA.1.1 #15)

LEGEND	
[Symbol]	TACTILE EXIT SIGN SEE SHT
[Symbol]	TACTILE ELEVATOR SIGN SEE SHT
[Symbol]	OCCUPANT LOAD SIGN SEE SHT
[Symbol]	STAIR INDICATOR (SEE A7.1 SHTS)
[Symbol]	EXIT SIGNAGE
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	ACOUSTICAL TILE CEILING
[Symbol]	DETAIL INDICATOR (SEE D. SHTS)
[Symbol]	UNIT NUMBER INDICATOR
[Symbol]	ROOM NUMBER INDICATOR
[Symbol]	WINDOW INDICATOR
[Symbol]	DOOR INDICATOR
[Symbol]	SECTION INDICATOR (SEE A.5. SHTS)
[Symbol]	FIRE EXTINGUISHER
[Symbol]	GWB DROP CEILING



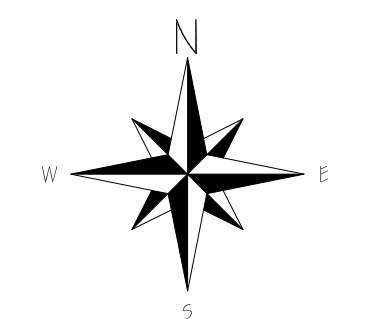
BLDG #1  
LEVEL #1 FLOOR PLAN  
SCALE 1/16" = 1'-0"





WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA.1.1	
[Symbol]	EXTERIOR WALL - FIRE 1 SIDE
[Symbol]	CONCRETE WALL
[Symbol]	STANDARD WALL (1 HR/SEE SHT RA.1.1 #3)
[Symbol]	2 HR WALL - GENERIC (SEE SHT RA.1.1 #6)
[Symbol]	2 HR STAIR WALL w/ FURRED WALL ENCLOSURE WALL (SEE SHT RA.1.1 #6)
[Symbol]	2 HR EXTERIOR WALL (SEE SHT RA.1.1 #2)
[Symbol]	2 HR SHAFT LINER WALL (SEE SHT RA.1.1 #15)
[Symbol]	2 HR SHAFT LINER WALL w/ FURRED (SEE SHT RA.1.1 #15)

LEGEND	
[Symbol]	TACTILE EXIT SIGN [SEE SHT AD.4]
[Symbol]	TACTILE ELEVATOR SIGN [SEE SHT AD.4]
[Symbol]	OCCUPANT LOAD SIGN [SEE SHT AD.4]
[Symbol]	STAIR INDICATOR (SEE A7.1 SHTS)
[Symbol]	EXIT SIGNAGE
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	ACOUSTICAL TILE CEILING
[Symbol]	DETAIL INDICATOR (SEE D. SHTS)
[Symbol]	UNIT NUMBER INDICATOR
[Symbol]	ROOM NUMBER INDICATOR
[Symbol]	WINDOW INDICATOR
[Symbol]	DOOR INDICATOR
[Symbol]	SECTION INDICATOR (SEE A.5. SHTS)
[Symbol]	FIRE EXTINGUISHER
[Symbol]	GWB DROP CEILING



**BLDG #1**  
**LEVEL #2 FLOOR PLAN**  
SCALE 1/16" = 1'-0"

**CHARLES MORGAN & ASSOCIATES, LLC**  
**ARCHITECTS**  
7301 BEVERLY LANE  
EVERETT, WA 98203  
E-MAIL info@march.com  
PHONE 425-353-2888

PROJECT CYMBALUK PROPERTIES  
LOCATION 20220 INTERNATIONAL BLVD., SEATAC WA 98198  
OWNER CYMBALUK PROPERTIES, LLC  
DEVELOPER SYNERGY CONSTRUCTION, INC. (CONTACT BRIAN@SYNERGYCONSTRUCTION.COM)

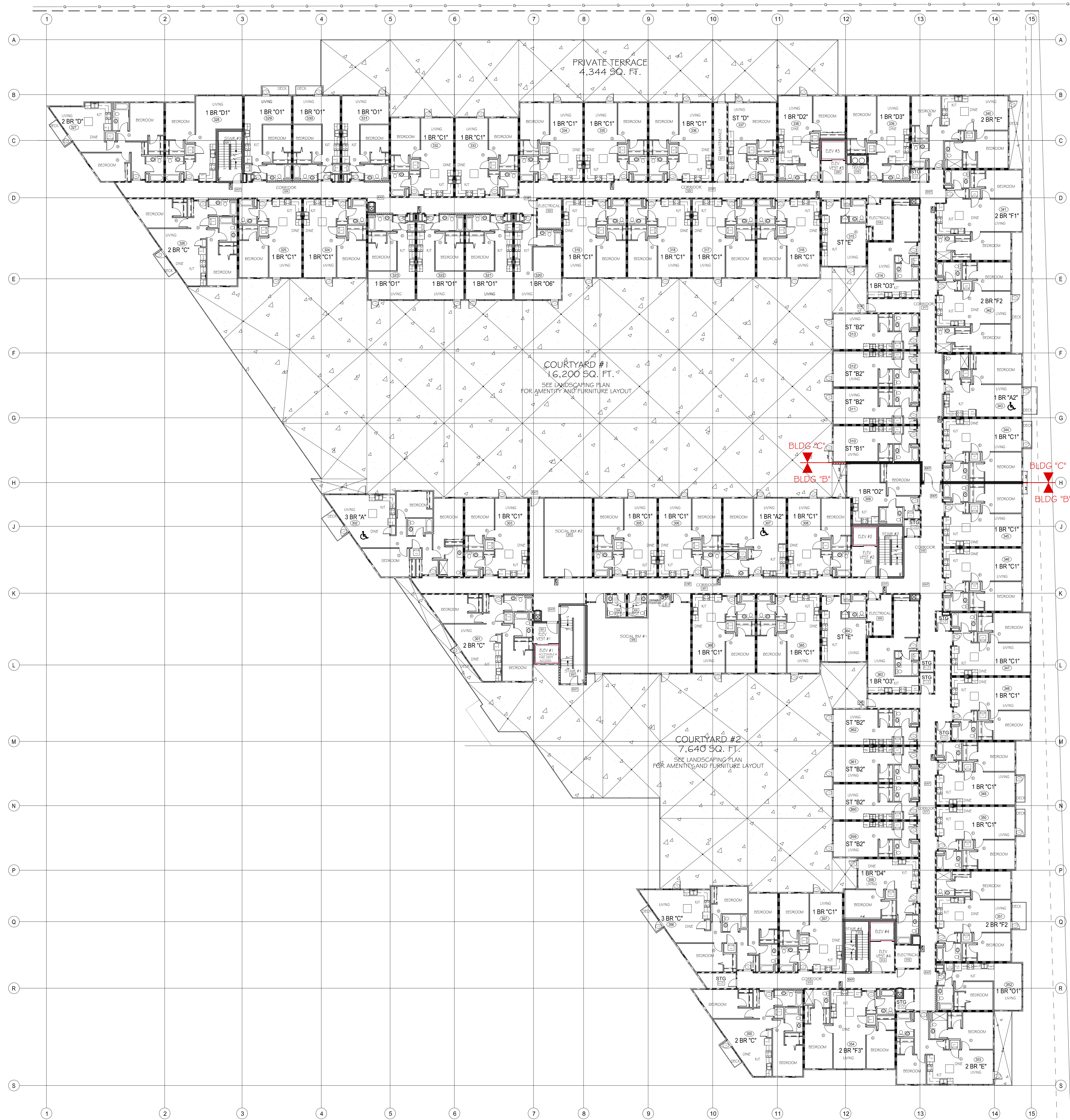
PRELIMINARY SITE PLAN REVIEW RESPONSE - 30 JUNE 23

REGISTERED ARCHITECT  
Charles E. Morgan  
STATE OF WASHINGTON

DATE	30 JUNE 23
RESUBMIT	
RESUBMIT	
RESUBMIT	
RESUBMIT	
RESUBMIT	
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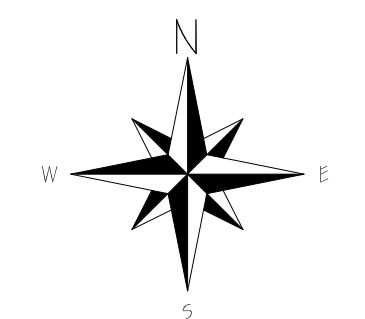
SHEET  
**A2.01**





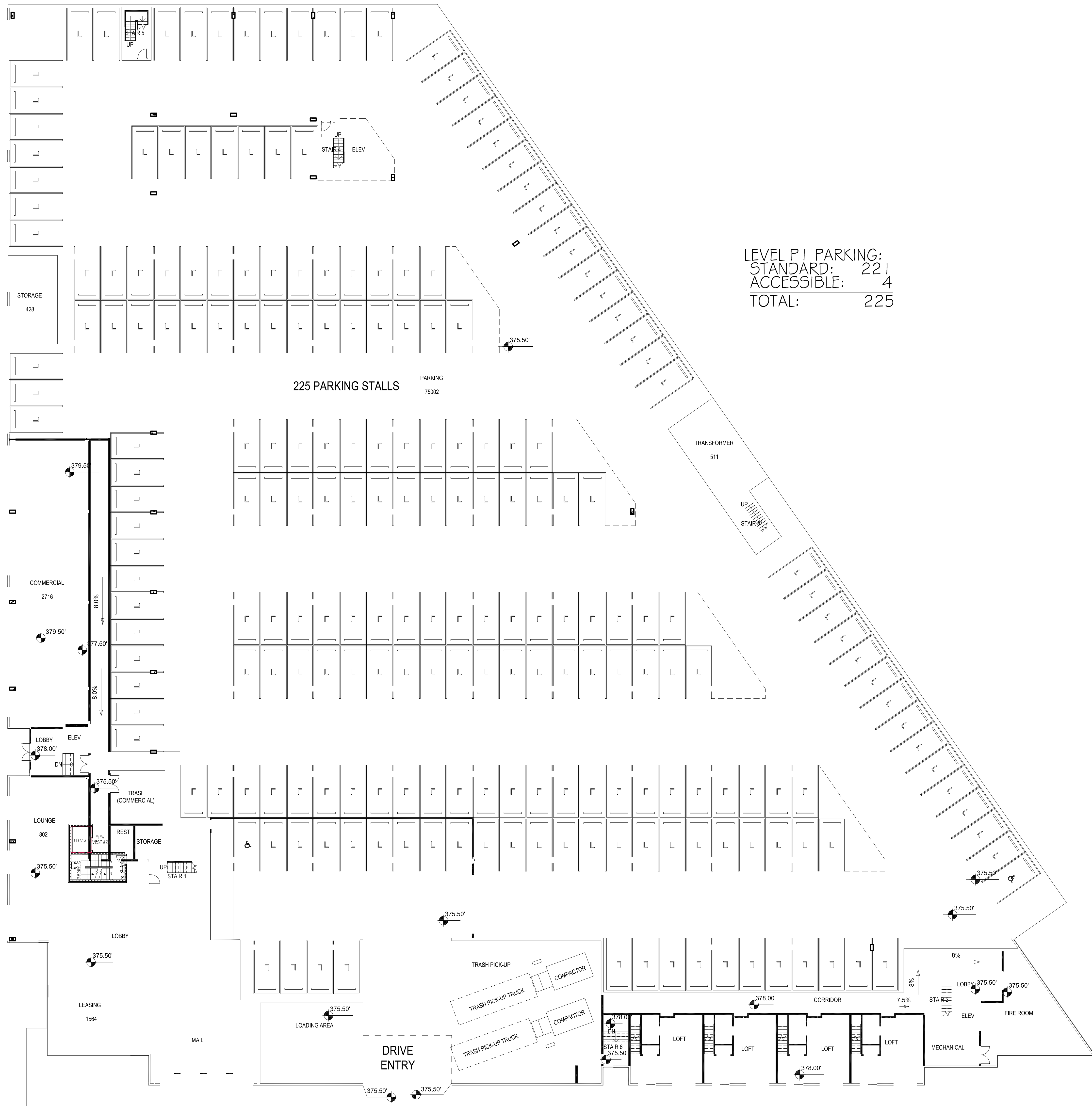
WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA.1.1	
[Symbol]	EXTERIOR WALL - FIRE 1 SIDE
[Symbol]	CONCRETE WALL
[Symbol]	STANDARD WALL (1 HR/SEE SHT RA.1.1 #3)
[Symbol]	2 HR WALL - GENERIC (SEE SHT RA.1.1 #6)
[Symbol]	2 HR STAIR WALL w/ FURRED WALL ENCLOSURE WALL (SEE SHT RA.1.1 #4)
[Symbol]	2 HR EXTERIOR WALL (SEE SHT RA.1.1 #2)
[Symbol]	2 HR SHAFT LINER WALL (SEE SHT RA.1.1 #15)
[Symbol]	2 HR SHAFT LINER WALL w/ FURRED (SEE SHT RA.1.1 #15)

LEGEND	
[Symbol]	TACTILE EXIT SIGN (SEE SHT AD.4)
[Symbol]	TACTILE ELEVATOR SIGN (SEE SHT AD.4)
[Symbol]	OCCUPANT LOAD SIGN (SEE SHT AD.4)
[Symbol]	STAIR INDICATOR (SEE A7.1 SHTS)
[Symbol]	EXIT SIGNAGE
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	ACOUSTICAL TILE CEILING
[Symbol]	DETAIL INDICATOR (SEE D. SHTS)
[Symbol]	UNIT NUMBER INDICATOR
[Symbol]	ROOM NUMBER INDICATOR
[Symbol]	WINDOW INDICATOR
[Symbol]	DOOR INDICATOR
[Symbol]	SECTION INDICATOR (SEE A.5. SHTS)
[Symbol]	FIRE EXTINGUISHER
[Symbol]	GWB DROP CEILING



BLDG #1  
LEVEL #3 FLOOR PLAN  
SCALE 1/16" = 1'-0"



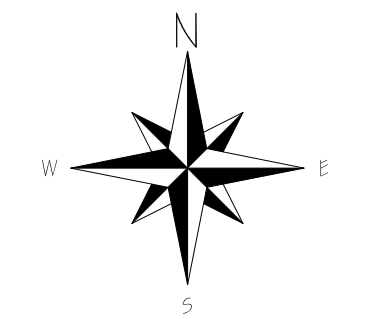


LEVEL P1 PARKING:  
STANDARD: 221  
ACCESSIBLE: 4  
TOTAL: 225

# LEVEL #P1

WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA.1.1	
EXTERIOR WALL - FIRE 1 SIDE	
CONCRETE WALL	
STANDARD WALL (1HR/SEE SHT RA.1.1 #3)	
2 HR WALL - GENERIC (SEE SHT RA.1.1 #6)	
2 HR STAIR WALL w/ FURRED WALL ENCLOSURE WALL (SEE SHT RA.1.1 #6)	
2 HR EXTERIOR WALL (SEE SHT RA.1.1 #2)	
2 HR SHAFT LINER WALL (SEE SHT RA.1.1 #15)	
2 HR SHAFT LINER WALL w/ FURRED (SEE SHT RA.1.1 #15)	

LEGEND	
TACTILE EXIT SIGN	SEE SHT AO.4
TACTILE ELEVATOR SIGN	SEE SHT AO.4
OCCUPANCY LOAD SIGN	SEE SHT AO.4
EXIT	EXIT SIGNAGE
EXIT	EXIT SIGNAGE
ACCESSIBLE ROUTE	
ACOUSTICAL TILE CEILING	
DETAIL INDICATOR (SEE D. SHTS)	
UNIT NUMBER INDICATOR	
ROOM NUMBER INDICATOR	
WINDOW INDICATOR	
DOOR INDICATOR	
SECTION INDICATOR (SEE A.5. SHTS)	
FIRE EXTINGUISHER	
GWB DROP CEILING	



BLDG #2  
LEVEL P1 PLAN  
SCALE 1/16" = 1'-0"

CHARLES MORGAN & ASSOCIATES, LLC

RCHITECTS

7301 BEVERLY LANE  
EVERETT, WA 98203

E-MAIL info@cmarch.com  
PHONE 425-353-2888

PROJECT CYNBALUK PROPERTIES

LOCATION 20220 INTERNATIONAL BLVD., SEATAC WA 98198

OWNER CYNBALUK PROPERTIES, LLC

DEVELOPER SYNERGY CONSTRUCTION, INC. (CONTACT BRIAN@SYNERGYCONSTRUCTION.COM)

PRELIMINARY SITE PLAN REVIEW RESPONSE - 30 JUNE 23

PRELIMINARY SITE PLAN REVIEW RESPONSE - 22 SEPT 23

REGISTERED ARCHITECT

Charles E. Morgan

CHARLES E. MORGAN

STATE OF WASHINGTON

DATE 30 JUNE 23

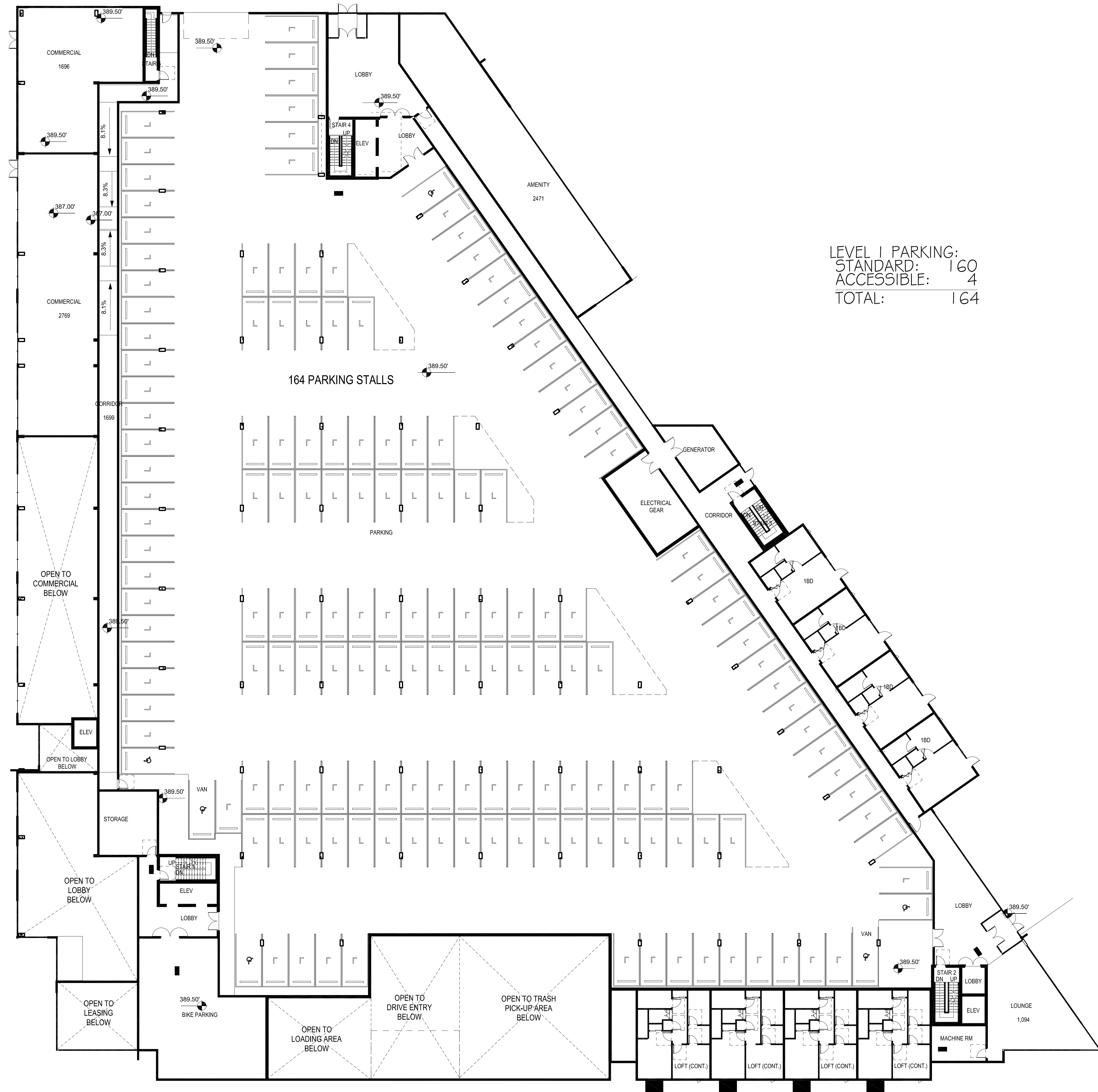
RESUBMIT 22 SEPT 23

RESUBMIT

SHEET

A2.10

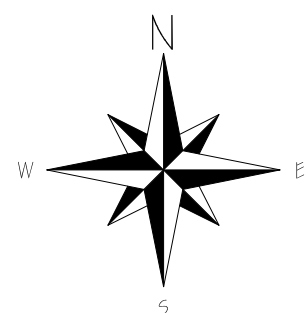




LEVEL 1 PARKING:  
STANDARD: 160  
ACCESSIBLE: 4  
TOTAL: 164

WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA.1.1	
[Symbol]	EXTERIOR WALL - FIRE 1 SIDE
[Symbol]	CONCRETE WALL
[Symbol]	STANDARD WALL (1 HR)(SEE SHT RA.1.1 #3)
[Symbol]	2 HR WALL - GENERIC (SEE SHT RA.1.1 #6)
[Symbol]	2 HR STAIR WALL w/ FURRED WALL ENCLOSURE WALL (SEE SHT RA.1.1 #6)
[Symbol]	2 HR EXTERIOR WALL (SEE SHT RA.1.1 #2)
[Symbol]	2 HR SHAFT LINER WALL (SEE SHT RA.1.1 #15)
[Symbol]	2 HR SHAFT LINER WALL w/ FURRED (SEE SHT RA.1.1 #15)

LEGEND	
[Symbol]	TACTILE EXIT SIGN [SEE SHT AD.4]
[Symbol]	TACTILE ELEVATOR SIGN [SEE SHT AD.4]
[Symbol]	OCCUPANT LOAD SIGN [SEE SHT AD.4]
[Symbol]	STAIR INDICATOR (SEE A7.1 SHTS)
[Symbol]	EXIT SIGNAGE
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	ACOUSTICAL TILE CEILING
[Symbol]	DETAIL INDICATOR (SEE D. SHTS)
[Symbol]	UNIT NUMBER INDICATOR
[Symbol]	ROOM NUMBER INDICATOR
[Symbol]	WINDOW INDICATOR
[Symbol]	DOOR INDICATOR
[Symbol]	SECTION INDICATOR (SEE A.5. SHTS)
[Symbol]	FIRE EXTINGUISHER
[Symbol]	GWB DROP CEILING



BLDG #2  
LEVEL 1 PLAN  
SCALE 1/16" = 1'-0"





DATE	30 JUNE 23
RESUBMIT	22 SEPT 23
RESUBMIT	

SHEET

**A2.12**

PROJECT  
CYMBALUK PROPERTIES  
LOCATION  
20220 INTERNATIONAL BLVD., SEATAC WA 98198  
OWNER  
CYMBALUK PROPERTIES, LLC  
DEVELOPER  
SYNERGY CONSTRUCTION, INC. (CONTACT BRIAN@SYNERGYCONSTRUCTION.COM)

**CHARLES MORGAN & ASSOCIATES, LLC**

# ARCHITECTS

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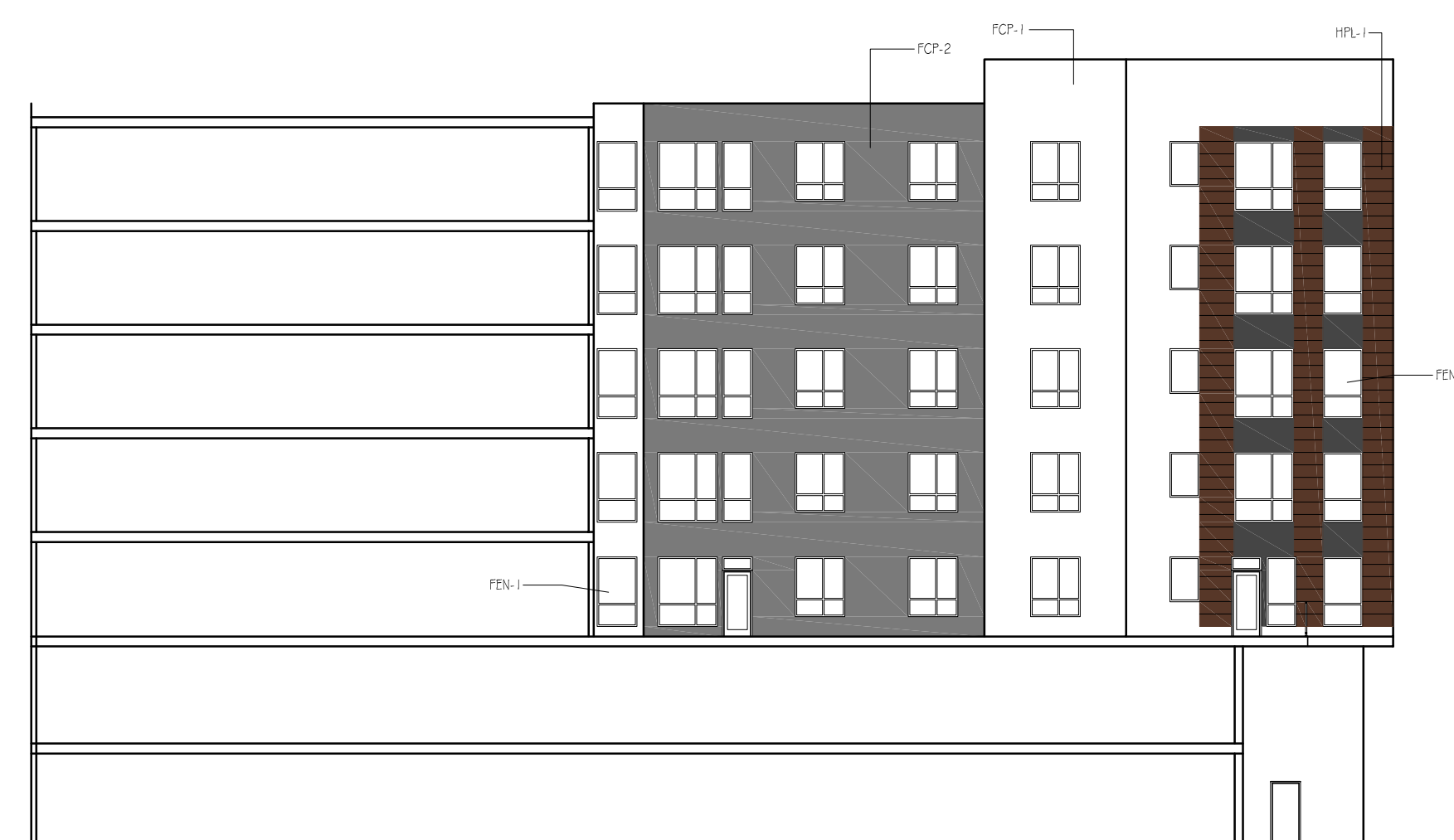
## EXTERIOR MATERIALS LEGEND

DA-1	ALUMINUM BALCONY, BLACK
CA-1	SOLID CONCRETE, GRAY FINISH
CA-2	SOLID CONCRETE, YELLOW FINISH
PO-1	CONCRETE, BOARD FORM
FC-1	FEWER COBERT PANEL, HANDED 2 O. WHITE
FC-2	FEWER COBERT PANEL, HANDED 2 O. MEDIUM GRAY
FC-3	FEWER COBERT PANEL, HANDED 3 O. BLACK
FC-4	VINYL COBERT PANEL, BLACK
FC-5	GLASS THERMOFORM, BLACK
WFL-1	FIGHT SYSTEM LIGHTWEIGHT, MODERATE, MEDIUM BROWN
MS-1	SPEARMAN DECOR, BURNING BROWN, LIMESTONE
MT-1	METAL PANEL, 48" SPAN RUS, DARK GRAY
MT-2	PANEL, YELLOW
MT-3	METAL, DECORATIVE SCREENING
MS-1	WALL MOUNT LIGHT FIXTURE, BLACK

WEST, SOUTH, EAST & NORTH  
BLDG #1 ELEVATIONS  
SCALE 1/16" = 1'-0"

SCALE 1/16" = 1'-0"





### EXTERIOR MATERIALS LEGEND

BA-1	ALUMINUM BALCONY, BLACK
CA-1	SOLID CHAIR, GRAY PINE
CA-2	SOLID CHAIR, YELLOW PINE
CO-1	CONCRETE, BOARD FORM
FO-1	FIBER CEMENT PANEL, HARKS 2.0, WHITE
FO-2	FIBER CEMENT PANEL, HARKS 2.0, MEDIUM GRAY
FO-3	FIBER CEMENT PANEL, PAGES 2.0, BLACK
FO-4	VINYL WINDOW/DOOR, BLACK
FO-5	ALUMINUM STOREFRONT, BLACK
HP-1	HIGH PRESSURE LAMINATE, PROCELA, MEDIUM BROWN
MS-1	NORMAN DECK, RUNNING BOARD, LIMESTONE
MT-1	METAL PANEL, 8" SPIRIT, 1/2" THICK, DIRTY GRAY
PA-1	PANEL, YELLOW
SC-1	METAL DECORATIVE SCORING
US-1	WALL MOUNT LIGHT FIXTURE, BLACK

COURTYARDS #1 NORTH, WEST & SOUTH  
COURTYARD #2 WEST, NORTH & SOUTH  
BLDG #1 ELEVATIONS

SCALE 1/16"=1'-0"





WEST, SOUTH, EAST & NORTH  
BLDG #1 ELEVATIONS  
SCALE 1/16" = 1'-0"





5 EAST ELEVATION - COURTYARD #1



6 EAST ELEVATION - COURTYARD #1



7 SOUTH ELEVATION - COURTYARD #1



8 NORTH ELEVATION - COURTYARD #2



9 EAST ELEVATION - COURTYARD #2



10 SOUTH ELEVATION - COURTYARD #2

EXTERIOR MATERIALS LEGEND	
DAL-1	ALUMINUM FINISH, BLACK
DAL-2	ALUMINUM FINISH, WHITE
DAL-3	ALUMINUM FINISH, BRASS
DAL-4	ALUMINUM FINISH, BRASS
DAL-5	ALUMINUM FINISH, BRASS
DAL-6	ALUMINUM FINISH, BRASS
DAL-7	ALUMINUM FINISH, BRASS
DAL-8	ALUMINUM FINISH, BRASS
DAL-9	ALUMINUM FINISH, BRASS
DAL-10	ALUMINUM FINISH, BRASS
DAL-11	ALUMINUM FINISH, BRASS
DAL-12	ALUMINUM FINISH, BRASS
DAL-13	ALUMINUM FINISH, BRASS
DAL-14	ALUMINUM FINISH, BRASS
DAL-15	ALUMINUM FINISH, BRASS
DAL-16	ALUMINUM FINISH, BRASS
DAL-17	ALUMINUM FINISH, BRASS
DAL-18	ALUMINUM FINISH, BRASS
DAL-19	ALUMINUM FINISH, BRASS
DAL-20	ALUMINUM FINISH, BRASS
DAL-21	ALUMINUM FINISH, BRASS
DAL-22	ALUMINUM FINISH, BRASS
DAL-23	ALUMINUM FINISH, BRASS
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DAL-27	ALUMINUM FINISH, BRASS
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DAL-29	ALUMINUM FINISH, BRASS
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DAL-71	ALUMINUM FINISH, BRASS
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DAL-73	ALUMINUM FINISH, BRASS
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DAL-75	ALUMINUM FINISH, BRASS
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DAL-92	ALUMINUM FINISH, BRASS
DAL-93	ALUMINUM FINISH, BRASS
DAL-94	ALUMINUM FINISH, BRASS
DAL-95	ALUMINUM FINISH, BRASS
DAL-96	ALUMINUM FINISH, BRASS
DAL-97	ALUMINUM FINISH, BRASS
DAL-98	ALUMINUM FINISH, BRASS
DAL-99	ALUMINUM FINISH, BRASS
DAL-100	ALUMINUM FINISH, BRASS

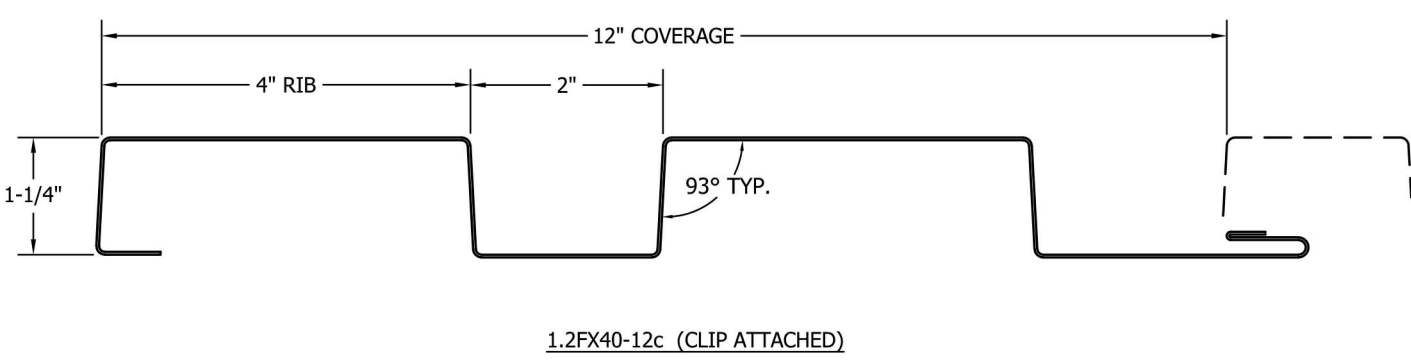
COURTYARDS #1 NORTH, WEST & SOUTH  
COURTYARD #2 WEST, NORTH & SOUTH  
BLDG #1 ELEVATIONS

SCALE 1/16"=1'-0"

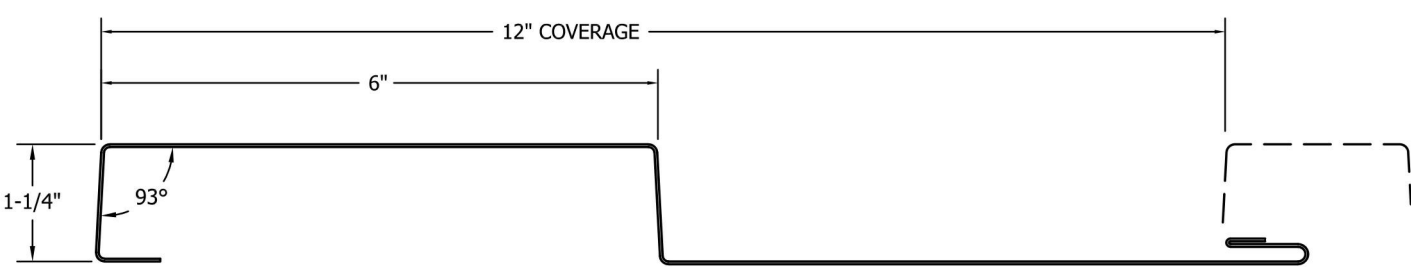


FINISH LEGEND	
MARK	DESCRIPTION
BAL-1	ALUMINUM STOREFRONT, BLACK
CAN-1	SOLID CANOPY, BLACK FINISH
CON-1	CONCRETE, BOARD FORM
FCP-1	FIBER CEMENT PANEL, HARDIE 2.0, WHITE
FCP-2	FIBER CEMENT PANEL, HARDIE 2.0, MEDIUM GRAY
FCP-3	FIBER CEMENT PANEL, HARDIE 2.0, BLACK
FEN-1	VINYL WINDOW/DOOR, BLACK
FEN-2	ALUMINUM STOREFRONT, BLACK
HPL-1	HIGH PRESSURE LAMINATE, PRODEMA, MEDIUM BROWN
MAS-1	NORMAN BRICK, RUNNING BOND, LIMESTONE
MTL-1	METAL PANEL, AEP SPAN FLEX, DARK GRAY
PNT-1	PAINT, YELLOW

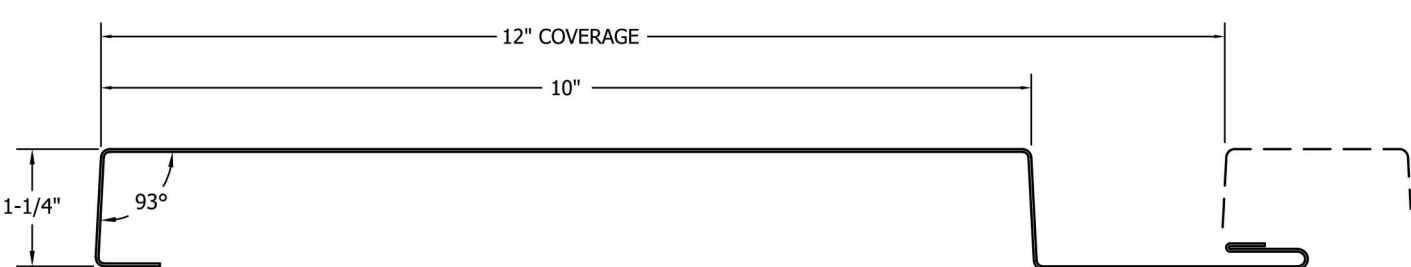
AEP SPAN - FLEX SERIES PROFILES



PROFILE A



PROFILE B

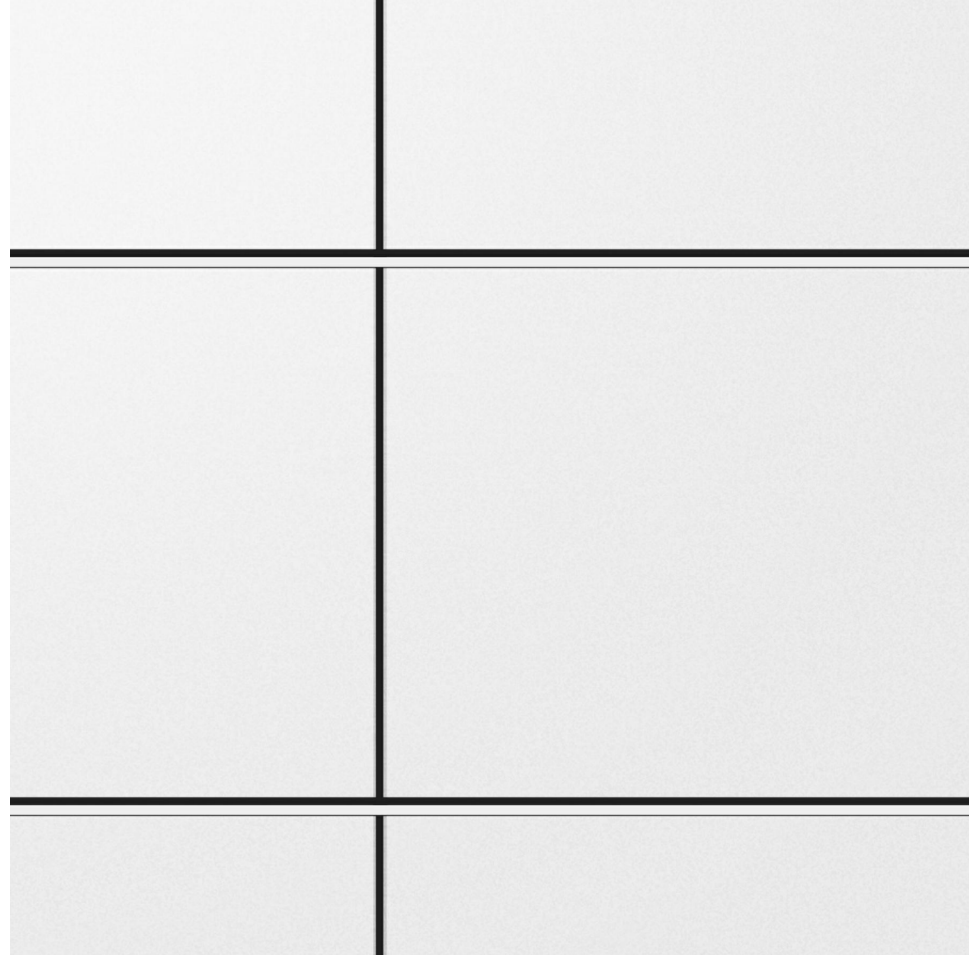


PROFILE C

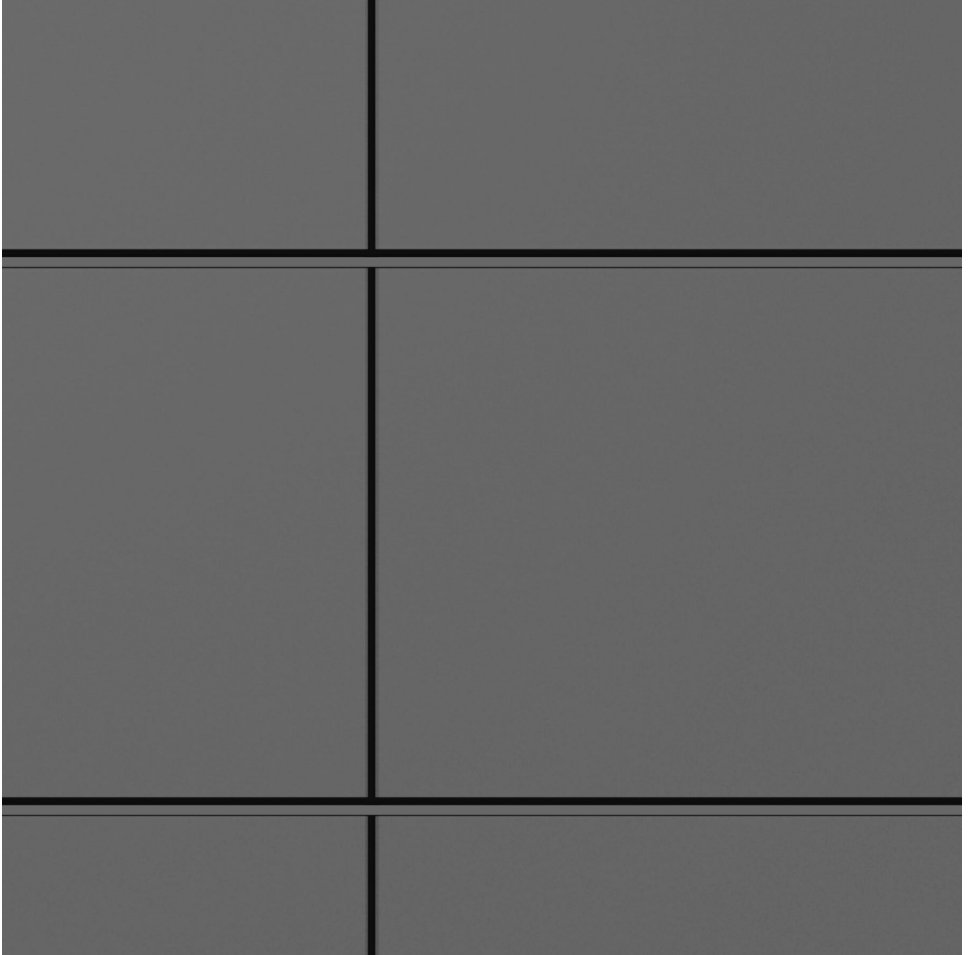
3 AEP SPAN DETAILS  
SCALE: NTS



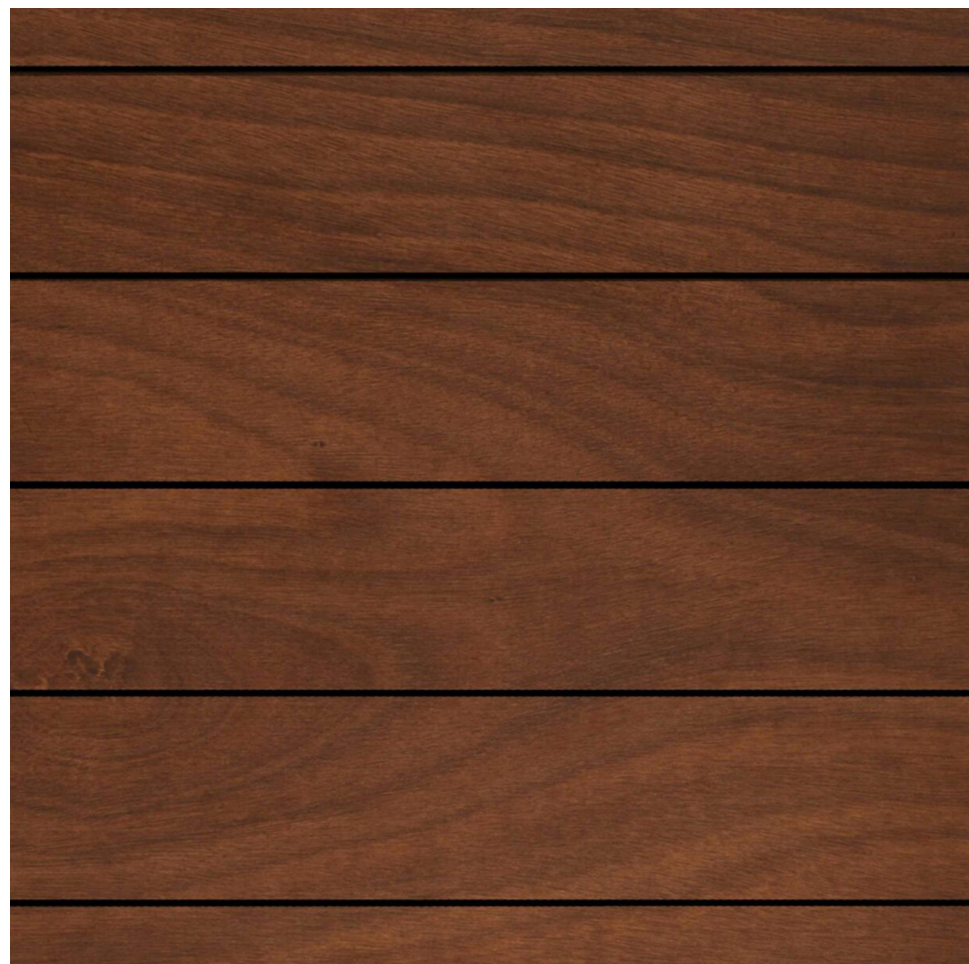
1 AXON - MATERIAL PALETTE  
SCALE: NTS



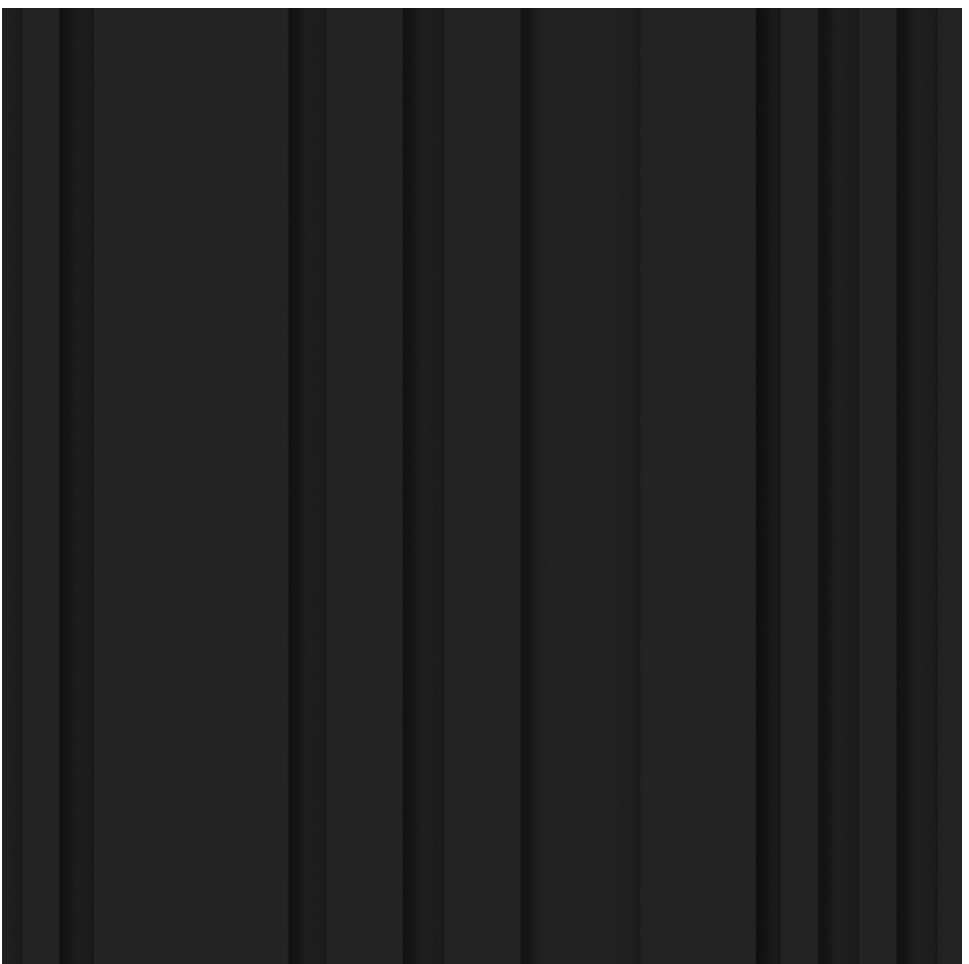
FIBER CEMENT PANELING  
MANUFACTURER: JAMES HARDIE, HARDIE BOARD 2.0  
FINISH: WHITE



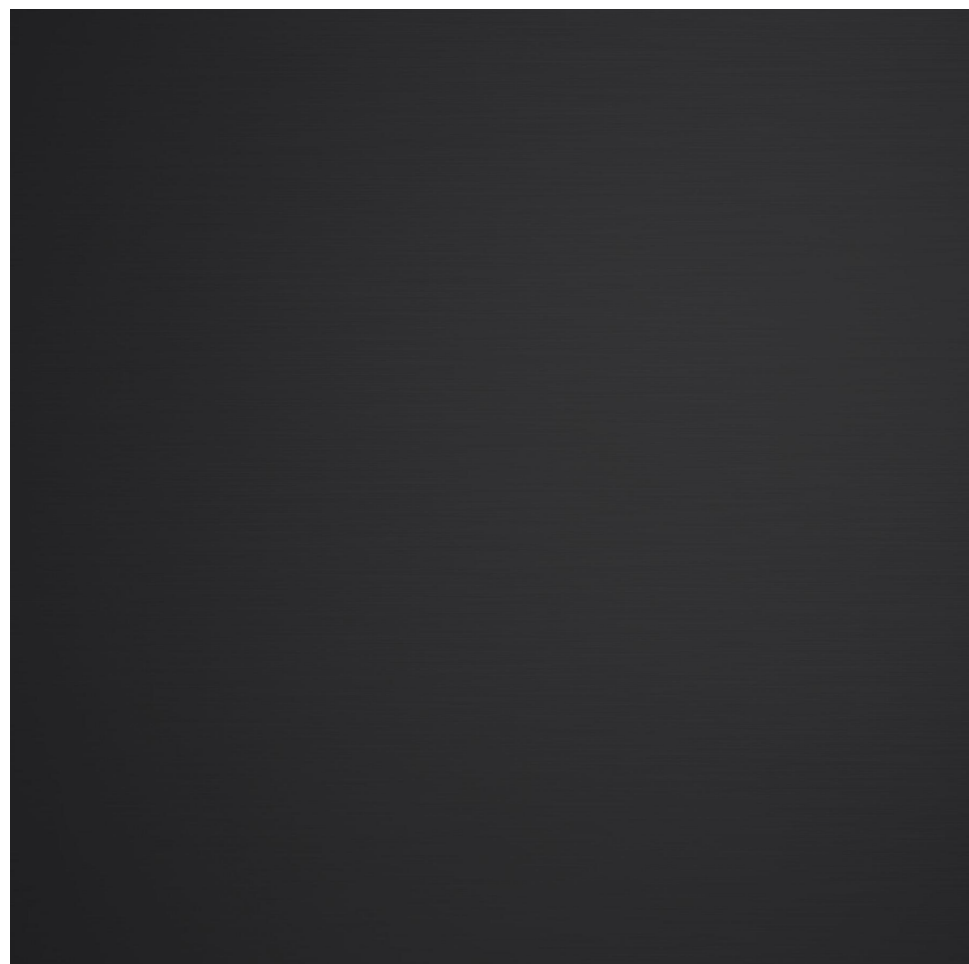
FIBER CEMENT PANELING  
MANUFACTURER: JAMES HARDIE, HARDIE BOARD 2.0  
FINISH: MEDIUM GRAY



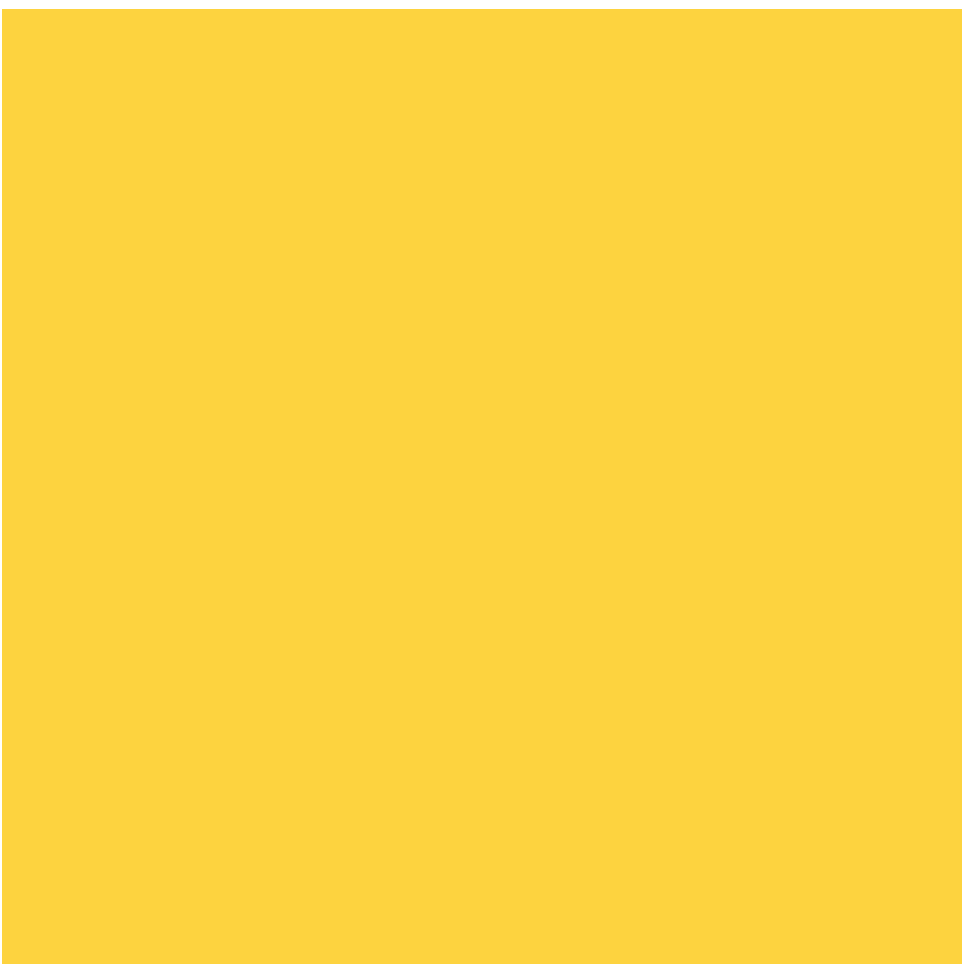
HIGH-PRESSURE LAMINATE SIDING  
MANUFACTURER: PARKLEX PRODEMA, 12\"/>



METAL SIDING  
MANUFACTURER: AEP SPAN, FLEX SERIES, RANDOM PATTERNING  
FINISH: MATTE BLACK



PAINT  
MANUFACTURER: SHERWIN-WILLIAMS  
FINISH: BLACK



PAINT  
MANUFACTURER: SHERWIN-WILLIAMS  
FINISH: DAISY



BRICK VENEER  
MANUFACTURER: MUTAL MATERIALS  
FINISH: LIMESTONE



SITE-CAST CONCRETE  
FINISH: BOARD-FORM

2 MATERIAL PALETTE  
SCALE: 12\"/>