

MERCY ANGLE LAKE FAMILY HOUSING

SITE PLAN REVIEW

PROJECT INFORMATION

LOCATION 2650 S 200TH ST  
SEATAC, WA 98198

APN NUMBER: 0422049287

SITE AREA 33,529 SF ( 0.77 acres )

ZONING: RBX

OVERLAYS: ANGLE LAKE STATION AREA OVERLAY - DISTRICT CENTER

STREETS:

OTHER:

ZONING HEIGHT:

BUILDING HEIGHT: 7 STORIES ABOVE GRADE /  
1 STORY BELOW GRADE

BUILDING CODE: 2018 IBC WITH WASHINGTON AMENDMENTS

CONSTRUCTION: TYPE V/TYPE I

OCCUPANCY TYPE: RESIDENTIAL

PROPOSED USE: MIXED USE

LEGAL DESCRIPTION:  
LOTS A OF ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE  
NO. SUB. 19-0005, RECORDED UNDER RECORDING NO.  
20210629900043, IN KING COUNTY, WASHINGTON.

PROJECT DESCRIPTION  
CONSTRUCTION OF 7 1/2 STORY MIXED USE BUILDING WITH 130  
APARTMENTS, OFFICE SPACE, AND ACCESSORY PARKING.

PROJECT TEAM

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NOT FOR CONSTRUCTION



MERCY ANGLE LAKE FAMILY HOUSING

100% DD

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PROJECT METRICS:

GROSS FLOOR AREA:

	PARKING	SUPPORT	VERTICAL CIRC.	LOBBY / CIRC.	COMMERCIAL RETAIL	AMENITY	STORAGE	RESIDENTIAL	TOTAL	OUTDOOR AMENITY	INDOOR AMENITY	TOTAL RECREATION
LEVEL 1B	10,165 SF	524 SF	316 SF	0 SF	10,816 SF	0 SF	0 SF	0 SF	21,822 SF	0 SF	0 SF	0 SF
LEVEL 1	10,542 SF	1,210 SF	880 SF	1,232 SF	0 SF	107 SF	0 SF	0 SF	13,981 SF	0 SF	107 SF	0 SF
LEVEL 2	14,483 SF	2,200 SF	640 SF	1,582 SF	0 SF	568 SF	0 SF	6,429 SF	26,012 SF	0 SF	568 SF	0 SF
LEVEL 3	0 SF	116 SF	652 SF	2,371 SF	0 SF	2,095 SF	0 SF	15,249 SF	20,484 SF	6,364 SF	2,095 SF	7,963 SF
LEVEL 4	0 SF	118 SF	652 SF	2,015 SF	0 SF	181 SF	0 SF	17,519 SF	20,484 SF	0 SF	181 SF	0 SF
LEVEL 5	0 SF	118 SF	652 SF	2,015 SF	0 SF	181 SF	0 SF	17,519 SF	20,484 SF	0 SF	181 SF	0 SF
LEVEL 6	0 SF	118 SF	652 SF	2,015 SF	0 SF	181 SF	0 SF	17,519 SF	20,484 SF	0 SF	181 SF	0 SF
LEVEL 7	0 SF	118 SF	652 SF	2,015 SF	0 SF	181 SF	0 SF	17,519 SF	20,484 SF	0 SF	181 SF	0 SF
ROOF LEVEL	0 SF	400 SF	397 SF	0 SF	0 SF	0 SF	0 SF	0 SF	757 SF	0 SF	0 SF	0 SF
	35,190 SF	4,924 SF	5,474 SF	13,344 SF	10,816 SF	3,493 SF	0 SF	91,752 SF	164,994 SF	6,364 SF	3,493 SF	7,963 SF

UNIT MATRIX:

	TOTAL	STUDIO	1 BED	2 BED	3 BED
LEVEL 2	7	0	1	2	4
LEVEL 3	23	8	7	5	3
LEVEL 4	25	7	8	5	5
LEVEL 5	25	7	8	5	5
LEVEL 6	25	7	8	5	5
LEVEL 7	25	7	8	5	5
	130	36	40	27	27

	COUNT	UNIT MIX	TOTAL AREA	AVG. AREA	AREA RANGE
1 BED	40	31%	23,581 SF	590 SF	526 SF ... 619 SF
2 BED	27	21%	22,031 SF	816 SF	773 SF ... 907 SF
3 BED	27	21%	29,426 SF	1,053 SF	988 SF ... 1,122 SF
STUDIO	36	28%	17,714 SF	492 SF	456 SF ... 622 SF
	130	100%	91,752 SF	706 SF	456 SF ... 1,122 SF

15.310.055 ANGLE LAKE STATION AREA OVERLAY DISTRICT USE CHART

USES IN RBX ZONE:

RESIDENTIAL - MULTI-FAMILY: PERMITTED AS PART OF MIXED USE

BUSINESS SERVICE - PROFESSIONAL OFFICE: PERMITTED

15.400 DIMENSIONAL STANDARDS AND REGULATIONS					
CITY OF SEATAC STANDARD	RBX ZONE	OVERLAY	GOVERNING SECTION	PROVIDED	NOTE
MINIMUM LOT AREA	N/A	N/A	15.400.200	33,529 SF	
MINIMUM LOT WIDTH	N/A	N/A	15.400.200	144'-0"	CALCULATED PER 15.110.060 - SEE SHEET T1.6
MINIMUM FRONT YARD SETBACK	5'	5'	15.310.200	VARIES	SEE SHEET T1.6 AND DEVELOPMENT AGREEMENT
MAXIMUM FRONT YARD SETBACK	10'	10'-20'	15.310.200	VARIES	SEE SHEET T1.6 AND DEVELOPMENT AGREEMENT
MINIMUM SIDE YARD SETBACK	N/A	N/A	N/A	11' - 6"	SIDE SETBACK AT SHARED ACCESS DRIVE
MINIMUM REAR YARD SETBACK	N/A	N/A	N/A	N/A	LOT HAS 3 SIDES, NO REAR YARD
MAXIMUM BUILDING LOT COVERAGE	75%			80.4%	MAX INCREASED TO 81% WITH DEVELOPMENT AGREEMENT
MAXIMUM IMPERVIOUS SURFACE	N/A			94.5%	SEE SHEET T1.6
MAXIMUM STRUCTURE HEIGHT	FIRE DEPT/FAA				SEE SHEET T1.2
FRONT YARD ORIENTATION	FACES S 200TH ST	15.310.210 D.2	FACES S 200TH ST		
MINIMUM BUILDING FRONTAGE	65%	15.310.200	98%		
MINIMUM SETBACK AT OTHER STREETS	5'	15.310.200	VARIES		SEE SHEET T1.6 AND DEVELOPMENT AGREEMENT

PARKING REQUIREMENTS

RESIDENTIAL PARKING REQUIREMENT				
UNIT TYPES	COUNT	PARKING STALLS REQ'D PER UNIT	TOTAL REQ'D BEFORE REDUCTIONS	OVERLAY PARKING REDUCTION
1 BED	40	1.5	60	39
2 BED	27	2	54	35.1
3 BED	27	2	54	35.1
STUDIO	36	1	36	23.4
	130		204	132.6
				TOTAL RESIDENTIAL PARKING REQUIRED PER LAND USE CODE

PARKING PROVIDED - RESIDENTIAL			
KEY	STALL TYPE	COUNT	%
S	8' WIDE COMPACT PARKING STALL	18	23.1%
M	8'-6" WIDE PARKING STALL	57	73.1%
R/BF	ACCESSIBLE STALL	1	1.3%
VAN	VAN ACCESSIBLE STALL	2	2.6%
TOTAL RESIDENTIAL STALLS PROVIDED:		78	

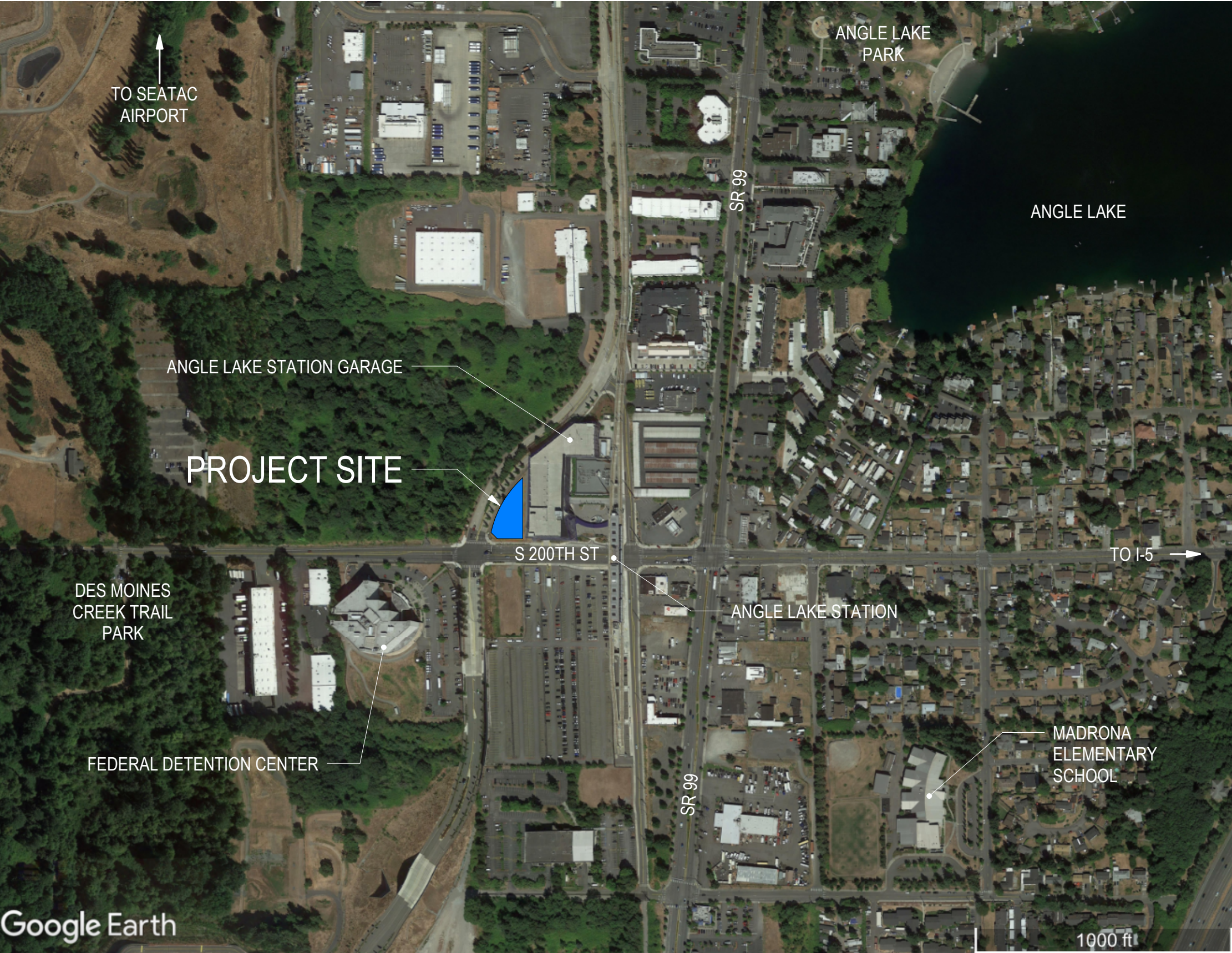
RESIDENTIAL EV CHARGING PROVIDED	
STALL NUMBER	% OF TOTAL
1	1.28%
2	1.28%
11	1.28%
12	1.28%
33	1.28%
41	1.28%
56	1.28%
57	1.28%
TOTAL RESIDENTIAL EV CHARGING STALLS PROVIDED: 8	
10.26%	

COMMERCIAL PARKING REQUIREMENT			
AREA OF COMMERCIAL SPACE	COMMERCIAL PARKING REQUIREMENT	TOTAL REQ'D BEFORE REDUCTIONS	OVERLAY PARKING REDUCTION
10,816 SF	300 SF	36.05	21.83
			TOTAL COMMERCIAL PARKING REQUIRED

PARKING PROVIDED - COMMERCIAL			
KEY	STALL TYPE	COUNT	%
LEVEL 1B			
C18-6	8'-6" WIDE PARKING STALL - COMMERCIAL	22	86%
C1VAN	VAN ACCESSIBLE STALL - COMMERCIAL	4	15%
TOTAL COMMERCIAL STALLS PROVIDED:		26	

COMMERCIAL EV CHARGING PROVIDED		
GROUP	STALL NUMBER	% OF TOTAL
COMMERCIAL C5		4.0%
COMMERCIAL C6		4.0%
COMMERCIAL C26		4.0%
TOTAL COMMERCIAL EV CHARGING STALLS PROVIDED: 3		12.0%

VICINITY MAP



15.310.410 OFF-STREET PARKING REQUIREMENTS AND REDUCTIONS

- A. REQUIRED OFF-STREET PARKING SPACES.
1. MINIMUM PARKING REQUIREMENTS. THE MINIMUM PARKING SPACES REQUIRED ARE SPECIFIED IN SMC 15.455.120, PARKING CHART FOR REQUIRED OFF-STREET SPACES.

STUDIO UNIT: 1 PER DWELLING UNIT  
1 BEDROOM UNIT: 1.5 PER DWELLING UNIT  
2-3 BEDROOM UNIT: 2 PER DWELLING UNIT

- A. PARKING REDUCTION. THE NUMBER OF REQUIRED OFF-STREET PARKING SPACES MAY BE REDUCED FOR PROPERTIES LOCATED WITHIN THE ANGLE LAKE STATION AREA OVERLAY DISTRICT DUE TO THEIR PROXIMITY TO A LIGHT RAIL STATION. REDUCTIONS SHALL BE BASED ON THE SUBMITTAL OF A PARKING PLAN AND AS APPROVED BY THE DIRECTOR. THE AMOUNT OF REDUCTION SHALL BE BASED ON THE FREQUENCY OF THE TRANSIT SERVICE AND SHALL BE LIMITED AS FOLLOWS:
- I. RESIDENTIAL – THIRTY-FIVE PERCENT (35%) MAXIMUM;
- II. GOVERNMENT, BUSINESS SERVICES, MANUFACTURING – FORTY PERCENT (40%) MAXIMUM

15.310.430 BICYCLE PARKING

A. BICYCLE PARKING SHALL BE PROVIDED BASED ON AT LEAST ONE (1) SPACE FOR EACH TEN (10) AUTOMOBILE PARKING SPACES PROVIDED.

RESIDENTIAL:

204 AUTOMOBILE STALLS X 1/10 = 21 RESIDENTIAL BIKE STALLS MIN

PROVIDED: 27 STALLS

COMMERCIAL:

37 AUTOMOBILE STALLS X 1/10 = 4 COMMERCIAL BIKE STALLS MIN

PROVIDED: 4 STALLS

COMMUTER:

SOUND TRANSIT ADMINISTERED SECURED COMMUTER PARKING PROVIDED AS PUBLIC BENEFIT PER DEVELOPMENT AGREEMENT

PROVIDED: 11 STALLS

BICYCLE PARKING PROVIDED		
KEY	TYPE	COUNT
B		12
B	RESIDENTIAL LONG-TERM BIKE-RESIDENTIAL	15
		27
ST		2
ST	COMMUTER	10
BIKE-PLAZA		12
CS	COMMERCIAL SHORT-TERM	4
BIKE-COMMERCIAL		4
TOTAL BIKE PARKING PROVIDED:		43

REVISIONS

1	SPR CORRECTIONS	2022.12.05

SUBMITTALS

100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01

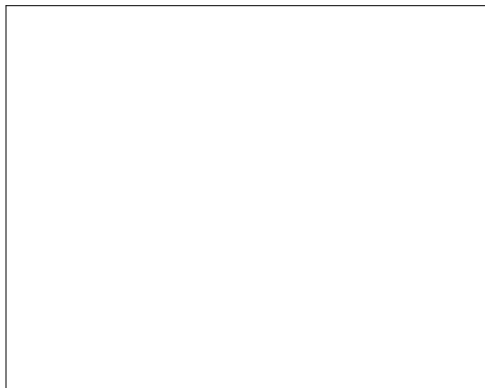




REVISIONS			SUBMITTALS		
1	SPR CORRECTIONS	2022.12.05	100% SD	2022.09.23	
			SITE PLAN REVIEW SET	2022.08.31	
			100% DD	2022.12.01	

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:



DEVELOPMENT AGREEMENT,  
VARIANCE, AND DEPARTURES

DATE:	2022/12/01
SCALE:	
DRAWN:	Author
JOB #:	21-102
COS SPR #:	-
COS SPE #:	-
COS BP #:	-

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SHEET

T1.1

DEPARTURE REQUEST 1				
CODE SECTION:	REQUIREMENT:	PROPOSED:	JUSTIFICATION:	SHEET NUMBER:
15.510.620 B.1.a.	a. Vertical Modulation: Projecting/Recessing Façade Elements. Building modulations shall be a minimum of two (2) feet in depth and two (2) feet in width and may include architectural features such as setbacks, indentations, projections, bays, or awnings.	Vertical modulation recesses are 3' wide and a minimum of 12" in depth.	Building modulation is enhanced by curvature of façade and additional angles provided by the curve. To add dimension and interest, the façade recesses are a significantly different material and color than the bays.	T1.3 & T1.4

DEPARTURE REQUEST 2				
CODE SECTION:	REQUIREMENT:	PROPOSED:	JUSTIFICATION:	SHEET NUMBER:
		Departure Request 2 is being rescinded, as a fiber cement cornice was added to the bay segments of the façade.		T1.3 & T1.4

DEPARTURE REQUEST 3				
CODE SECTION:	REQUIREMENT:	PROPOSED:	JUSTIFICATION:	SHEET NUMBER:
15.510.620 C. 2.	2. Buildings greater than one hundred sixty (160) feet in length shall include a prominent central feature among the required façade design variations.	At 26th Ave S, do not include a 'prominent central feature'. Instead, provide a more rhythmic façade with two more subdued, regularly spaced, "prominent" features." The S 200th St façade has a prominent central feature.	Because the 26th Ave S façade of the building does not contain any primary entrances, and because the façade is responding to the long, curved property line, a prominent central feature does not seem appropriate along this façade. The rhythm of the "notched" façade is broken up by two wider "notches" at the locations of the two significant exit doors along 26th Ave S, (the southernmost one for the office space, and the northernmost one for Stair 2). The S 200th St façade is just shy of 160 feet long, but the intent is that the Mural Tower that separates the office entry plaza from the residential entry plaza, and designates the location of the bike plaza acts as a "prominent central feature" for the project. The most logical location for a prominent central feature is at these plazas along the south façade	T1.3 & T1.4

DEPARTURE REQUEST 4				
CODE SECTION:	REQUIREMENT:	PROPOSED:	JUSTIFICATION:	SHEET NUMBER:
15.310.630 B.	4. Design Treatments. In order to increase pedestrian comfort and interest, subject to approval by the Director, blank wall sections of allowed lengths shall provide two (2) or more of the following special design treatments up to at least the finished ceiling height of the first floor building space: a. public art, every fifty (50) feet of enclosed length. Artwork may include, but is not limited to, the following suggestions: b. decorative masonry pattern, or other architectural feature, over at least fifty percent (50%) of the blank wall surface; and/or c. Employ small setbacks, projections, indentations, or intervals of material change to break up the wall's surface. (Ord. 16-1009 § 1)	Allow one of the two required blank wall design treatments to be a five (5) foot wide landscaping strip per SMC 15.310.460 A.2. (the other design treatments would be small indentions in the wall material to break up the wall's surface – chamfers in the concrete wall.	This Portion of the building is technically parking garage, but the complex geometry and slope of the site prevents the garage from being an "open garage" per code. This northern portion of the block and building, as 26th travels north and curves away from S 200th, has a more wooded and secluded feel, especially relating to the mature trees and plantings in the road median. A wider vegetated buffer seems more appropriate in this area than additional architectural interventions.	T1.4

PROPOSED ROW VARIANCE AT 26TH AVE S:

THE CITY STANDARD ROAD SECTION FOR MAJOR ARTERIAL STREETS PROPOSES TWO 11 FOOT TRAVEL LANES AND A 5 FOOT SEPARATED BIKE LANE ON THE STREET WITH AN 8 FOOT SIDEWALK ADJACENT TO THE CURB AND A PLANTING STRIP BEHIND THE SIDEWALK.

- CURRENT ROAD WIDTH IS 1 FOOT TOO NARROW FOR THIS ROAD SECTION, IN ORDER TO PROVIDE THE ADDITIONAL 1 FOOT OF WIDTH, THE CURB AND EAST 4 FEET OF THE EXISTING CONCRETE ROAD BED WOULD NEED TO BE SAWCUT AND REMOVED IN ORDER TO AVOID HAVING THE COLD JOINT IN THE RIDEABLE PORTION OF THE BIKE LANE. (OR TO REPLACE THE ENTIRE ROADWAY PANEL, WHICH IS OTHERWISE UNNECESSARY.)
- MATURE STREET TREES WOULD NEED TO BE REMOVED FOR NEW SIDEWALK ADJACENT TO CURB. REPLACEMENT STREET TREES WOULD TAKE MANY YEARS TO REACH SIMILAR MATURITY.
- BIKE LANE ON THE STREET WILL BE UPHILL AND ON A CURVE WITH SOMEWHAT REDUCED VISIBILITY. THIS IS NOT AN IDEAL CONDITION FOR SOME CYCLISTS OF VARYING ABILITIES.
- TRAFFIC ALONG 26TH AVE S OFTEN APPEARS TO MOVE FASTER THAN THE POSTED SPEED LIMIT. CARS ARE ACCELERATING UPHILL ON THIS STRETCH OF ROAD, WHICH CREATES ADDITIONAL ROAD NOISE AND DISCOMFORT FOR PEDESTRIANS WALKING ALONGSIDE THE DRIVE LANES.

PROJECT PROPOSES TO MAINTAIN EXISTING CURB, STREET TREES, AND SIDEWALK (TO BE CONVERTED TO A BIKE LANE) AND ADD A NEW 6 FOOT SIDEWALK INSIDE OF 5' BIKE LANE (EXISTING SIDEWALK) TO CREATE A BETTER PEDESTRIAN EXPERIENCE AND MORE DURABLE PRODUCT FOR THE NEIGHBORHOOD.

- MATURE STREET TREES - STREET TREES ARE MATURE, 10" CALIPER, HEALTHY, AND CANNOT BE REPLACED AT THEIR CURRENT MATURITY OR RELOCATED WITHOUT DAMAGING THE TREES
- ENHANCED PEDESTRIAN EXPERIENCE - STREET TREE/PLANTING STRIP LOCATION BETWEEN CURB AND SIDEWALK IS PREFERABLE TO BACK OF SIDEWALK LOCATION FOR IMPROVED PEDESTRIAN COMFORT PROVIDED BY TRAFFIC BUFFER
- INCREASED PEDESTRIAN AND CYCLIST SAFETY - PROTECTED BIKE LANE ON THE SIDEWALK PROVIDES INCREASED SAFETY FOR CYCLISTS, AND A MORE COMFORTABLE EXPERIENCE FOR A BROADER RANGE OF CYCLISTS, ESPECIALLY CONSIDERING THE NORTHBOUND BIKE LANE IN THIS LOCATION HAS SIGNIFICANT UPHILL GRADE AND IS ON A SUBSTANTIAL CURVE THAT HAS REDUCED VISIBILITY.
- ENHANCED STREET DURABILITY - SAW CUTTING THE STREET AND ADDING NEW PAVING AND CURB WOULD PROVIDE THE CITY WITH A LESS DURABLE PRODUCT BY ADDING NEW COLD JOINT IN PAVEMENT
- PRECEDENT FOR PROTECTED BIKE LANE EXISTS ONE BLOCK SOUTH ON 26<sup>TH</sup> AVE S, WHERE A PROTECTED SHARED USE PATH IS PROVIDED WITH A PLANTING STRIP AND CURB BETWEEN THE PATH AND THE STREET. THIS PROPOSED BIKE LANE IS AN EXTENSION OF THAT PATH, AND THE PROTECTED BIKE LANE COULD BE CONNECTED COMPLETELY WHEN THE UNDERUTILIZED SITE TO THE SOUTH OF THE PROJECT SITE IS FINALLY DEVELOPED.

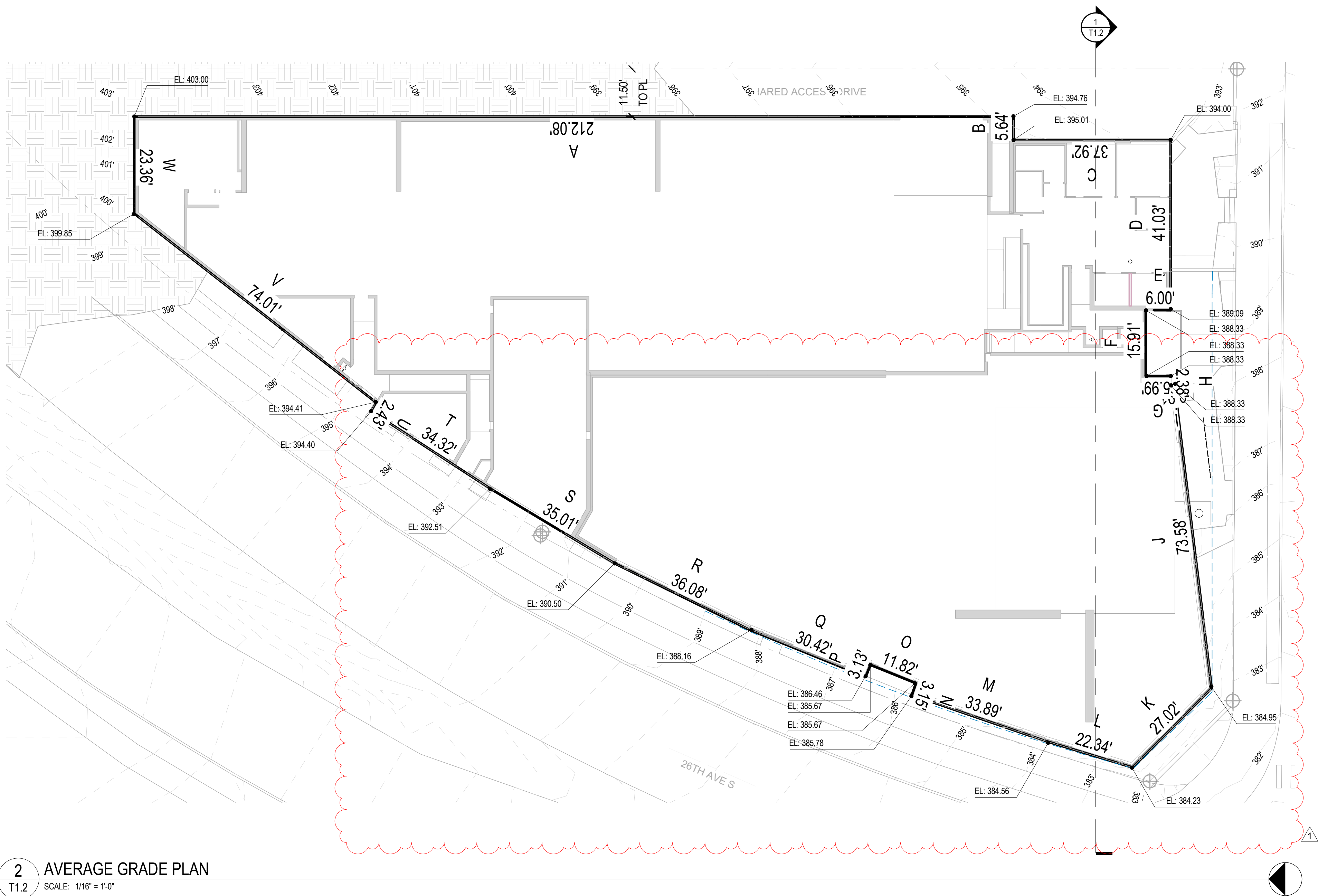
DEVELOPMENT AGREEMENT CODE MODIFICATIONS:

- SMC 15.455.120 PARKING CHART FOR REQUIRED OFF-STREET SPACES:** REDUCE RESIDENTIAL PARKING REQUIREMENT TO .60 STALLS PER UNIT
- SMC 15.455.410 Off-Street Parking Design Standards:** ALLOW UP TO 30% OF RESIDENTIAL PARKING STALLS TO BE PROVIDED AS COMPACT STALLS.
- SMC 15.310.200 SITE PLANNING AND BUILDING ORIENTATION:** REDUCE SETBACK TO 2 FEET AT 26<sup>TH</sup> AVE S.
- SMC 15.400.200 COMMERCIAL, INDUSTRIAL, PARK STANDARDS CHART:** INCREASE MAXIMUM LOT COVERAGE TO 81%.
- SMC 15.445.210 LANDSCAPING STANDARDS CHART:** REDUCE BUILDING FAÇADE LANDSCAPING WIDTH TO 2 FEET WIDE FOR THE SOUTH 203'-5" OF 26<sup>TH</sup> AVE S, APPROXIMATELY 2/3 OF THE LENGTH, WHILE AND MAINTAINING CODE COMPLIANT TRANSPARENCY AND WEATHER PROTECTION AT GROUND FLOOR COMMERCIAL SPACE
- SMC 15.445.210 Landscaping Standards Chart:** ELIMINATE REQUIREMENT FOR SIDE YARD LANDSCAPING AT THE SHARED ACCESS DRIVE/EASEMENT ALONG THE EAST PROPERTY LINE.
- SMC 15.310.210 2. B.: MAXIMUM FRONT YARD SETBACK:** INCREASE THE MAXIMUM FRONT YARD SETBACK AMOUNT THAT IS PERMITTED TO BE DEEPER THAN 10 FEET.

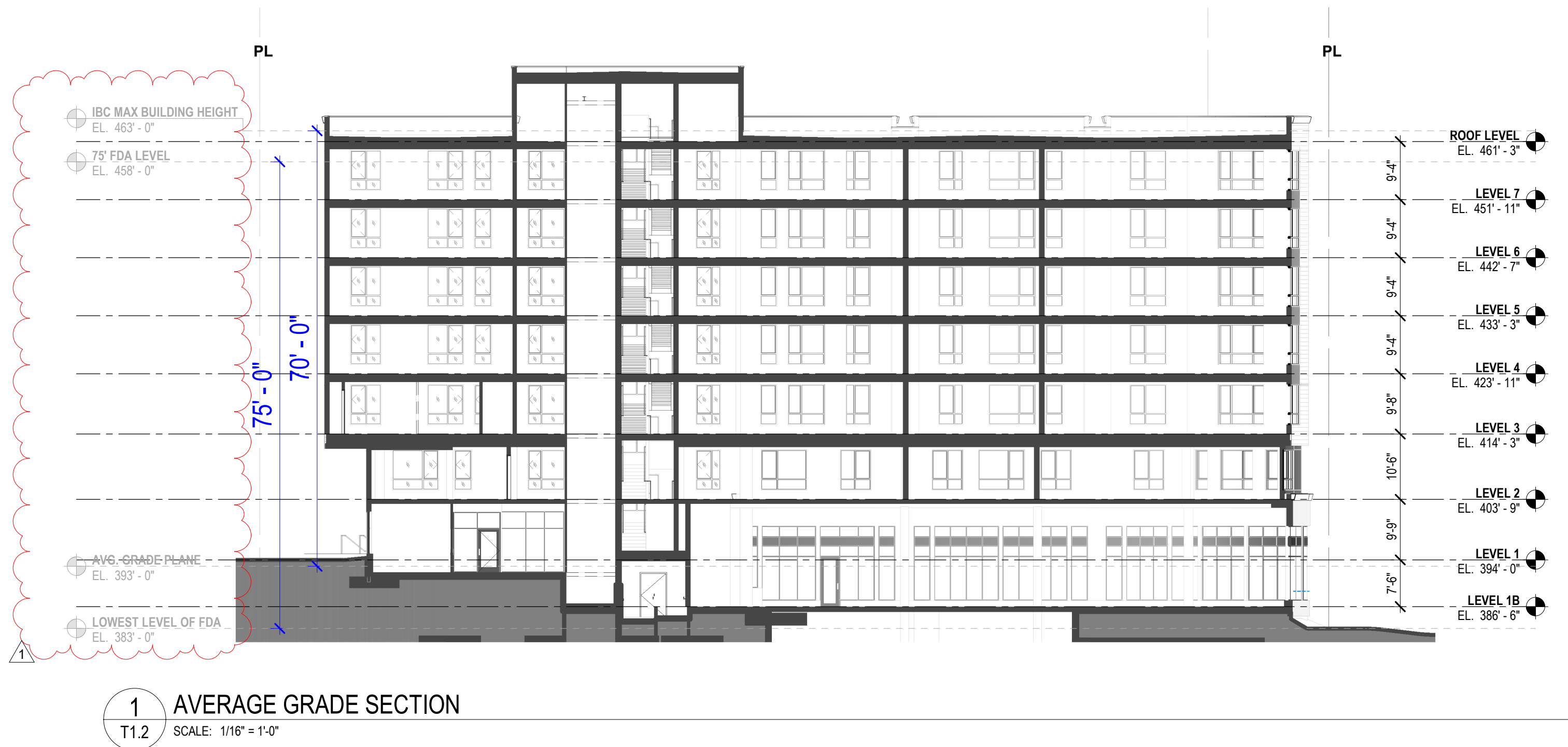
NOT FOR CONSTRUCTION



DIAGRAMS:



2 AVERAGE GRADE PLAN  
T1.2 SCALE: 1/16" = 1'-0"



1 AVERAGE GRADE SECTION  
T1.2 SCALE: 1/16" = 1'-0"

AVERAGE GRADE PLANE CALCULATIONS:

AVERAGE GRADE PLANE CALCULATION				
SEGMENT	ELEVATION (a)	ELEVATION (b)	LENGTH (c)	(a+b)/2 * c
A	403.00'	394.76'	212.08'	84,556.80'
B	394.76'	395.01'	5.64'	2,225.34'
C	395.01'	394.00'	37.92'	14,958.31'
D	394.00'	389.09'	41.03'	15,865.58'
E	389.09'	388.33'	6.00'	2,332.26'
F	388.33'	388.33'	15.91'	6,176.39'
G	388.33'	388.33'	5.99'	2,326.31'
H	388.33'	388.33'	2.38'	925.71'
I	388.33'	388.33'	0.91'	353.12'
J	388.33'	384.95'	73.58'	28,400.73'
K	384.95'	384.23'	27.02'	10,390.68'
L	384.23'	384.56'	22.34'	8,587.25'
M	384.56'	385.78'	33.89'	13,052.64'
N	385.78'	385.67'	3.15'	1,214.30'
O	385.67'	385.67'	11.82'	4,558.06'
P	385.67'	386.46'	3.13'	1,209.40'
Q	386.46'	388.16'	30.42'	11,780.68'
R	388.16'	390.50'	36.08'	14,048.32'
S	390.50'	392.51'	35.01'	13,704.76'
T	392.51'	394.40'	34.32'	13,502.54'
U	394.40'	394.41'	2.43'	957.74'
V	394.41'	399.85'	74.01'	29,391.66'
W	399.85'	403.00'	23.36'	9,377.48'
TOTAL PERIMETER			738.41'	290,185.09'

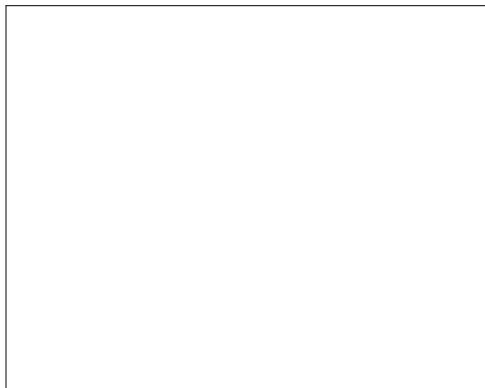
AVERAGE GRADE PLANE:  $\frac{290,185.09'}{738.41'} = 392.99'$

REVISIONS

1	SPR CORRECTIONS	2022.12.05

SUBMITTALS

100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01







**15.310.730 GROUND FLOOR USES IN MIXED USE PROJECTS:**

A. A MINIMUM OF FIFTY PERCENT (50%) OF THE LENGTH OF THE EXTERIOR GROUND FLOOR FACING THE STREET, EXCLUDING VEHICLE ENTRANCES, EXITS, AND ALLEYS, SHALL BE DESIGNED TO BE OCCUPIED BY A RETAIL/COMMERCIAL OR SERVICE USE ON STREET FRONTAGES IDENTIFIED IN FIGURE 15.310.730A.

**\$ 200TH STREET:**

<b>TOTAL LENGTH OF STREET-FACING FACADE:</b>	158'- 5"
<b>TOTAL LENGTH OF COMPLIANT USES:</b>	98'- 5"
<b>PERCENTAGE OF COMPLIANT USES:</b>	62.1%

**26TH AVE S:**

**NOT IDENTIFIED IN FIGURE 15.310.730A / DOES NOT APPLY**

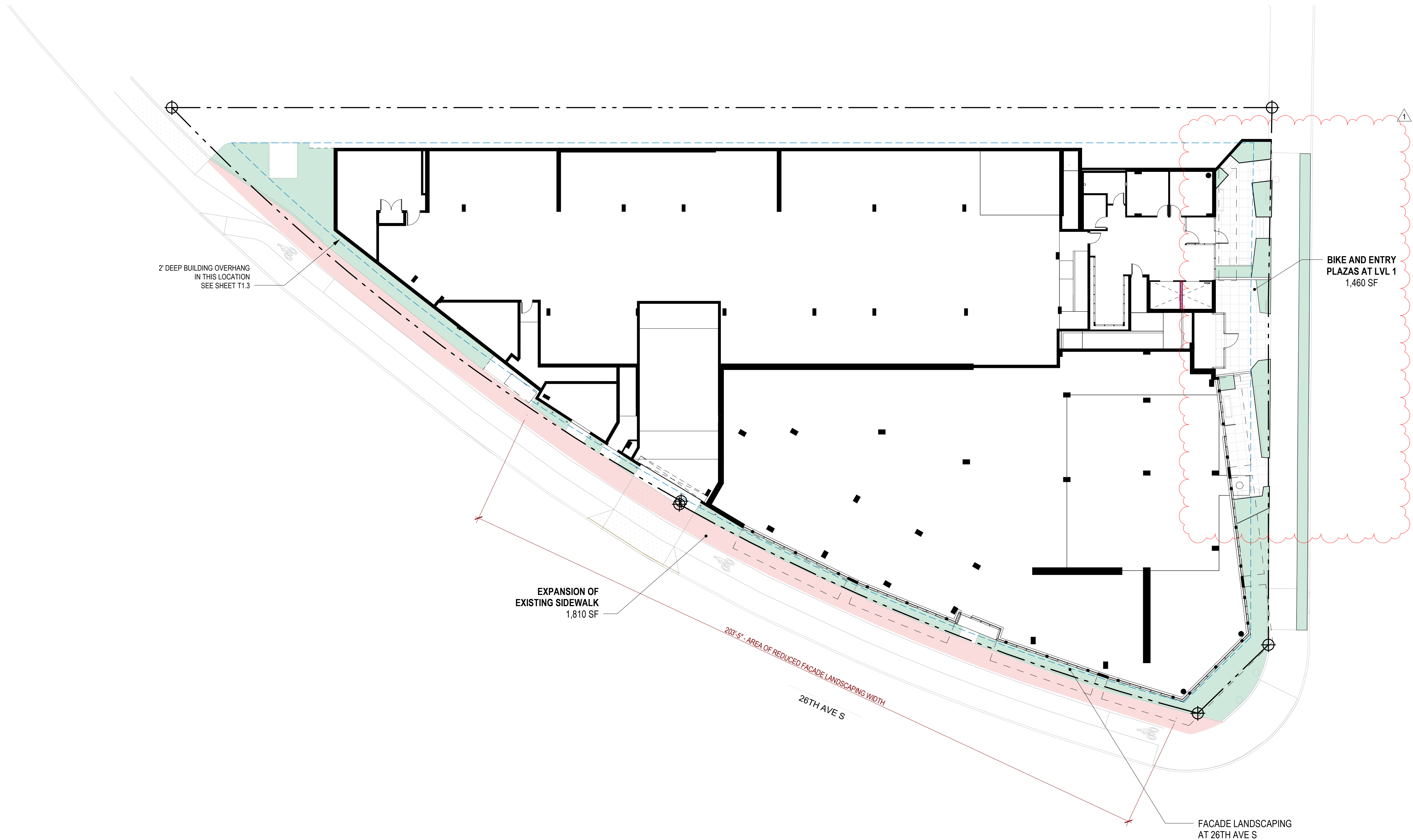
**NOT FOR CONSTRUCTION**







DIAGRAMS:



AMENITY NOTES:

**15.510.410 MINIMUM RECREATION SPACE REQUIREMENTS**  
INTENT: PROVIDE OPPORTUNITIES FOR BOTH PASSIVE AND ACTIVE RECREATION SPACE IN NEW RESIDENTIAL DEVELOPMENT. RECREATION SPACE SHALL INCLUDE AMENITIES APPROPRIATE FOR THE AGES OF PEOPLE LIKELY TO LIVE IN THE RESIDENCES AND BE LOCATED WITH REGARD TO CLIMATE CONDITIONS, PARTICULARLY SOLAR ACCESS, AND SAFETY.

- A. APPLICATION. EACH MULTI-FAMILY BUILDING OR COMPLEX OF FIVE (5) OR MORE UNITS SHALL PROVIDE A MINIMUM AREA OF RECREATION SPACE, AS DESIGNATED IN THIS CHAPTER.
- B. MINIMUM AREA REQUIRED.  
OVERLAY DISTRICTS (CITY CENTER, S. 154TH STREET AND ANGLE LAKE STATION AREAS)  
PER UNIT: 60 SQUARE FEET
- C. TYPE OF RECREATION SPACE REQUIRED:  
OUTDOOR COMMON SPACE: MINIMUM 75%  
PLAY AREAS: OPTIONAL  
INDOOR COMMON SPACE: UP TO 25%

RECREATION REQUIRED	
NUMBER OF UNITS	REQUIRED RECREATION AREA
130	7,800 SF

RECREATION PROVIDED			
NAME	TYPE	AREA PROVIDED	RATIO
COMMUNITY ROOM	INTERIOR	1,599 SF	20%
COMMUNITY TERRACE	EXTERIOR	6,364 SF	80%
TOTAL RECREATION AREA PROVIDED		7,963 SF	

**15.310.310 MINIMUM OPEN SPACE AREA REQUIRED**  
THE FOLLOWING STANDARDS ARE APPLICABLE TO ALL COMMERCIAL OR OTHER NONRESIDENTIAL DEVELOPMENT. SEE MULTI-FAMILY DEVELOPMENT STANDARDS, CHAPTER 15.510 SMC, MULTI-FAMILY HOUSING DESIGN STANDARDS, FOR RESIDENTIAL DEVELOPMENT STANDARDS.

- A. MINIMUM AREA REQUIRED. FIVE PERCENT (5%) OF NET SITE AREA SHALL BE SET ASIDE AS USABLE OUTDOOR OPEN SPACE ACCESSIBLE TO THE PUBLIC.

15.310.300 Open Space and Amenities  
15.310.310 Minimum Open Space Area Required  
A. Minimum Area Required. Five percent (5%) of net site area shall be set aside as usable outdoor open space accessible to the public.  
4. Areas That Qualify as Open Space. Open space that qualifies toward meeting the minimum open space requirement shall include one (1) or more of the following:  
b. Expansion of existing sidewalks;  
c. Publicly accessible plazas, courtyards or pocket parks constructed contiguous with new or existing sidewalks.

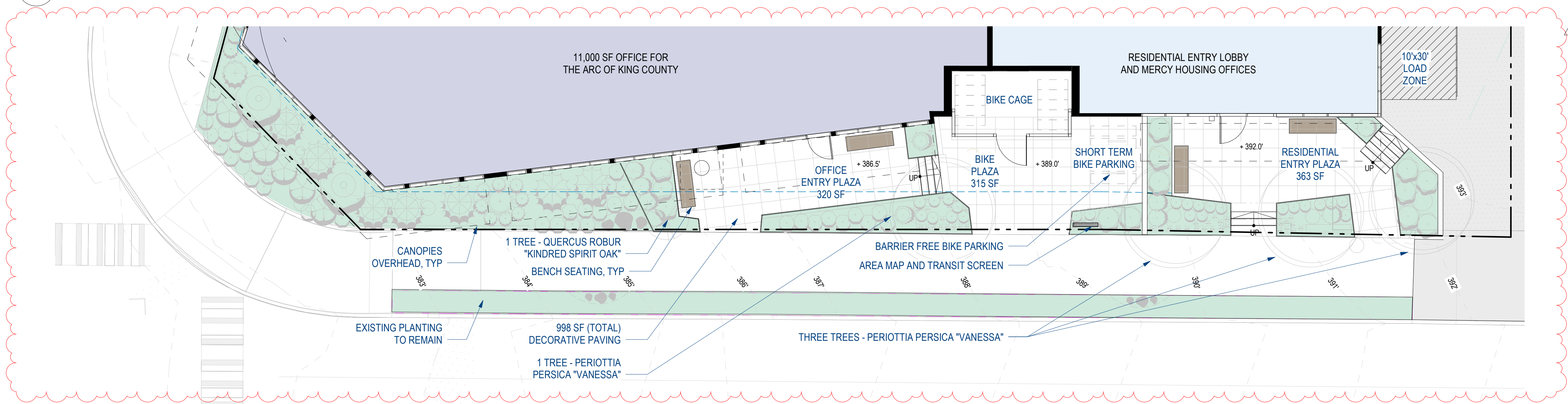
COMMERCIAL OPEN SPACE PROVIDED		
LOT AREA	OPEN SPACE	OPEN SPACE RATIO
33,529 SF	3,270 SF	9.75%

Chapter 15.445  
Landscaping and Tree Retention

Multi-Family:  
STREET FRONTAGE (S. 200TH ST): Type III, 10 ft. min  
SUCCEEDED BY 15.310.320 LOCATION AND DESIGN OF OPEN SPACE

BUILDING FACADE (26TH AVE S) IF >30 FT. HIGH OR >30 FT. WIDE - Type V, 5 ft. min  
REVISED THROUGH DEVELOPMENT AGREEMENT - TYPE V, 2 FT. MIN PROVIDED

1 OPEN SPACE, RECREATION, AND LANDSCAPING  
T1.5 SCALE: 1/16" = 1'-0"



2 BIKE PLAZA DIAGRAM  
T1.5 SCALE: 1/8" = 1'-0"

**R: RUNBERG**  
ARCHITECTURE  
GROUP

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206.956.1970 Main  
206.956.1971 Fax  
www.runberg.com

ARCHITECT'S STAMP:  
7430 REGISTERED ARCHITECT  
BRIAN RUNBERG  
LICENSED IN WASHINGTON

CONSULTANT'S STAMP:

REVISIONS

1	SPR CORRECTIONS	2022.12.05

SUBMITTALS

100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:



OPEN SPACE, LANDSCAPING, AND  
RECREATION DIAGRAM

DATE: 2022/12/01  
SCALE: As indicated  
DRAWN: Author  
JOB #: 21-102  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

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SHEET  
T1.5

NOT FOR CONSTRUCTION



[illegible]

T1.6 SCALE: 1/16" = 1'-0"



A-A - 26TH AVE S - PROPOSED STREET SECTION - SOUTH NORTHBOUND LANE

CITY OF SEATAC USE ONLY:

IMPERVIOUS AREA		
IMPERVIOUS AREA	LOT AREA	IMPERVIOUS COVERAGE
31,696 SF	33,529 SF	94.5%



**NOT FOR CONSTRUCTION**

SHEET

T 1.6





PER RECOLOGY:

**RESIDENTIAL COLLECTION REQUIRED:**

1 CUBIC YARD EACH OF COMPACTED GARBAGE AND RECYCLE PER 18 UNITS  
130 UNITS / 18 = 7.2 CU YD PER WEEK

**PROVIDED:**

4X EACH 2 CU YD COMPACTED TRASH AND RECYCLE  
8 CU YD PER WEEK

COMPACTED WASTE DUMPSTERS MUST BE STAGED OUTSIDE BY BUILDING STAFF

**COMMERCIAL COLLECTION REQUIRED:**

RECOLOGY BASES COMMERCIAL PICKUP ON HISTORICAL DATA

THE ARC OF KING COUNTY HAS HISTORICALLY SUBSCRIBED TO  
2 CU YD EACH OF UNCOMPACTED GARBAGE AND RECYCLE EVERY TWO WEEKS

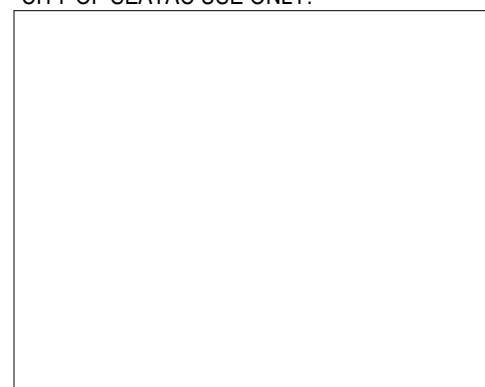
**PROVIDED:**

2X 2 CU YD NON-COMPACTED TRASH AND 1X 4 CU YD RECYCLE EVERY TWO WEEKS  
2 CU YD EACH PER WEEK  
WITH FUTURE CAPACITY FOR UP TO 8 CU YD EACH PER WEEK (WITH TWICE WEEKLY PICKUP)

1 TRASH ROOMS AND COLLECTION AREAS  
T1.7  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION


100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01





VERTICAL DATUM

NAVD88 PER GNSS OBSERVATION.

ORIGINATING BENCHMARK

CORE CONTROL #102

FOUND 3" BRASS DISC IN 4" X 4" CONCRETE MONUMENT WITH CENTER "X", DOWN 0.6'

ELEVATION = 376.01

PROJECT BENCHMARKS

CORE CONTROL #3

SET NAIL WITH CONTROL WASHER IN THE SEEM OF CONCRETE WALK, NW QUADRANT, INTERSECTION OF 26TH AVENUE S. AND S. 200TH STREET

ELEVATION = 377.83

HORIZONTAL DATUM

NAD83/2011 PER WASHINGTON STATE PLANE COORDINATE SYSTEM NORTH ZONE.

HORIZONTAL CONTROL

CORE CONTROL #101

FOUND 2" BRASS DISC IN 4" X 4" CONCRETE MONUMENT WITH CENTER PUNCH, STAMPED "PLS 23613", DOWN 0.7'

NORTHING= 157638.9279

EASTING =1277941.4004

CORE CONTROL #102

FOUND 3" BRASS DISC IN 4" X 4" CONCRETE MONUMENT WITH CENTER "X", DOWN 0.6'

NORTHING= 157657.7035

EASTING =1277330.2672

BASIS OF BEARINGS

N8827'08"W ALONG THE MONUMENTED CENTERLINE OF S. 200TH STREET PER GNSS OBSERVATION. NAVD 83/2011 WASHINGTON STATE PLANE COORDINATE SYSTEM NORTH ZONE.

REFERENCES

1. ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE NO. SUB 19-0005, RECORDED UNDER RECORDING NO. 2021062900043.

LEGAL DESCRIPTION

LOTS A OF ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE NO. SUB 19-0005, RECORDED UNDER RECORDING NO. 2021062900043, IN KING COUNTY, WASHINGTON.

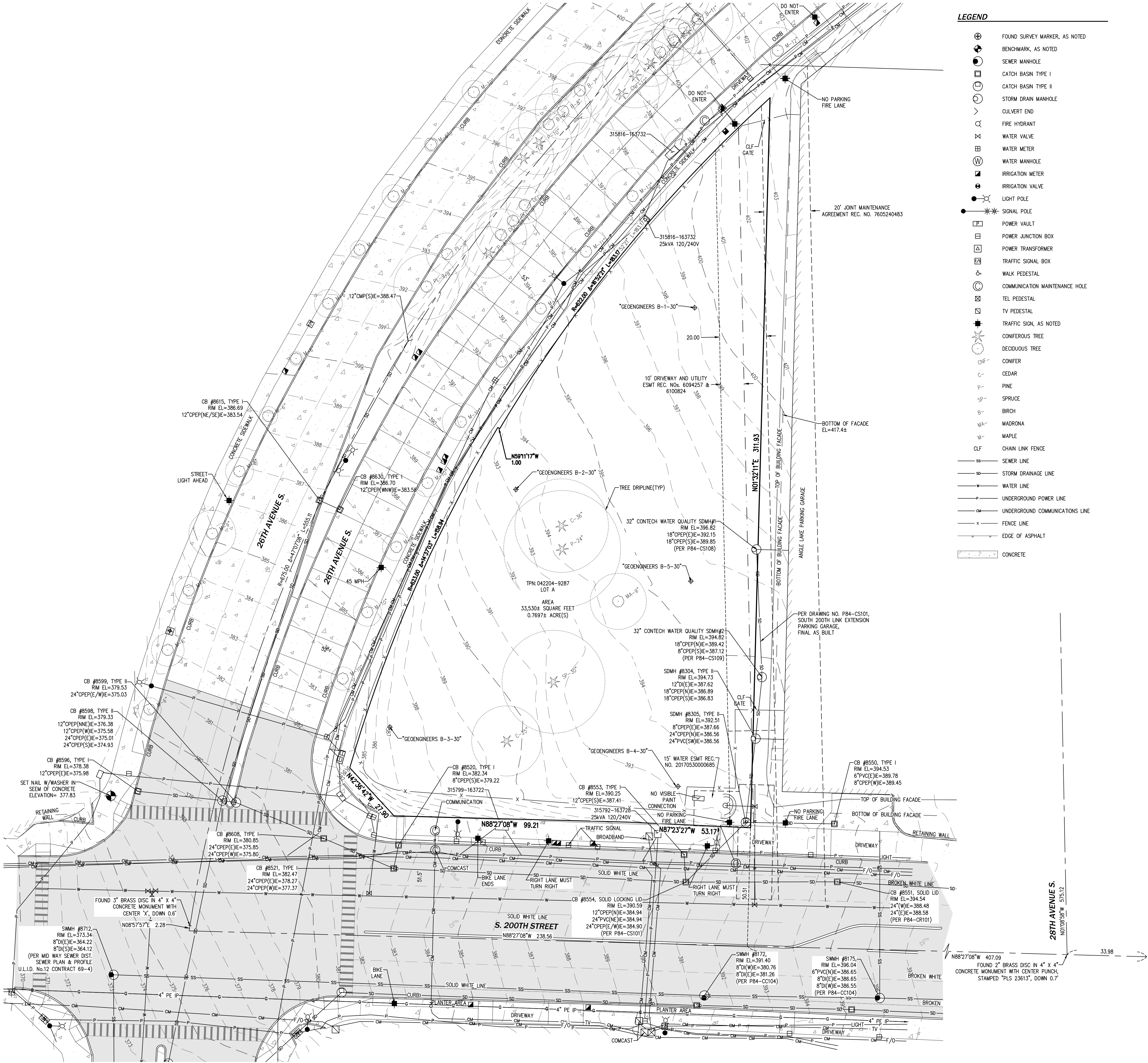
EXCEPTIONS CONTAINED IN TITLE

EXCEPTIONS 1-13 AND 22-26 NOT APPLICABLE TO THIS SURVEY.

- THIS SITE IS SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 6094257. (SHOWN HEREON.)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 6100824. (SHOWN HEREON.)
- THIS SITE IS SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN A DOCUMENT ENTITLED "JOINT MAINTENANCE AGREEMENT" RECORDED UNDER RECORDING NO. 7605240483. (BLANKET IN NATURE, NOTED HEREON.)
- THIS SITE IS SUBJECT TO THE RESTRICTIONS, CONDITIONS, DEDICATIONS, NOTES, EASEMENTS AND PROVISIONS DELINEATED ON THE FACE OF THE SURVEY RECORDED MARCH 20, 2012 RECORDED UNDER RECORDING NO. 2012032090003. (NOTHING TO PLOT, NOTED HEREON.)
- THIS SITE IS SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND/OR EASEMENTS RECORDED UNDER RECORDING NO. 20130406000558. (BLANKET IN NATURE, NOTED HEREON.)
- THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF A DOCUMENT ENTITLED "THIRD AMENDMENT TO DEVELOPMENT AND TRANSIT WAY AGREEMENT FOR SOUND TRANSIT CENTRAL RAIL SOUTH LINK PROJECT" RECORDED AUGUST 26, 2014 UNDER RECORDING NO. 20140826000459. (NOTHING TO PLOT, NOTED HEREON.)
- THIS SITE IS SUBJECT TO AN EASEMENT TO HIGHLINE WATER DISTRICT FOR WATER PIPELINE AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 20170530000685. (SHOWN HEREON.)
- THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS DELINEATED ON THE FACE OF THE ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE NO. SUB 19-0005 RECORDED JUNE 29, 2020 UNDER RECORDING NO. 2020062900043. (NOTHING TO PLOT, NOTED HEREON.)

NOTES

- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FILE NUMBER NCS-1087120-WAL, DATED AUGUST 30, 2021. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED COMMITMENT FILE NUMBER NCS-1087120-WAL. CORE DESIGN, INC. HAS RELIED WHOLLY ON FIRST AMERICAN TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON SEPTEMBER 21, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2021.
- PROPERTY AREA = 33,350± SQUARE FEET (0.7697± ACRES).
- ALL DISTANCES ARE IN US FEET AT GROUND LEVEL.
- CONTOUR INTERVAL = 1.0 FEET.
- ELEVATION AND/OR CONTOUR INFORMATION SHOWN HEREON IS GENERATED FROM DIRECT FIELD OBSERVATION. SAID INFORMATION MEETS US NATIONAL MAPPING STANDARDS AND IS ACCURATE TO WITHIN ONE-HALF THE CONTOUR INTERVAL.
- BOUNDARY INFORMATION SHOWN HEREON IS ANGLE LAKE LIKE LIGHT RAIL STATION TOD LOT LINE ADJUSTMENT, RECORDED UNDER 2020062900043. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATED TO THE BOUNDARY BY DIRECT FIELD OBSERVATION FROM CONTROLLING MONUMENTATION
- THIS IS A COMBINED FIELD TRAVERSE AND GPS/GNSS SURVEY. A THREE SECOND COMBINED ELECTRONIC TOTAL STATION AND GPS/GNSS UNIT WITH OPUS/NSRS CORRECTIONS WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR AS MARKED BY 811 OR OTHER UTILITY LOCATING PROVIDERS ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE EVIDENCE OF UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CLIENT UNDERSTANDS THAT CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR PAINTED UTILITY LOCATIONS.



LEGEND

- FOUND SURVEY MARKER, AS NOTED
- BENCHMARK, AS NOTED
- SEWER MANHOLE
- CATCH BASIN TYPE I
- CATCH BASIN TYPE II
- STORM DRAIN MANHOLE
- CULVERT END
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER MANHOLE
- IRRIGATION METER
- IRRIGATION VALVE
- LIGHT POLE
- SIGNAL POLE
- POWER VAULT
- POWER JUNCTION BOX
- POWER TRANSFORMER
- TRAFFIC SIGNAL BOX
- WALK PEDESTAL
- COMMUNICATION MAINTENANCE HOLE
- TEL PEDESTAL
- TV PEDESTAL
- TRAFFIC SIGN, AS NOTED
- CONIFEROUS TREE
- DECIDUOUS TREE
- CEDAR
- PINE
- SPRUCE
- BIRCH
- MADRONA
- MAPLE
- CHAIN LINK FENCE
- SEWER LINE
- STORM DRAINAGE LINE
- WATER LINE
- UNDERGROUND POWER LINE
- UNDERGROUND COMMUNICATIONS LINE
- FENCE LINE
- EDGE OF ASPHALT
- CONCRETE

DATE	1/3/22
REVISIONS	
NO.	1
PROCESS REQUESTED	ADDITIONAL TOPO
DESIGNED	DRAWN LAWRENCE C. HICKS
APPROVED	GLENN R. SPRAGUE, PLS.
PROJECT NUMBER	21306

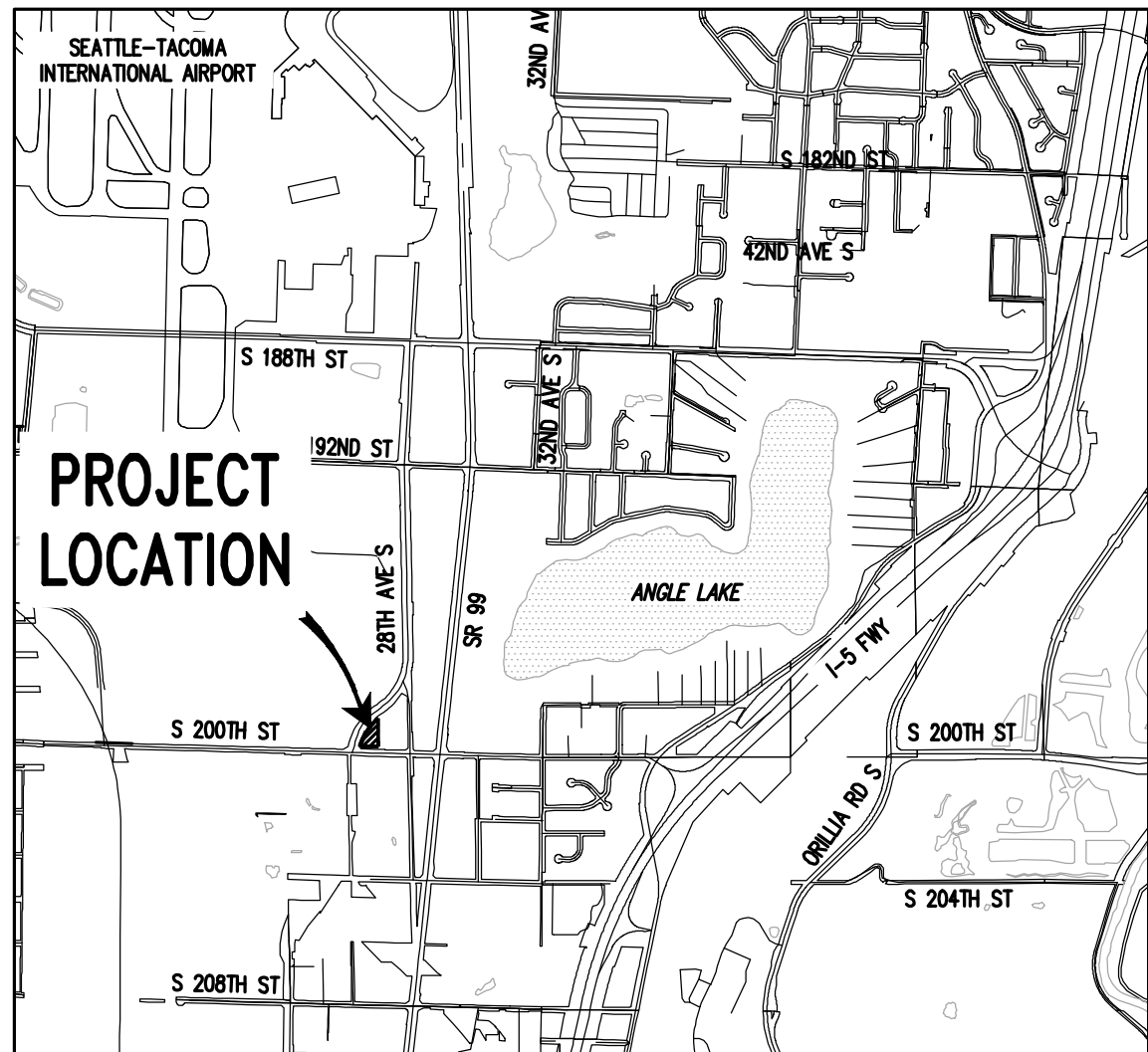
BOUNDARY & TOPOGRAPHIC SURVEY  
ANGLE LAKE DEVELOPMENT  
MERCY HOUSING  
6930 MARTIN LUTHER KING JR. WAY S.  
SEATTLE, WA. 98118

CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
PLANNING  
SURVEYING  
CORE DESIGN

12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885.7877



	POINT SURVEY MARKER, AS NOTED
	BENCHMARK, AS NOTED
	SEWER MANHOLE
	CATCH BASIN TYPE I
	CATCH BASIN TYPE II
	STORM DRAIN MANHOLE
	CULVERT END
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	WATER MANHOLE
	IRRIGATION METER
	IRRIGATION VALVE
	LIGHT POLE
	SIGNAL POLE
	POWER VAULT
	POWER JUNCTION BOX
	POWER TRANSFORMER
	TRAFFIC SIGNAL BOX
	WALK PEDESTAL
	COMMUNICATION MAINTENANCE HOLE
	TEL PEDESTAL
	TV PEDESTAL
	TRAFFIC SIGN, AS NOTED
	CONIFEROUS TREE
	DECIDUOUS TREE
	CONIFER
	CEDAR
	PINE
	SPRUCE
	BIRCH
	MADRONA
	MAPLE
	CHAIN LINK FENCE
	SEWER LINE
	STORM DRAINAGE LINE
	WATER LINE
	UNDERGROUND POWER LINE
	UNDERGROUND COMMUNICATIONS LINE
	FENCE LINE
	EDGE OF ASPHALT
	CONCRETE



CONTRACTOR IS ALERTED TO THE FACT THAT WORK WILL BE ACCOMPLISHED AROUND ACTIVE PSE GAS AND ENERGIZED SEATTLE CITY LIGHT (SCL) FACILITIES THAT ARE SERVING EXISTING CUSTOMERS. CONTRACTOR SHALL COORDINATE WITH PSE AND SCL TO DETERMINE WHICH FACILITIES ARE ACTIVE AND ENERGIZED AND SHALL IMPLEMENT SAFETY PROCEDURES PER PSE AND SCL REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH PSE AND SCL TO ENSURE THAT FACILITIES ARE IN PLACE TO MAINTAIN SERVICE TO CUSTOMERS THROUGHOUT CONSTRUCTION.

EXISTING LEGEND AND SURVEY NOTES WERE PREPARED BY THE SURVEYOR AND ARE SHOWN HEREON FOR REFERENCE ONLY. REFER TO THE SHEETS PREPARED BY CORE DESIGN SURVEYING INC., DATED JAN 2022, FOR ALL SURVEY INFORMATION.

**VERTICAL DATUM**  
NAVD88 PER GNSS OBSERVATION.

**ORIGINATING BENCHMARK**  
CORE CONTROL #102  
FOUND 3" BRASS DISC IN 4"x4"  
ELEVATION = 376.01

**PROJECT BENCHMARKS**  
CORE CONTROL #3  
SET NAIL WITH CONTROL WASHER  
INTERSECTION OF 26TH AVENUE S  
ELEVATION = 377.83

NAD83/2011 PER WASHINGTON STATE PLANE COORDINATE SYSTEM NORTH ZONE.

CORE CONTROL #101

FOUND 2" BRASS DISC IN 4"x4" CONCRETE MONUMENT WITH CENTER PUNCH, STAMPED  
"PLS 23613". DOWN 0.7'

NORTHING= 157638.9279  
EASTING =1277941.4004

CORE CONTROL #102

FOUND 3" BRASS DISC IN 4"x4" CONCRETE MONUMENT WITH CENTER 'X', DOWN 0.6'

NORTHING= 157657.7035  
EASTING =1277330.2672

N88°27'08"W ALONG THE MONUMENTED CENTERLINE OF S. 200TH STREET PER GNSS OBSERVATION. NAVD 83/2011 WASHINGTON STATE PLANE COORDINATE SYSTEM NORTH ZONE.

1. ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE NO. SUB 19-0005,  
RECORDED UNDER RECORDING NO. 20210629900043.

**LEGAL DESCRIPTION**

LOTS A OF ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE NO. SUB 19-0005,  
RECORDED UNDER  
RECORDING NO. 20210629900043, IN KING COUNTY, WASHINGTON.

EXCEPTIONS 1-13 AND 22-26 NOT APPLICABLE TO THIS SURVEY.

14. THIS SITE IS SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 6094257. (SHOWN HEREON.)

15. THIS SITE IS SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 6100824. (SHOWN HEREON.)

16. THIS SITE IS SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN A DOCUMENT ENTITLED "JOINT MAINTENANCE AGREEMENT" RECORDED UNDER RECORDING NO. 7605240483. (BLANKET IN NATURE, NOTED HEREON.)

17. THIS SITE IS SUBJECT TO THE RESTRICTIONS, CONDITIONS, DEDICATIONS, NOTES, EASEMENTS AND PROVISIONS DELINEATED ON THE FACE OF THE SURVEY RECORDED MARCH 20, 2012 RECORDED UNDER RECORDING NO. 20120320900003. (NOTHING TO PLOT. NOTED HEREON.)

18. THIS SITE IS SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND/OR EASEMENTS RECORDED UNDER RECORDING NO. 20130405000558. (BLANKET IN NATURE. NOTED HEREON.)

19. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF A DOCUMENT ENTITLED "THIRD AMENDMENT TO DEVELOPMENT AND TRANSIT WAY AGREEMENT FOR SOUND TRANSIT CENTRAL RAIL SOUTH LINK PROJECT" RECORDED AUGUST 26, 2014 UNDER RECORDING NO. 20140826000459. (NOTHING TO PLOT. NOTED HEREON.)

20. THIS SITE IS SUBJECT TO AN EASEMENT TO HIGHLINE WATER DISTRICT FOR WATER PIPELINE AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 20170530000685. (SHOWN HEREON.)

21. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS DELINEATED ON THE FACE OF THE ANGLE LAKE STATION TOD LOT LINE ADJUSTMENT FILE NO. SUB 19-0005 RECORDED JUNE 29, 2020 UNDER RECORDING NO. 2020062900043. (NOTHING TO PLOT. NOTED HEREON.)

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FILE NUMBER NCS-1087120-WA1, DATED AUGUST 30, 2021. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED COMMITMENT FILE NUMBER NCS-1087120-WA1. CORE DESIGN, INC. HAS RELIED WHOLLY ON FIRST AMERICAN TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON SEPTEMBER 21, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2021.
3. PROPERTY AREA = 33,350± SQUARE FEET (0.7697± ACRES).
4. ALL DISTANCES ARE IN US FEET AT GROUND LEVEL.
5. CONTOUR INTERVAL = 1.0 FEET.
6. ELEVATION AND/OR CONTOUR INFORMATION SHOWN HEREON IS GENERATED FROM DIRECT FIELD OBSERVATION. SAID INFORMATION MEETS US NATIONAL MAPPING STANDARDS AND IS ACCURATE TO WITHIN ONE-HALF THE CONTOUR INTERVAL.
7. BOUNDARY INFORMATION SHOWN HEREON IS ANGLE/LENGTH LIGHT RAIL STATION TOTAL LOT LINE ADJUSTMENT, RECORDED UNDER 2020K0629900043. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATED TO THE BOUNDARY BY DIRECT FIELD OBSERVATION FROM CONTROLLING MONUMENTATION
8. THIS IS A COMBINED FIELD TRAVERSE AND GPS/GNSS SURVEY. A THREE SECOND COMBINED ELONGOR TOTAL STATION AND GPS/GNSS UNIT WITH OPUS/WSRN CORRECTIONS WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTS AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
9. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR AS MARKED BY 611 OR OTHER UTILITY LOCATING PROVIDERS ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE EVIDENCE OF UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CLIENT PROVIDES NEAREST AVAILABLE PUBLIC RECORDS NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR PAINTED UTILITY LOCATIONS.

AVE	AVENUE
CB	CATCH BASIN
COS	CITY OF SEATAC
CSBC	CRUSHED SURFACE BASE COURSE
E	EAST
EL/ELEV	ELEVATION
EX/EXIST	EXISTING
HMA	HOT MIX ASPHALT
IE	INVERT ELEVATION
LF	LINEAR FOOT
MAX	MAXIMUM
MIN	MINIMUM
N	NORTH
NTS	NOT TO SCALE
ROW	RIGHT OF WAY
RT	RIGHT
S	SOUTH
SD	SERVICE DRAIN (STORM)
ST	STREET
STA	STATION
TYP	TYPICAL
W	WATER, WEST, WITH
#	NUMBER
Ø	DIAMETER

**SANITARY SEWERS**  
MIDWAY SEWER DISTRICT  
3030 SOUTH 240TH STREET  
PO BOX 3487  
KENT, WA 98032  
206-824-4960

CITY OF SEA-TAC  
PUBLIC WORKS DEPARTMENT  
4800 SOUTH 188TH STREET  
SEATAC, WA 98188  
206-973-4800

**PUGET SOUND ENERGY**  
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KENT, WA 98032  
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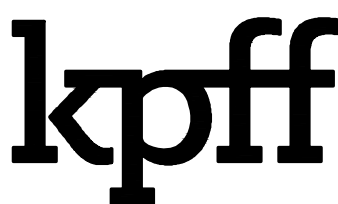
16331 NE 72ND WAY  
REDMOND, WA 98052

COMCAST

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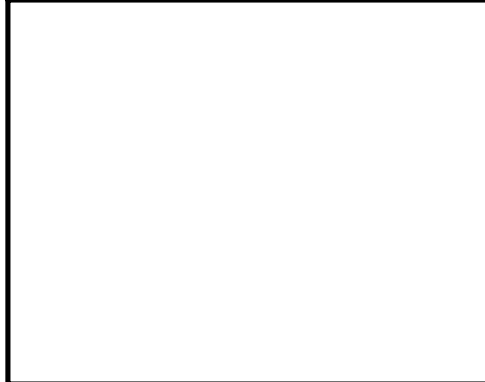
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100% SD / SITE PLAN REVIEW SET	2022.08.31
100% DD/STE CLEAR & GRADE SET	2022.12.01

2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY



# CIVIL COVER SHEET, NOTES, LEGEND & ABBREVIATIONS

DATE: 2022/08/31  
SCALE: \_\_\_\_\_  
DRAWN: AST  
JOB #: 2100671  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

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SHEET

**C-0000**



1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SEATAC MUNICIPAL CODE (SMC), THE 2016 KING COUNTY ROAD STANDARDS (KCRS) AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO ROAD STANDARDS, THE 2016 KING COUNTY SURFACE WATER DESIGN MANUAL (KCSWDM) AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM, AND THE 2016 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND MUNICIPAL CONSTRUCTION AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO ROAD STANDARDS AND ALL CONDITIONS OF THE PERMITS AND PRELIMINARY SUBDIVISION AND PRELIMINARY SHORT PLAT APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO CITY OF SEATAC.
2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE CITY OF SEATAC ENGINEERING REVIEW DIVISION REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE ENGINEERING DIVISION PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE ENGINEERING DIVISION ENGINEERING MANAGER PRIOR TO CONSTRUCTION.
3. APPROVAL OF ANY RIGHT-OF-WAY IMPROVEMENT OR GRADING AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.). ALL WORK SHOWN ON THESE PLANS NEED TO BE PERMITTED BY THE CITY OF SEATAC ENGINEERING DIVISION PRIOR TO THE START OF CONSTRUCTION.
4. A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE CITY OF SEATAC ENGINEERING DIVISION, THE APPLICANT, THE APPLICANT'S CONSTRUCTION REPRESENTATIVE, AND REPRESENTATIVES FROM THE VARIOUS UTILITIES BEING CONSTRUCTED OR AFFECTED BY THESE PLANS PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY.
5. A COPY OF THE LATEST APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. CONSTRUCTION NOISE SHALL BE LIMITED IN ACCORDANCE WITH SEATAC MUNICIPAL CODE SECTION 8.05.360; NORMALLY NO CONSTRUCTION OR CONSTRUCTION RELATED NOISES MAY TAKE PLACE BETWEEN 10:00 P.M. TO 7:00 A.M. ON WEEKDAYS AND 10:00 P.M. TO 9:00 A.M. ON WEEKENDS.
7. IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFFSITE WORK WITHIN THE ROAD RIGHT-OF-WAY. ALL EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
8. DATUM SHALL BE NAVD 1988 UNLESS OTHERWISE APPROVED BY CITY OF SEATAC ENGINEERING DIVISION.
9. GROUNDWATER ENCOUNTERED DURING EXCAVATION SHALL BE DISPOSED OF PER SECTION 7-08 OF THE WSDOT STANDARD SPECIFICATIONS.
10. ALL UTILITY TRENCHES SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY. REDUCED COMPACTION REQUIREMENTS ARE ALLOWED FOR UTILITY TRENCHES CROSSING BIORETENTION OR PERMEABLE PAVEMENT INSTALLATIONS.
11. ALL ROADWAY SUBGRADE SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY (WSDOT 2-06.3).
12. OPEN CUTTING OF EXISTING ROADWAYS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY CITY OF SEATAC ENGINEERING DIVISION REPRESENTATIVE AND NOTED ON THESE APPROVED PLANS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. SECTION 1-07.23, "TRAFFIC CONTROL," OF THE WSDOT STANDARD SPECIFICATIONS SHALL APPLY IN ITS ENTIRETY.
14. CLOSURE OF A LANE OF TRAFFIC ON THE FOLLOWING ARTERIALS SHALL REQUIRE THE PRESENCE OF AN OFF-DUTY POLICE OFFICER WITH MARKED VEHICLE AS PART OF THE TRAFFIC CONTROL PLAN:
  - INTERNATIONAL BOULEVARD
  - MILITARY ROAD SOUTH
  - DES MOINES MEMORIAL DRIVE SOUTH
  - 24TH AVENUE SOUTH
  - 28TH AVENUE SOUTH
  - S. 154TH STREET
  - S. 160TH STREET
  - S. 170TH STREET
  - S. 176TH STREET
  - S. 188TH STREET
  - S. 200TH STREET
  - ANY INTERSECTION

1. THESE PLANS ARE APPROVED FOR STANDARD ROAD AND STORMWATER IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS BRIDGES, VAULTS, AND RETAINING WALLS REQUIRE A SEPARATE REVIEW AND APPROVAL BY THE ENGINEERING DIVISION AND THE BUILDING DIVISION PRIOR TO CONSTRUCTION (CSM TITLE 13 AND SMC 11.05.040).
2. ROCKERIES ARE CONSIDERED TO BE A METHOD OF BANK STABILIZATION AND EROSION CONTROL. ROCKERIES SHALL NOT BE CONSTRUCTED TO SERVE AS RETAINING WALLS. ROCKERIES IN CITY OF SEATTLE ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH KCRS DRAWING NUMBERS 5-003, 5-004, 5-005, AND 5-006. ROCKERIES OUTSIDE OF ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

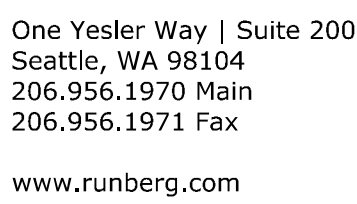
1. ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT 7-02.3(1). REDUCTIONS IN COMPACTION REQUIREMENTS ARE ALLOWED TO ACCOMMODATE BIO RETENTION OR PERMEABLE PAVEMENT INSTALLATIONS.
2. STEEL PIPE SHALL BE GALVANIZED AND HAVE ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUTSIDE (KCRS 7.03).
3. ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, SHALL HAVE LOCKING FRAMES AND GRATES OR SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
4. ALL CATCH BASIN GRATES SHALL CONFORM TO KCRS DRAWING NUMBERS 7-013; 7-017; 7-018; 7-019; 7-020; 7-021; 7-022; AND SHALL INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS". ALL GRATES AND SOLID COVERS WITHIN THE RIGHT OF WAY SHALL HAVE EON LOCK OR ERGO ROUND COVERS.
5. ALL DRIVEWAY CULVERTS LOCATED WITHIN CITY OF SEATAC RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 0.1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE (KCRS 7.03(H), DRAWING NO. 7-001).
6. THE STANDARD ROCK LINING OF DITCHES SHALL BE IN ACCORDANCE WITH THE KING COUNTY SURFACE WATER DESIGN MANUAL AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM AND SECTION 9-13 OF THE WSDOT STANDARD SPECIFICATIONS AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO ROAD STANDARDS. ROCK GRADATION SHALL BE AS FOLLOWS: PASSING 8-INCH SQUARE SIEVE 100%; PASSING 3-INCH SQUARE SIEVE 40%; AND PASSING 3/4 INCH SIEVE 10%. INSTALLATION SHALL BE PLACED SO AS TO FORM A FIRM, DENSE PROTECTIVE MAT CONSISTING WITH EXAMPLES ILLUSTRATED IN FIGURE 7-024, AND CONFORMING TO THE DESIGN SURFACE OF THE DITCH.
7. ALL STORM PIPE, DETENTION TANKS & VAULTS; WATER QUALITY TANKS & VAULTS; AND COMBINED DETENTION & WATER QUALITY TANKS & VAULTS SHALL BE SUBJECT TO TESTING PER SECTION 7-04 OF THE WSDOT STANDARD SPECIFICATIONS. VIDEO INSPECTION & CLEANING AS REQUIRED IN SAME SECTION.
8. DETENTION TANK MUST PASS AN EXFILTRATION TEST PER WSDOT 2016, 7-04.3(b) FOR DETENTION PRIOR TO FINALIZING SITE PERMIT.
9. ALL DISTURBED PERVIOUS AREAS (COMPACTED, GRADED, LANDSCAPED, ETC.) OF THE DEVELOPMENT SITE MUST BE AMENDED USING THE REQUIREMENTS SPECIFIED IN THE KCSWDM AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM IF THEY MEET OR EXCEED THE THRESHOLDS SPECIFIED IN THE ADDENDUM.
10. SEASONAL CLEARING IS LIMITED BETWEEN OCTOBER 1 AND MARCH 30 INCLUSIVE, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
11. PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS AND/OR BUILDINGS ON THE SITE, THOSE PORTIONS OF THE STORMWATER FACILITIES NECESSARY TO ACCOMMODATE THE CONTROL OF SURFACE AND STORMWATER RUNOFF DISCHARGE FROM THE SITE MUST BE CONSTRUCTED, APPROVED AND UNJUNCTIONED PROPERLY.
12. DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, EXCEPT FOR THOSE LOTS APPROVED FOR INFILTRATION OR DISPERSION BY THE CITY OF SEATAC. STUB-OUTS SHALL CONFORM TO THE FOLLOWING:
  - a) EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL SURFACE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET SHALL HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORMWATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTLET LOCATION.
  - b) OUTLETS ON EACH LOT SHALL BE LOCATED WITH A FIVE-FOOT, 2' x 4' STAKE MARKED "STORM" OR "DRAIN". THE STAKE SHALL EXTEND ABOVE SURFACE LEVEL, BE VISIBLE, AND BE SECURED TO THE STUB-OUT.
  - c) PIPE MATERIAL SHALL CONFORM TO UNDERDRAIN SPECIFICATIONS DESCRIBED IN KCRS 7.03. IF NON-METALLIC, THE PIPE SHALL CONTAIN WIRE OR OTHER ACCEPTABLE DETECTION.
  - d) STORMWATER EASEMENTS ARE REQUIRED FOR SYSTEMS DESIGNED TO CONVEY FLOWS THROUGH INDIVIDUAL LOTS.
  - e) THE APPLICANT/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO UTILITIES (E.G., POWER, GAS, TELEPHONE, TELEVISION, ETC.).
  - f) ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOMEOWNER.
13. PIPE COVER NOTES:
  - a) COVER IS THE MATERIAL OVER THE OUTSIDE TOP OF THE PIPE (COVER MAY NOT INCLUDE THE MATERIAL OF THE PIPE). IF YOU HAVE A THREE FOOT GRADE DIFFERENTIAL BETWEEN THE INVERT OF A 12" DIAMETER PIPE AND THE FINISH GRADE, YOU DO NOT HAVE TWO FOOT OF COVER OVER THE PIPE.
  - b) WHEN CALCULATING GRADE FOR PIPE COVER THERE SHALL BE A DIFFERENTIAL EQUAL TO THE DEPTH OF COVER (IN FEET) PLUS 0.2 FEET FOR THE WALL THICKNESS OF THE PIPE PLUS THE DIAMETER OF THE PIPE OVER THE INVERT ELEVATION OF THE PIPE.
  - c) FOR A MIN. 2 FT. COVER - ANY MATERIAL LISTED IN THE KING COUNTY SURFACE WATER DESIGN MANUAL AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM MAY BE USED.
  - d) FOR COVER FROM 1 FT. TO 2 FT. USE REINFORCED CONCRETE PIPE.
  - e) FOR COVER LESS THAN 1FT. DUCTILE IRON PIPE IS USED.
  - f) PVC PIPE REQUIRES 3 FT. COVER.
  - g) ALL PVC PIPES REQUIRES A SAND COLLAR WHEN CONNECTING TO A CONCRETE STRUCTURE.

NOTE: EXCEPTIONS MAY BE GRANTED IN AREAS THAT CANNOT BE ACCESSED BY VEHICLES.

1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR STORMWATER DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, LOW IMPACT DEVELOPMENT BMPs, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC BMPs IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (KCSWDM APPENDIX D AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL BMPs, SUCH AS CONSTRUCTION WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACKING OUT TO ROAD RIGHT-OF-WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT. PEDESTRIAN ACCESS ROUTE TO BE MAINTAINED AT ALL TIMES.
5. PROTECT ALL BIORETENTION FACILITIES, RAIN GARDENS, AND PERMEABLE PAVEMENT FROM SEDIMENTATION THROUGH INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BMPs. RESTORE PERMANENT BMPs TO THEIR FULL FUNCTIONING CONDITION IF THEY ACCUMULATE SEDIMENT DURING CONSTRUCTION.
6. PREVENT COMPACTION OF BIORETENTION FACILITIES AND RAIN GARDENS BY EXCLUDING CONSTRUCTION EQUIPMENT AND FOOT TRAFFIC.
7. THE ESC BMPs SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, STORMWATER SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
8. THE ESC BMPs SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC BMPs SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL COVER BMPs, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION, ETC.).
9. THE ESC BMPs SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC BMPs.
10. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC COVER METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
11. ANY AREA NEEDING ESC BMPs NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
12. THE ESC BMPs ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN TWENTY-FOUR (24) HOURS FOLLOWING A STORM EVENT.
13. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTEAM SYSTEM.
14. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY ESC BMPs AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY. USE OF BIORETENTION AREAS FOR TEMPORARY SETTLING IS GENERALLY NOT ALLOWED.
15. COVER BMPs WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE KCSWDM AS AMENDED BY THE CITY OF SEATAC ADDENDUM TO THE KCSWDM.
16. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
17. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEED AND THOSE AREAS TO BE COVERED BY OTHER METHODS SHALL BE SUBMITTED TO THE CITY OF SEATAC CITY ENGINEER. THE CITY ENGINEERING INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR STORMWATER FACILITIES.
18. THE CONSTRUCTION PROJECT APPROVED BY THIS PERMIT IS SUBJECT TO CITY BUILDING INSPECTION UNDER SEATAC MUNICIPAL CODES TITLE 12 (PUBLIC UTILITIES CODE) AND TITLE 13 (BUILDINGS AND CONSTRUCTION CODE) WITHOUT PRIOR NOTICE.

2. HOLD THE EROSION SEDIMENTATION CONTROL PRE-CONSTRUCTION MEETING ON SITE.
3. INITIAL EROSION SEDIMENTATION CONTROL (ESC) SITE INSPECTION.
3. HOLD THE PRE-CONSTRUCTION MEETING.
4. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR.
5. FLAG AND/OR FENCE CLEARING LIMITS, SENSITIVE AREAS AND THEIR BUFFERS, NATIVE VEGETATION AND TREES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA AS REQUIRED BY THE APPROVED PLANS, PERMIT CONDITIONS; OR SEPA CONDITIONS.
6. INSPECTION AND SIGN-OFF OF CLEARING LIMITS BY THE ENGINEERING INSPECTOR.
7. INSTALL CATCH BASIN PROTECTION AS REQUIRED.
8. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
9. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
10. CLEARLY MARK LOCATIONS OF PROPOSED BIORETENTION FACILITIES, RAIN GARDENS, AND PERMEABLE PAVEMENT AND INSTALL ESC BMPs TO PROTECT THEM FROM COMPACTION AND SEDIMENTATION.
11. CONSTRUCT SEDIMENT PONDS AND TRAPS.
12. INSPECTION OF ESC BMPs BY THE ENGINEERING INSPECTOR PRIOR TO COMMENCEMENT OF GRADING ACTIVITY.
13. GRADE AND STABILIZE CONSTRUCTION ROADS.
14. CONSTRUCT STORMWATER CONTROLS (INTERCEPT DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
15. MAINTAIN ESC BMPs IN ACCORDANCE WITH CITY OF SEATAC STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
16. RELOCATE STORMWATER CONTROLS AND ESC BMPs OR INSTALL NEW BMPs SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF SEATAC EROSION AND SEDIMENT CONTROL STANDARDS.
17. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
18. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
19. SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
20. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND TEMPORARY BMPs REMOVED AS APPROPRIATE.
21. PRIOR TO FINAL INSPECTION APPROVAL, CONDUCT AN INFILTRATION TEST FOR ANY BIO RETENTION OR PERMEABLE PAVEMENT INSTALLATION TO CONFIRM THAT THE PERMANENT BMPs WERE NOT IMPACTED BY CONSTRUCTION ACTIVITIES. IF NEEDED, RESTORE OR REPLACE BIO RETENTION OR PERMEABLE PAVEMENT BMPs, SO THAT THEY ARE FULLY FUNCTIONING UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH MIDWAY SEWER DISTRICT AND THE DEPARTMENT OF ECOLOGY CRITERIA FOR SEWAGE WORK DESIGN.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION.
3. THE SANITARY SEWER PIPE SHALL BE PVC, CONFORMING TO ASTM D-3034, SDR 35, UNLESS OTHERWISE SPECIFIED. BEDDING AND BACKFILL SHALL BE AS REQUIRED BY MIDWAY SEWER DISTRICT.
4. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF MIDWAY SEWER DISTRICT.
5. A PRECONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION, AND SHOULD BE ATTENDED BY THE CONTRACTOR, ENGINEER, OWNER, OTHER UTILITIES AND REPRESENTATIVES OF MIDWAY SEWER DISTRICT.
6. THE NEW SANITARY SEWER LINE SHALL BE PLUGGED AND NOT PUT INTO SERVICE UNTIL ALL LINES HAVE BEEN CLEANED, FLUSHED AND TESTED. ALL SANITARY LINES SHALL BE INSPECTED BY THE MIDWAY SEWER DISTRICT AND ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE MIDWAY SEWER DISTRICT REPRESENTATIVE.
7. THE LOCATIONS AND SIZES OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY FROM INFORMATION OF RECORD. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND SIZE OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CALL "ONE"-CALL (1-800-424-5555) FOR UTILITY LOCATIONS (WATER, SANITARY SEWER, STORM SEWER, GAS, POWER, TELEPHONE AND TELEVISION.)
9. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY MIDWAY SEWER DISTRICT PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
10. ALL PIPE INVERTS AND PIPE LENGTHS ARE MEASURED AND CALCULATED TO THE CENTER OF MANHOLES.
11. BEDDING MATERIAL FOR SEWER PIPES SHALL BE 4" BEDDING AND 4" PADDING CONSISTING OF EITHER 5/8" CRUSHED OR PEA GRAVEL.
12. BACKFILL SHALL BE COMPACTED IN MULTIPLE LIFTS MEETING 95% COMPACTION PER A.S.T.M. STANDARDS. DEPTH OF LIFTS DEPENDS ON TYPE OF COMPACTOR USED.
13. A COLD MIX PATCH WILL BE IMMEDIATELY PLACED AN MAINTAINED OVER COMPACTED BACKFILL IN A MANNER ACCEPTABLE TO THE LOCAL RIGHT OF WAY AUTHORITY.
14. A PERMIT HOT MIX PATCH, THE SAME THICKNESS AS THE ORIGINAL ASPHALT OR MINIMUM OF 2", WHICHEVER IS GREATER, WILL BE PLACED AND SEALED WITH PAVING GRADE ASPHALT WITHIN THIRTY CALENDAR DAYS.
15. ALL SIDE SEWERS SHALL BE EXTENDED TO PROPERTY LINES. PIPE PLUGS WILL BE REQUIRED FOR SIDE SEWER IF IMMEDIATE CONNECTION IS NOT TO BE MADE.
16. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, CONTRACTOR SHALL SAWCUT OLD TO PROVIDE A CLEAN SHARP EDGE TO MATCH TO. TACK COAT SHALL BE APPLIED TO INSURE A PROPER BOND BETWEEN THE OLD AND NEW ASPHALT.
17. ASPHALT SHALL BE CUT TO A WIDTH EQUAL TO THE TRENCH WIDTH PLUS ADDITIONAL FLOT ON BOTH SIDES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LINE OF TRAFFIC AFFECTED.
19. COMPACTON OF SUBGRADE FOR ALL COMMERCIAL DEVELOPMENT PARKING LOTS AND ROADWAYS SHALL COMPLY WITH COMPACTON REQUIREMENTS FOR KING COUNTY MAINTAINED ROADWAYS. THE SUBGRADE UNDER ALL AREAS TO BE PAVED SHALL BE FIRM AND UNYIELDING AND COMPACTED TO 95% OF THE MAXIMUM DENSITY (PER STANDARD PROCTOR TEST). PROOF ROLLING PRIOR TO PAVING IS REQUIRED TO INSURE STABILITY.
20. MANHOLE COVERS SHALL BE CAST IRON BOLT DOWN TYPE.
21. FINAL PROJECT ACCEPTANCE BY MIDWAY SEWER DISTRICT IS PENDING APPROVAL OF ENGINEERS AS-BUILT, PROJECT COST, AND ANY NECESSARY CUIT CLAIMS AND OR EASEMENT & BILL OF SALE.
22. G.U. LINER MANHOLE BASES OR EQUAL TO BE INSTALLED ON NEW MANHOLES.



100% SD / SITE PLAN REVIEW SET	2022.08.3
100% DD/STE CLEAR & GRADE SET	2022.12.0

CITY OF SEATAC USE ONLY

DATE: 2022/08/31  
SCALE:  
DRAWN: AST  
JOB #: 2100671  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

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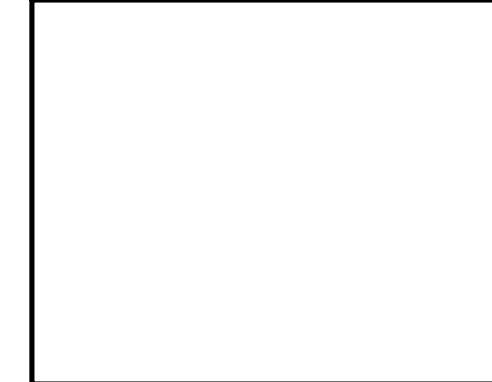
#### REVISIONS


#### SUBMITTALS

100% SD / SITE PLAN REVIEW SET	2022.08.31
100% DD/STE CLEAR & GRADE SET	2022.12.01

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:



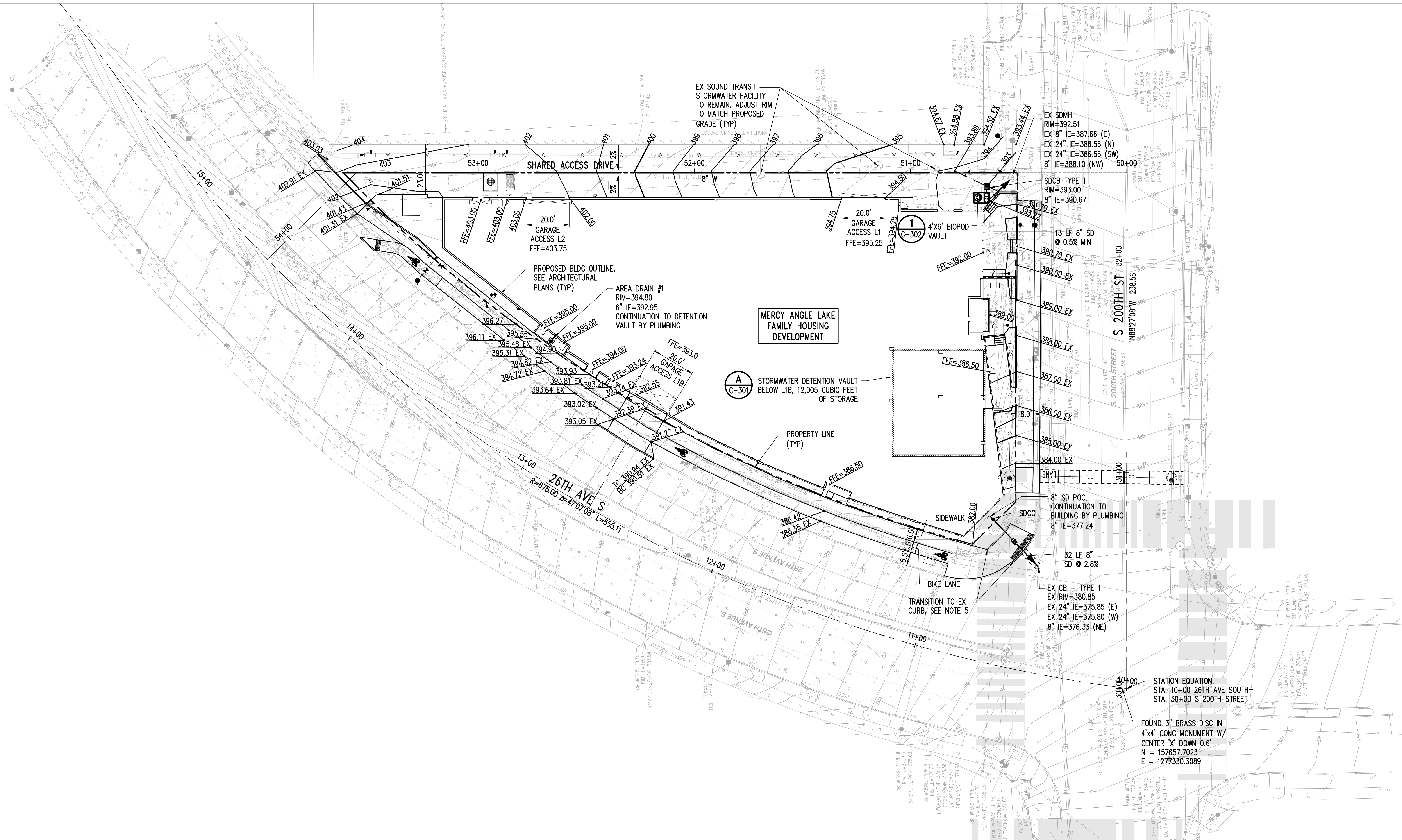
#### GRADING AND STORM DRAINAGE PLAN

DATE: 2022/08/31  
SCALE: ASST  
DRAWN: 2109671  
JOB #: -  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

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SHEET

C-300

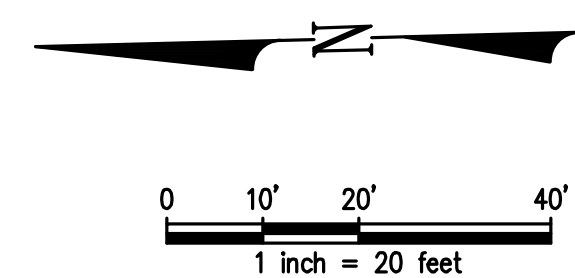


#### NOTES:

- SEE SHEETS C-000 & C-001 FOR ABBREVIATIONS & GENERAL NOTES.
- UTILITY LIDS AND VAULTS SHALL BE ADJUSTED TO FINAL GRADE.
- TRENCHING AND BEDDING FOR STORM DRAINAGE PIPE SHALL BE PER DETAIL 3 ON SHEET C-401.
- FOR FINISHED FLOOR ELEVATIONS AND GRADING AND DRAINAGE ON STRUCTURE, SEE ARCHITECTURAL AND LANDSCAPE PLANS.
- REFER TO THE RIGHT-OF-WAY PERMIT PLANS FOR THE IMPROVEMENTS IN THE RIGHT-OF-WAY.
- ALL ELEVATIONS ARE SHOWN ON THIS SHEET REFLECT THE GRADE AT PAVEMENT SURFACE OR LANDSCAPING SURFACE. SEE ARCHITECTURAL, SHORING, AND STRUCTURAL PLANS FOR WALL HEIGHTS.
- SEE LANDSCAPE PLANS FOR PLANTER WALLS AND SITE FEATURES.

#### PROPOSED LEGEND:

---	PROPERTY LINE		SITE WALL
---	RIGHT-OF-WAY LINE	•	CLEANOUT
---	SIDEWALK EASEMENT LINE	■	TYPE 1 CATCH BASIN
---	STATIONING ALIGNMENT	⊙	AREA DRAIN
---	CONTOUR LINE	⊙	MANHOLE
---	SAWTOOTH LINE		
---	GRADE BREAK		
---	STORM DRAIN		
---	FLOW DIRECTION		
---	SPOT ELEVATION		
---	CONCRETE CURB & GUTTER		
---	CONCRETE CURB		



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REVISIONS


SUBMITTALS

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100% DD/STE CLEAR & GRADE SET	2022.12.01

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:

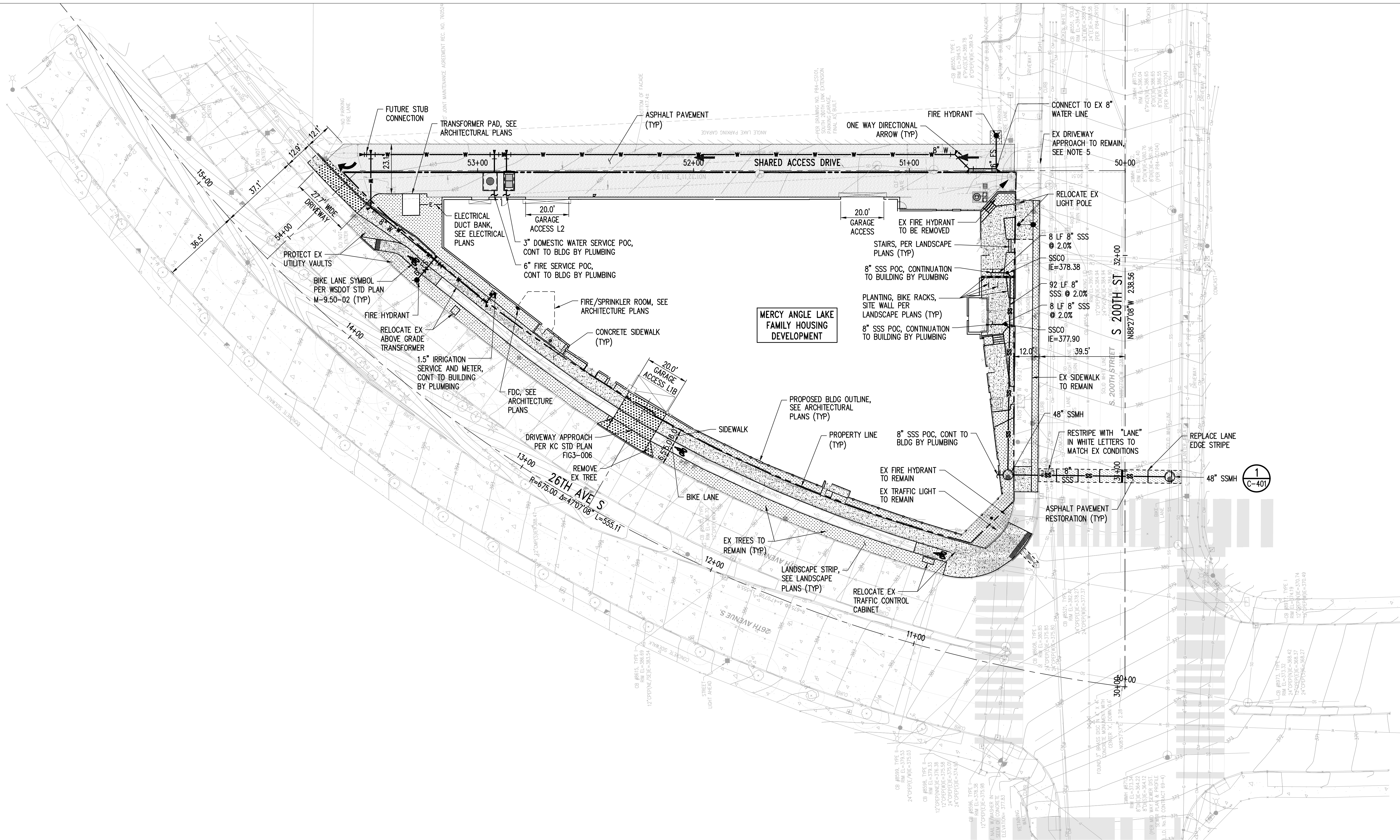


PAVING AND  
UTILITY PLAN

DATE: 2022/08/31  
SCALE: AS SHOWN  
DRAWN: ASST  
JOB #: 210999  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

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SHEET  
**C-400**

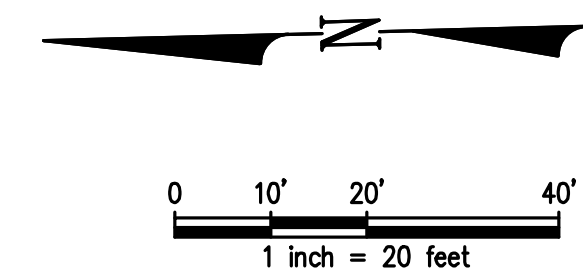


NOTES:

- SEE SHEET C-000 & C-001 FOR ABBREVIATIONS & CITY OF SEATAC GENERAL NOTES.
- TRENCHING AND BEDDING FOR SANITARY SEWER SHALL BE PER DETAIL 3 SHEET C-402. TRENCHING AND BEDDING FOR WATER SHALL BE PER DETAIL 6 SHEET. WATER TRENCHING PER HIGHLINE WATER DISTRICT STD DTL 29.
- GAS SERVICE ROUTING, ETC. TO BE INSTALLED BY PSE AT OWNER'S EXPENSE.
- ALL WATER INFRASTRUCTURE SHALL BE INSTALLED PER THE LATEST HIGHLINE WATER DISTRICT TECHNICAL SPECIFICATIONS AND MATERIALS.
- ALL STATION AND OFFSETS ARE TO CENTER OF STRUCTURE.
- SEE ARCHITECTURAL PLANS FOR HORIZONTAL CONTROL OF BUILDING.
- ALL NEW UTILITY LIDS SHALL BE SUP RESISTANT IN PAVED AREAS.
- REFER TO THE RIGHT-OF-WAY PERMIT PLANS FOR THE IMPROVEMENTS IN THE RIGHT-OF-WAY.
- SEE LANDSCAPE PLANS FOR PLANTER WALLS AND SITE FEATURES.
- SEE FIRE PERMIT ### WITH CITY OF SEATAC AND SEPARATE HIGHLINE WATER DISTRICT PLANS FOR WATER MAIN PROFILE AND DISTRICT DETAILS.
- CONTRACTOR TO AVOID EXISTING TRAFFIC SENSOR INFRASTRUCTURE IN SOUTH 200TH STREET.

LEGEND:

---	PROPERTY LINE	—DW—	DOMESTIC WATER SERVICE
---	RIGHT-OF-WAY LINE	—FS—	FIRE SERVICE
---	SIDEWALK EASEMENT LINE	—SS—	SANITARY SEWER MAIN
---	SAWCUT LINE	—E—	ELECTRICAL CONDUIT PER ELECTRICAL PLANS
---	CONCRETE CURB & GUTTER	▶	FLOW DIRECTION
---	PLANTER WALL	●	CLEANOUT
---	SITE WALL	c	CAP / PLUG UTILITY
---	CONCRETE SIDEWALK	⋈	GATE VALVE
---	LANDSCAPE AREA (PER LANDSCAPE PLAN)	▲	THRUST BLOCK
---	ASPHALT PAVEMENT	T	TEE, 90° BEND, 45° BEND
---	CONCRETE PAVEMENT	●	FIRE HYDRANT ASSEMBLY
---		●	MANHOLE
---		□	DOMESTIC WATER VAULT
---		□	FIRE SERVICE METER



NOT FOR CONSTRUCTION



AT-GRADE LEGEND:

- EXISTING TREE TO RETAIN & PROTECT  
DRIPLINE  
TREE TYPE & TRUNK DBH IN INCHES
- VEGETATION PROTECTION FENCING
- EXISTING RIGHT-OF-WAY LANDSCAPE TO RETAIN & PROTECT
- CONCRETE PAVING W/ LIGHT SANDBLAST FINISH AND SAWCUT JOINTS & SCORING (2) L1.3
- DECORATIVE CONCRETE PAVING: NATURAL GREY CONCRETE SEEDED WITH SALT AND PEPPER AGGREGATE (2) L1.3
- CONCRETE RETAINING WALL
- METAL TRELLIS (1) L1.4 (2) L1.4 (3) L1.4
- SITE FURNITURE
- BIKE RACK (SPORTWORKS TOFINO W/ CANE BAR)
- DOGGY STATION (BOULDERS AND GRAVEL MULCH) (5) L1.3
- LANDSCAPE BOULDERS (4) L1.3

PODIUM LEVEL LEGEND:

- PEDESTAL PAVERS
- PLAYGROUND GRASS SAFETY SURFACING
- BENCHES/SEATING - SURFACE & WALL MOUNTED
- MOVABLE SITE FURNITURE
- METAL PLANTER W/BOTTOM, POWDERCOAT FINISH
- CIP CONCRETE PLANTER WALL

PODIUM LEVEL PLANTER WALL HEIGHTS

HEIGHT ABOVE ADJACENT PAVING	
(A)	18"
(B)	24"
(C)	30"

1 LANDSCAPE PLAN - AT GRADE & PODIUM LEVEL

SCALE: 1" = 10'-0"

NOTES:

- REFER TO CIVIL DRAWINGS FOR PAVING IN THE R.O.W, GRADING, AND DRAINAGE ELEMENTS.
- REFER TO ARCHITECTURE DRAWINGS FOR DRAINAGE ON STRUCTURE.
- REFER TO L1.1 FOR LANDSCAPE NOTES AND PLANT SCHEDULE
- REFER TO L2 SERIES DRAWINGS FOR IRRIGATION
- REFER TO L0.1 FOR VEGETATION PROTECTION PLAN





PLANTING NOTES:

1. SEE L1XX FOR PLANTING DETAILS.
2. PROVIDE 18" DEPTH X 8' LENGTH ROOT BARRIER ALONG SIDEWALK EDGE FOR NEW TREES. ALIGN CENTER OF BARRIER WITH CENTERLINE OF TREE.
3. SOIL PREPARATION ON GRADE ON PRIVATE PROPERTY SHALL BE PER DETAIL 1 ON SHEET L1XX. PLANTING SOIL MIX SHALL BE 60% SANDY LOAM AND 40% COMPOST BY VOLUME AND SATISFY MINIMUM ORGANIC MATTER REQUIREMENTS FOR STORMWATER MANAGEMENT.
4. CROWN SOIL IN ALL PLANTERS PER PLANTER DETAILS ON L108.
5. PROVIDE ANCHORS IN WALLS OF PLANTERS FOR GUYING TREES PER DETAILS ON L108.
6. ALL PLANTING BEDS ON STRUCTURE SHALL BE INTERNALLY DRAINED AND CONNECTED TO STORM DRAIN SYSTEM.
7. LANDSCAPE PLANTERS ON STRUCTURE SHALL HAVE LIGHTWEIGHT SOIL MIX PER SPECIFICATIONS.
8. ALL PLANTING AREAS AND PLANTERS SHALL RECEIVE MIN. 2" DEPTH MULCH. KEEP MULCH AWAY FROM TREE TRUNKS. CROWN OF TREE ROOTBALL SHALL BE VISIBLE.
9. ALL PROPOSED PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH WATER CONSERVING SPRAY NOZZLES.
10. REPAIR AND RESTORE IN KIND LANDSCAPE IMPACTED BY CONSTRUCTION IN THE R.O.W. REMEDIATE SOIL COMPACTION RESULTING FROM CONSTRUCTION.
11. SEE CIVIL DWGS FOR EXISTING AND PROPOSED UTILITY LINES, POLES, METERS, AND STRUCTURES.
12. ALL PLANT DELIVERIES TO THE SITE SHALL HAVE SPECIES IDENTIFICATION NURSERY TAGS ON AT LEAST TWO PLANTS OF EACH SPECIES.
13. MINIMUM 50% OF PLANTINGS WILL BE NATIVE AND/OR ADAPTIVE SPECIES AND MEET THE REQUIREMENTS OF ESDS CRITERIA 3.3A.

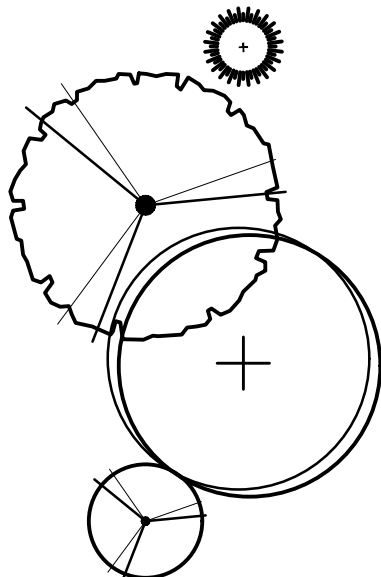

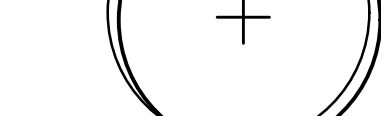

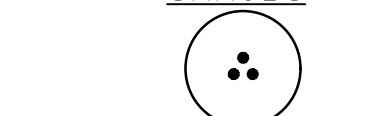














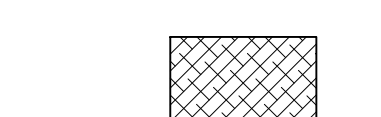

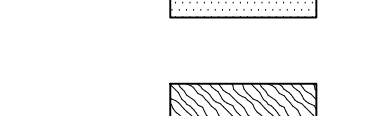
HARDSCAPE NOTES:

1. REFER TO CIVIL DRAWINGS FOR PAVING IN THE R.O.W, GRADING, AND DRAINAGE ELEMENTS.
2. REFER TO ARCHITECTURE DRAWINGS FOR DRAINAGE ON STRUCTURE.
3. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL A PAVEMENT JOINTING AND SCORING PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. SITE FURNITURE LOCATIONS TO BE VERIFIED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

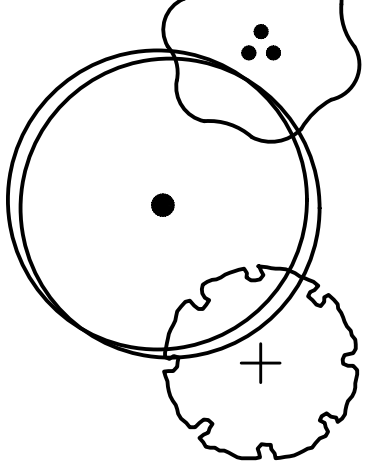











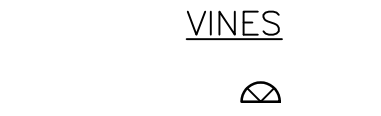



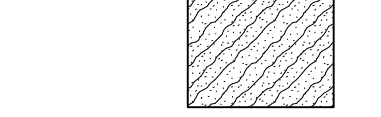
PLAY AREA NOTES:

1. CONTRACT SHALL VERIFY PLAY EQUIPMENT FEATURES, DIMENSIONS, AND SAFETY REQUIREMENTS PRIOR TO LAYING OUT PLAY ELEMENTS. CONTRACTOR SHALL PROVIDE SHOP DRAWING FOR PLAY STRUCTURE LAYOUT AND MOUNTING DETAILS.
2. CONTRACTOR SHALL ENSURE MINIMUM SAFETY FALL ZONES ARE MET CONFORMING TO ASTM AND CPSC.
3. REFER TO PLUMBING FOR DRAINS UNDER PLAYGROUND GRASS SAFETY SURFACING.
4. REFER TO STRUCTURAL FOR MOUNTING OF PLAYGROUND EQUIPMENT

PLANT SCHEDULE (AT-GRADE)

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	4	CHAMAECYPARIS NOOTKATENSIS 'VAN DEN AKKER' VAN DEN AKKER NOOTKA CYPRESS *	6'-7' HT, B&B
	2	MALUS TSCHONOSKII * TSCHONOSKI CRABAPPLE	2" CAL, 8'-10' HT. B&B
	4	PARROTIA PERSICA 'VANESSA' VANESSA PERSIAN PARROTIA *	2" CAL, 8'-10' HT. B&B
	1	QUERCUS ROBUR X BICOLOR 'NADLER' KINDRED SPIRIT® OAK	1.75" CAL, 8'-10' HT, B&B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	3	ARBUTUS UNEDO 'COMPACTA' COMPACT STRAWBERRY TREE *	5 GAL, 30" HT
	10	ESCALLONIA X 'NEWPORT DWARF' NEWPORT DWARF ESCALLONIA *	5 GAL, 24" HT
	35	MAHONIA NERVOSA OREGON GRAPE *	1 GAL
	15	MAHONIA X MEDIA 'WINTER SUN' WINTER SUN MAHONIA *	5 GAL, 24" HT
	9	NANDINA DOMESTICA 'FIREPOWER' FIREPOWER HEAVENLY BAMBOO *	2 GAL, 12" HT
	12	NANDINA DOMESTICA 'MOON BAY' MOON BAY HEAVENLY BAMBOO *	2 GAL, 12" HT
	39	PRUNUS LAUROCERASUS 'MOUNT VERNON' MOUNT VERNON ENGLISH LAUREL *	1 GAL, 8" HT
	4	RIBES SANGUINEUM 'WHITE ICICLE' WHITE ICICLE FLOWERING CURRANT *	5 GAL, 36" HT
	13	ROSA X 'NOALA' FLOWER CARPET® CORAL GROUNDCOVER ROSE *	3 GAL, 15" HT
	25	VIBURNUM DAVIDII DAVID VIBURNUM *	5 GAL, 18" HT
PERENNIALS/FERNS	QTY	BOTANICAL / COMMON NAME	SIZE
	47	ALLIUM X 'PURPLE SENSATION' PURPLE SENSATION ORNAMENTAL ONION *	BULB
	42	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS *	1 GAL
	14	POLYSTICHUM MUNITUM WESTERN SWORD FERN *	1 GAL
VINES	QTY	BOTANICAL / COMMON NAME	SIZE
	6	TRACHELOSPERMUM JASMINOIDES CHINESE STAR JASMINE*	1 GAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE
	106	FRAGARIA CHILOENSIS BEACH STRAWBERRY *	4" POT @ 15" OC
	79	GAULTHERIA SHALLON SALAL *	2 GAL @ 24" OC
	361 SF	LAWN (REPAIR/REPLACEMENT) DEPENDENT ON TIME OF INSTALLATION	HYDROSEED OR SOD
	149	RUBUS CALYCINOIDES 'EMERALD CARPET' EMERALD CARPET CREEPING BRAMBLE *	1 GAL @ 18" OC
* INDICATES PACIFIC NORTHWEST NATIVE AND/OR ADAPTIVE DROUGHT TOLERANT SPECIES ONCE ESTABLISHED.			

PLANT SCHEDULE (PODIUM LEVEL)

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	8	ACER CIRCINATUM 'PACIFIC FIRE' PACIFIC FIRE VINE MAPLE *	6'-7' HT, MULTISTEM, B&B
	2	MAGNOLIA X 'BUTTERFLIES' BUTTERFLIES MAGNOLIA	2" CAL, 8'-10' HT. B&B
	3	PARROTIA PERSICA 'JL COLUMNAR' TM PERSIAN SPIRE PARROTIA *	2" CAL, 8'-10' HT. B&B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	20	CEPHALOTAXUS HARRINGTONIA 'KOREAN GOLD' KOREAN GOLD DWARF PLUM YEW *	5 GAL, 24" HT
	5	CORYLOPSIS PAUCIFLORA BUTTERCUP WINTERHAZEL *	5 GAL, 24" HT
	1	HAMAMELIS X INTERMEDIA 'DIANE' DIANE WITCH HAZEL	7 GAL, 36" HT
	36	MAHONIA EURYBRACTEATA 'SOFT CARESS' SOFT CARESS MAHONIA *	2 GAL, 18" HT
	9	MAHONIA X MEDIA 'WINTER SUN' WINTER SUN MAHONIA *	5 GAL, 24" HT
	27	SARCOCOCCA HOOKERIANA HUMILIS TRAILING SWEETBOX *	2 GAL, 12" HT
	6	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY *	5 GAL, 18" HT
PERENNIALS/FERNS	QTY	BOTANICAL / COMMON NAME	SIZE
	28	BLECHNUM SPICANT DEER FERN	1 GAL
	32	POLYSTICHUM MUNITUM WESTERN SWORD FERN *	1 GAL
VINES	QTY	BOTANICAL / COMMON NAME	SIZE
	8	AKEBIA QUINATA 'PURPLE BOUQUET' PURPLE BOUQUET CHOCOLATE VINE *	1 GAL
	14	TRACHELOSPERMUM JASMINOIDES CHINESE STAR JASMINE*	1 GAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE
	358	ADIANTUM VENUSTUM HIMALAYAN MAIDENHAIR FERN *	4" POT @ 12" OC
	33	FRAGARIA CHILOENSIS BEACH STRAWBERRY *	4" POT @ 15" OC
	343	PACHYSANDRA TERMINALIS 'GREEN CARPET' GREEN CARPET JAPANESE PACHYSANDRA *	4" POT @ 12" OC

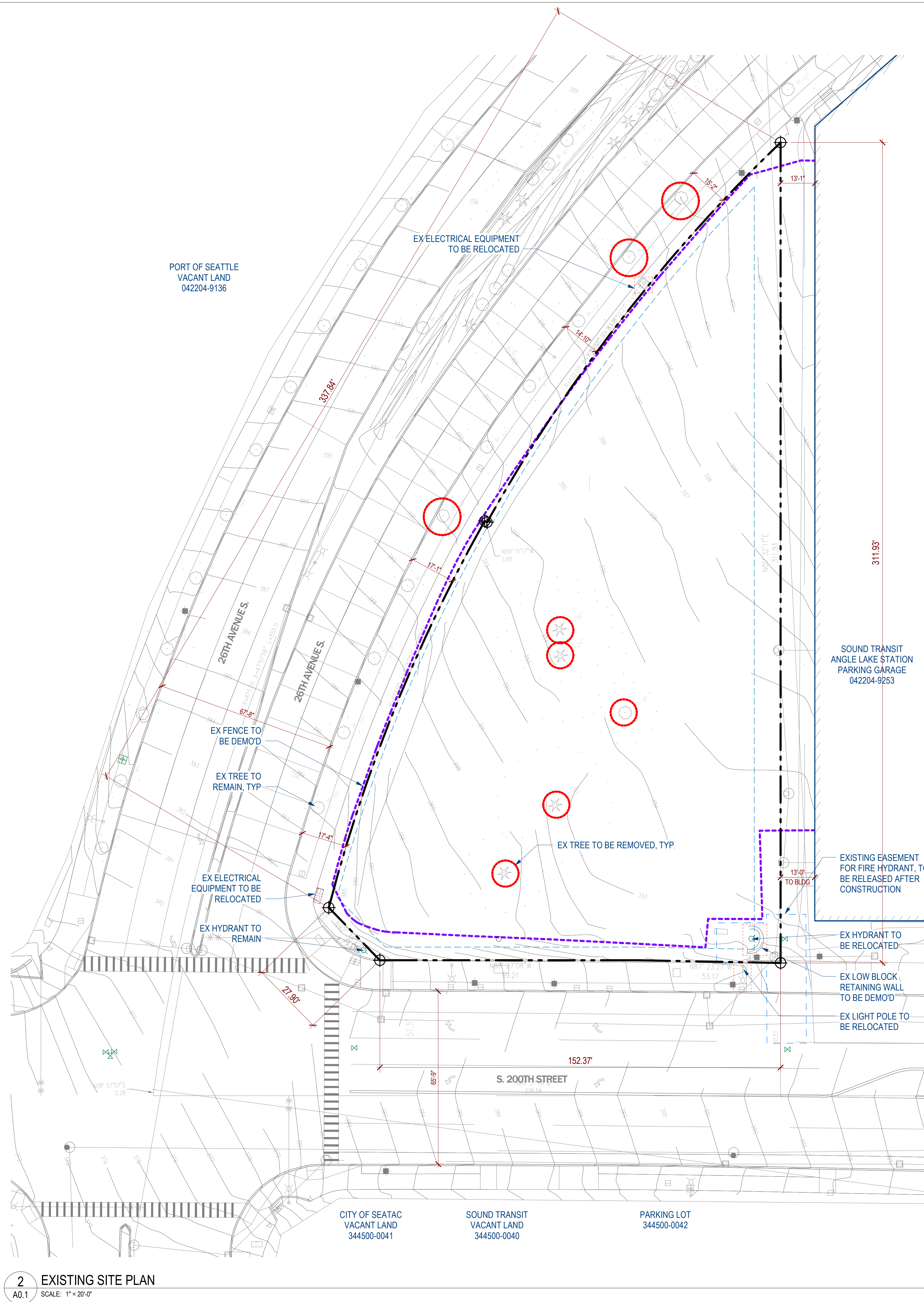
\* INDICATES PACIFIC NORTHWEST NATIVE AND/OR ADAPTIVE DROUGHT TOLERANT SPECIES ONCE ESTABLISHED.

PLANTING SOIL SCHEDULE	
SOIL TYPE	LOCATION
LIGHTWEIGHT SOIL MIX	ALL PLANTERS ON STRUCTURE
PLANTING SOIL MIX: 60% SANDY LOAM, 40% COMPOST	ALL AT-GRADE PLANTING BEDS AND PLANTERS

SMC 15.510.410 - RESIDENTIAL OPEN SPACE (OUTDOOR)		
SECTION	REQUIREMENT	PROVIDED
SMC 15.510.420(B)(3)(a) OUTDOOR RECREATION SPACE (RESIDENTIAL)	B. OUTDOOR COMMON SPACE. OUTDOOR COMMON SPACE SHALL BE USABLE OUTDOOR MULTI-PURPOSE SPACE ACCESSIBLE BY ALL RESIDENTS.  3. UPPER LEVEL DECKS OR TERRACES. UPPER LEVEL COMMON DECKS OR TERRACES SHALL INCLUDE THE FOLLOWING:  a. DESIGN FEATURES. UPPER LEVEL DECKS OR TERRACES SHALL INCLUDE AMENITIES SUCH AS SEATING AREAS, BARBEQUES, FIREPLACES, RECREATIONAL SPACES, ROOF GARDENS OR LANDSCAPING. DECKS OR TERRACES SHALL ALSO INCLUDE SURFACING WHICH ENABLES RESIDENTS TO USE THE AREA, AND SHALL INCORPORATE FEATURES THAT PROVIDE FOR THE SAFETY OF RESIDENTS SUCH AS APPROPRIATE LIGHTING LEVELS.	LOCATION: LEVEL 3 (PODIUM) = 6364 SF

SMC - LANDSCAPE		
SECTION	REQUIREMENT	PROVIDED
SMC 15.445 LANDSCAPING	PER 15.445.010(C)(1)(B), STREET FRONTAGE LANDSCAPING IS NOT REQUIRED; WAIVED IN LIEU OF OPEN SPACE REQUIREMENT.	N/A
SMC 15.510.500 LANDSCAPING AND FENCES:	BUILDING ENTRY LANDSCAPING. DISTINCTIVE PLANTINGS SHALL BE PROVIDED TO DEFINE ENTRIES, WITH A MINIMUM OF THREE (3) FEET OF TYPE V LANDSCAPING ON EITHER SIDE OF ALL BUILDING ENTRIES.	COMPLIES

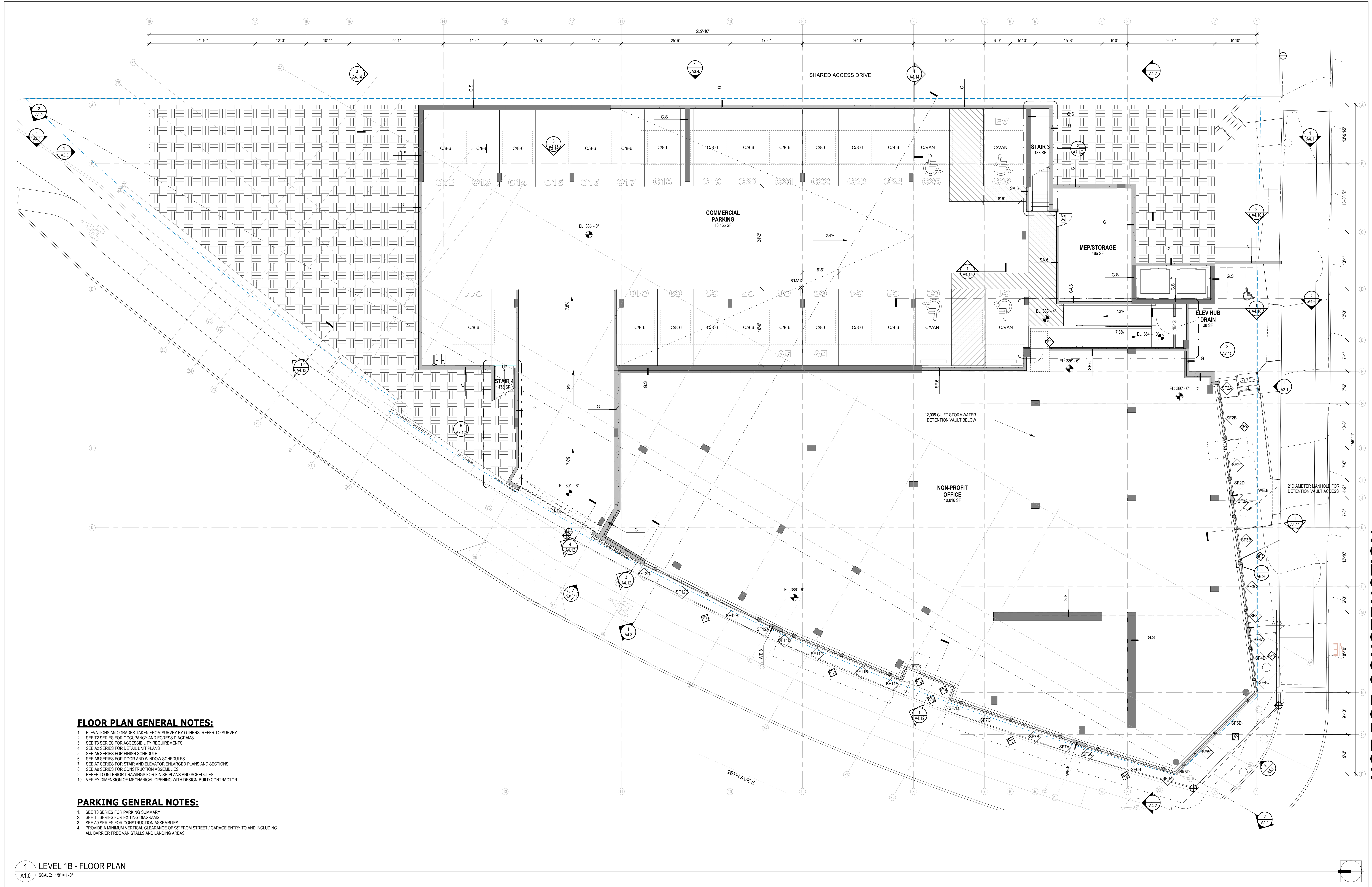




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100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01





**FLOOR PLAN GENERAL NOTES:**

1. ELEVATIONS AND GRADES TAKEN FROM SURVEY BY OTHERS. REFER TO SURVEY
2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAM
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
4. SEE A2 SERIES FOR DETAIL UNIT PLANS
5. SEE A5 SERIES FOR FINISH SCHEDULE
6. SEE A6 SERIES FOR DOOR AND WINDOW SCHEDULES
7. SEE A7 SERIES FOR STAIR AND ELEVATOR ENLARGED PLANS AND SECTIONS
8. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN/BUILD CONTRACTOR

**PARKING GENERAL NOTES:**

1. SEE T0 SERIES FOR PARKING SUMMARY
2. SEE T3 SERIES FOR EXITING DIAGRAM
3. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
4. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 9'8" FROM STREET / GARAGE ENTRY TO AND INCLUDING ALL BARRIER FREE VAN STALLS AND LANDING AREAS

1 LEVEL 1B - FLOOR PLAN  
A1.0 SCALE: 1/8" = 1'-0"

**R: RUNBERG**  
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BRIAN RUNBERG  
LICENSED IN WASHINGTON

CONSULTANT'S STAMP:

**REVISIONS**


**SUBMITTALS**

100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:

LEVEL 1B - FLOOR PLAN

DATE: 2022/12/01  
SCALE: 1/8" = 1'-0"  
DRAWN: 21-102  
JOB #:   
COS SPR #:   
COS SPE #:   
COS BP #:   
COS BP #:

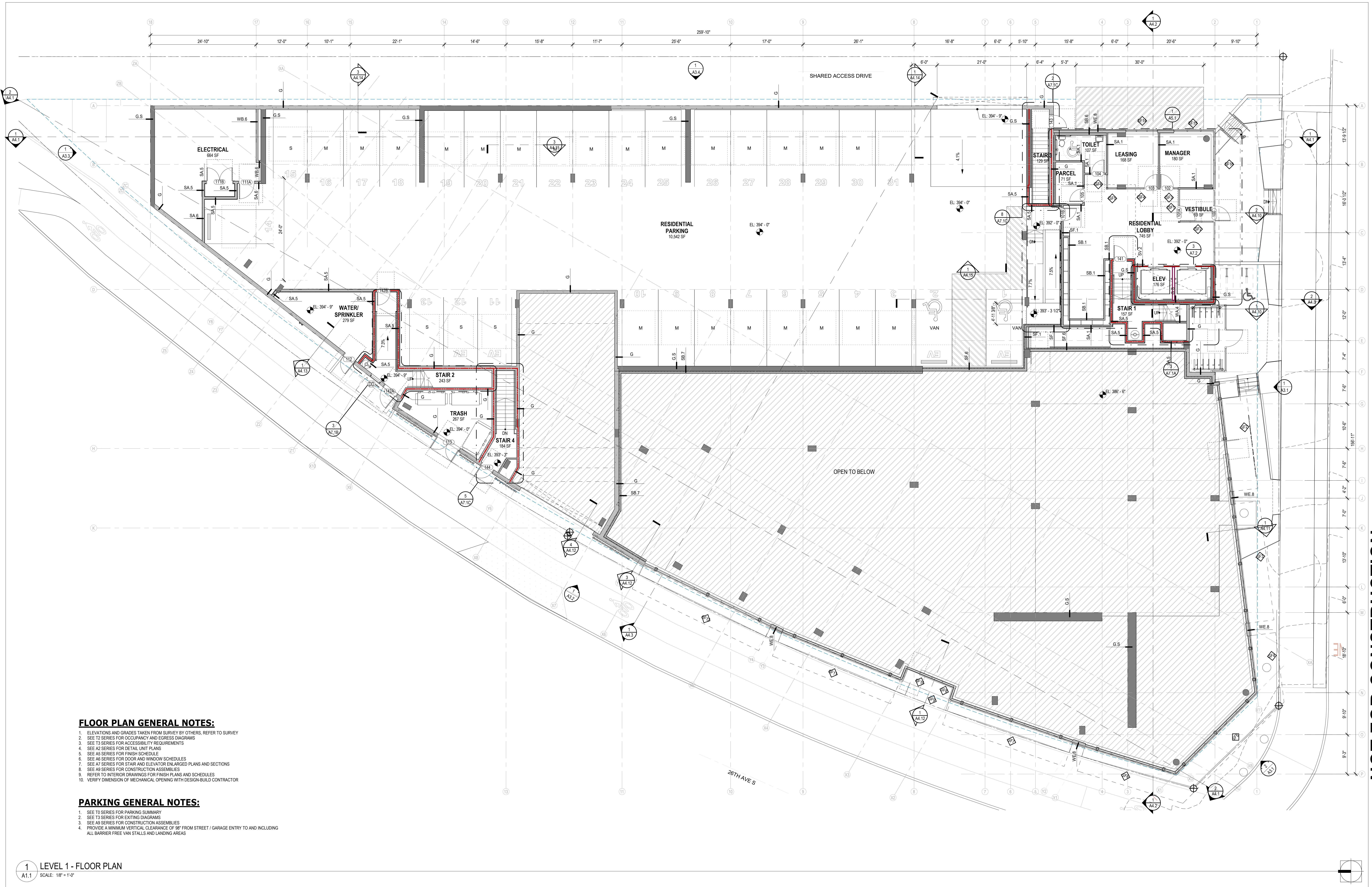
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2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAMS
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
4. SEE A2 SERIES FOR DETAIL UNIT PLANS
5. SEE A5 SERIES FOR FINISH SCHEDULE
6. SEE A6 SERIES FOR DOOR AND WINDOW SCHEDULES
7. SEE A7 SERIES FOR STAIR AND ELEVATOR ENLARGED PLANS AND SECTIONS
8. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN/BUILD CONTRACTOR

**PARKING GENERAL NOTES:**

1. SEE T0 SERIES FOR PARKING SUMMARY
2. SEE T3 SERIES FOR EXITING DIAGRAMS
3. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
4. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 8' FROM STREET / GARAGE ENTRY TO AND INCLUDING ALL BARRIER FREE VAN STALLS AND LANDING AREAS

1 LEVEL 1 - FLOOR PLAN  
A1.1 SCALE: 1/8" = 1'-0"

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LEVEL 1 - FLOOR PLAN

DATE: 2022/12/01  
SCALE: 1/8" = 1'-0"  
DRAWN: JCB  
JOB #: 21-102  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

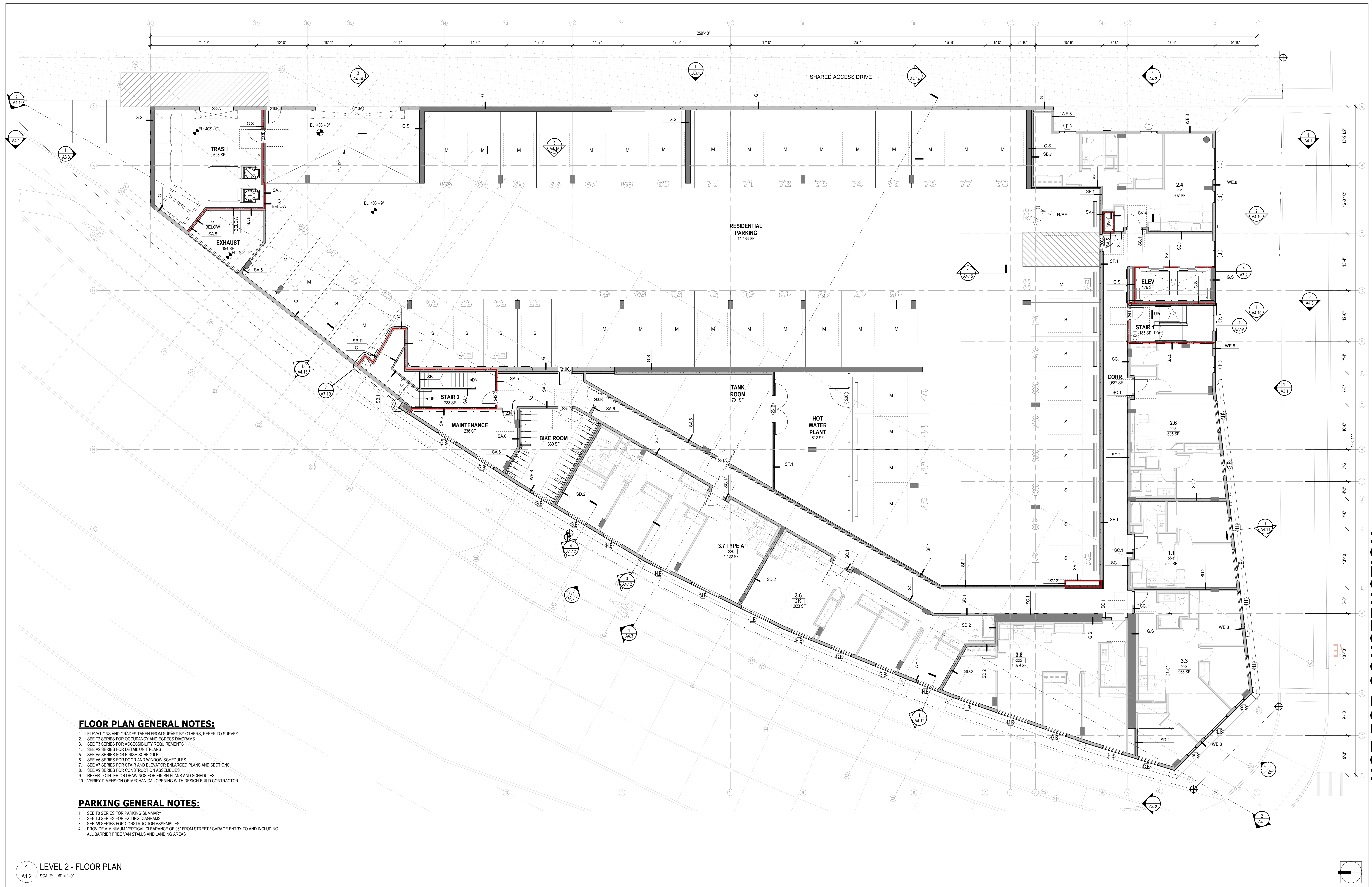
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**FLOOR PLAN GENERAL NOTES:**

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2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAM
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
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8. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN/BUILD CONTRACTOR

**PARKING GENERAL NOTES:**

1. SEE T0 SERIES FOR PARKING SUMMARY
2. SEE T3 SERIES FOR EXITING DIAGRAM
3. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
4. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 8' FROM STREET / GARAGE ENTRY TO AND INCLUDING ALL BARRIER FREE VAN STALLS AND LANDING AREAS

1 LEVEL 2 - FLOOR PLAN  
A1.2 SCALE: 1/8" = 1'-0"

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LEVEL 2 - FLOOR PLAN

DATE: 2022/12/01  
SCALE: 1/8" = 1'-0"  
DRAWN: Author  
JOB #: 21-102  
COS SPR #: -  
COS SFE #: -  
COS BP #: -

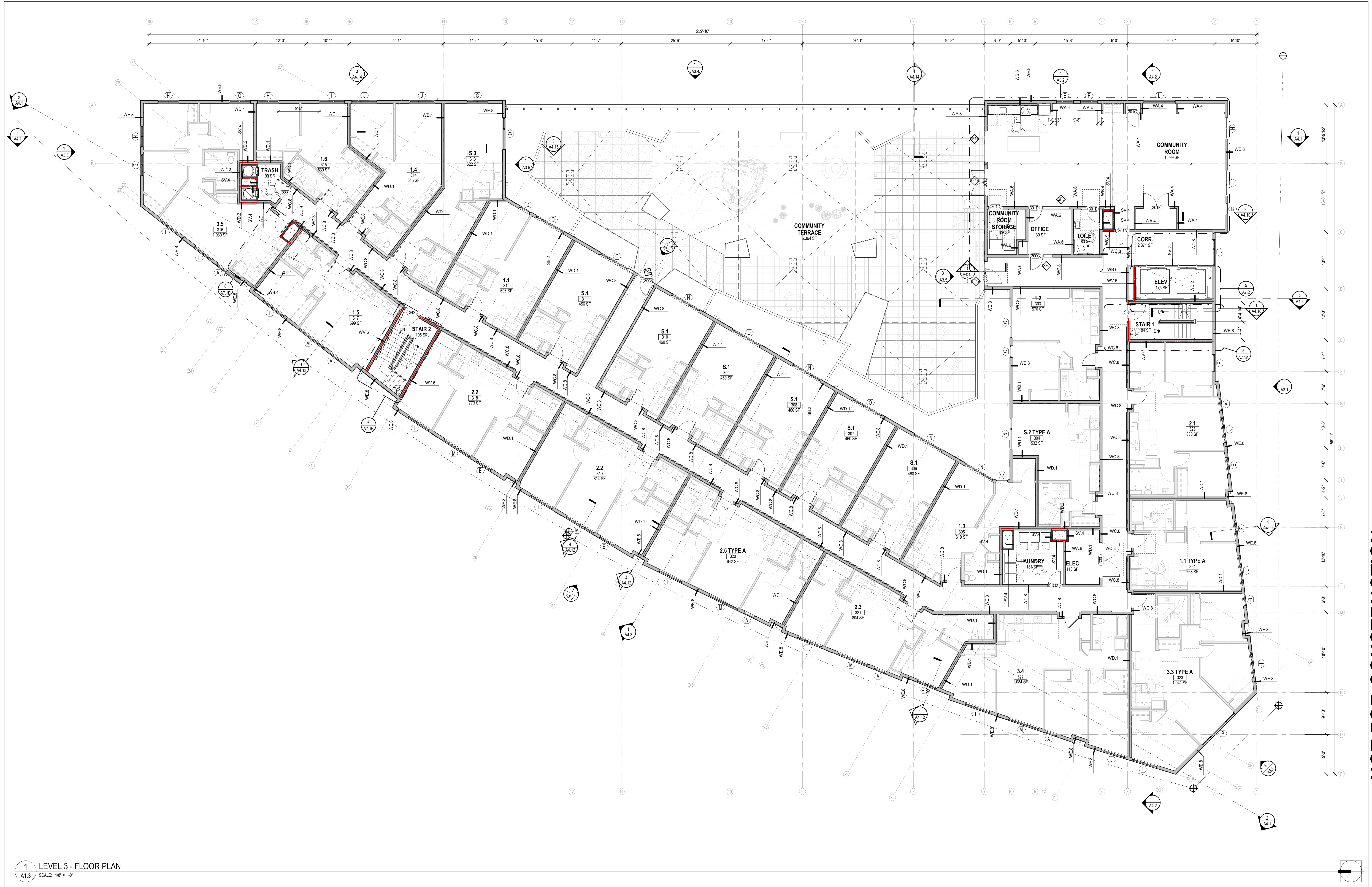
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1 LEVEL 3 - FLOOR PLAN  
A1.3 SCALE: 1/8" = 1'-0"

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LEVEL 3 - FLOOR PLAN

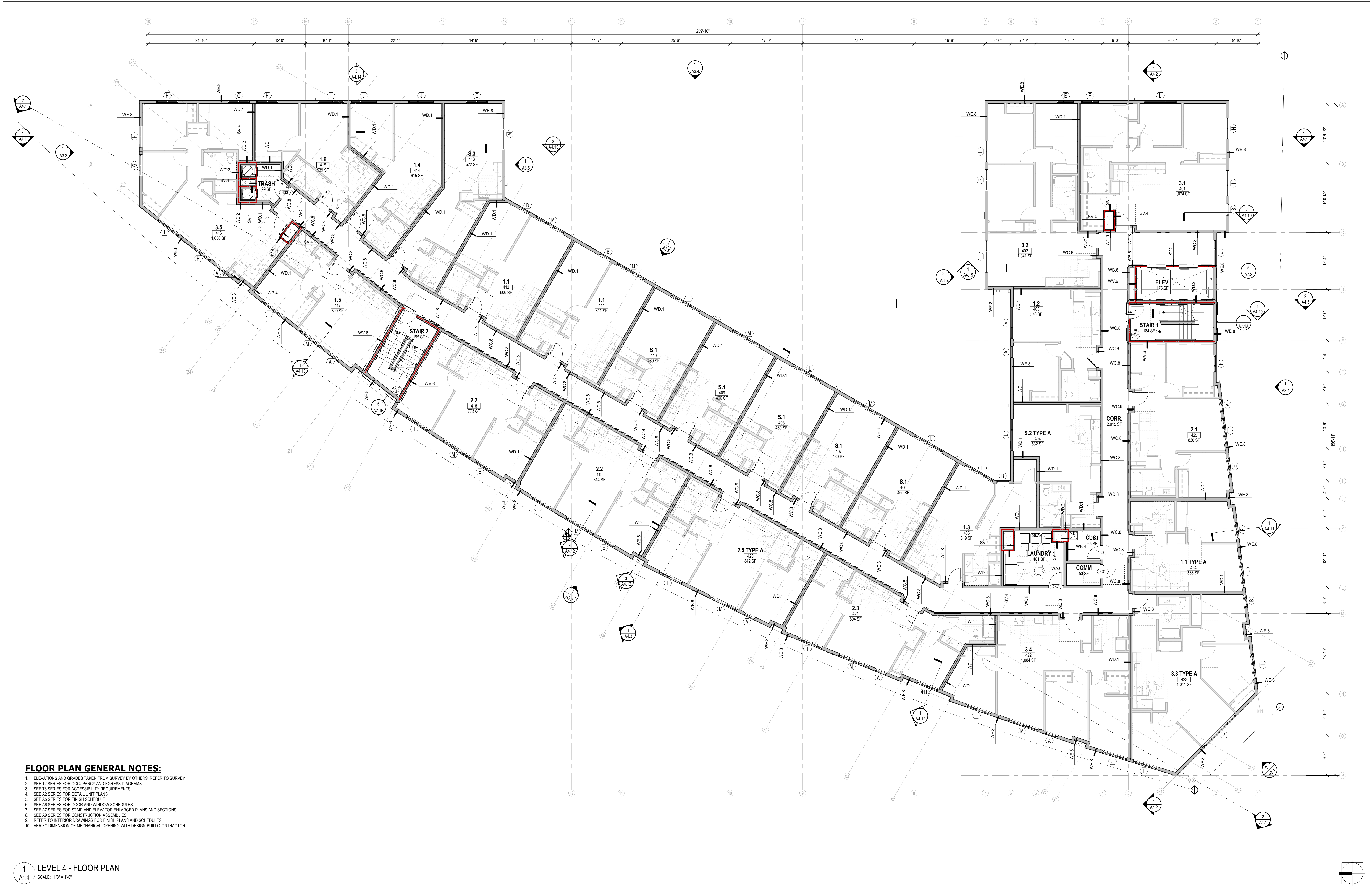
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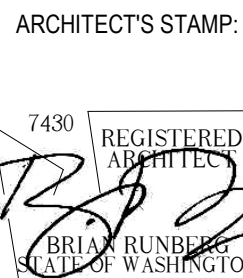
**FLOOR PLAN GENERAL NOTES:**

1. ELEVATIONS AND GRADES TAKEN FROM SURVEY BY OTHERS. REFER TO SURVEY
2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAMS
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
4. SEE A2 SERIES FOR DETAIL UNIT PLANS
5. SEE A5 SERIES FOR FINISH SCHEDULE
6. SEE A6 SERIES FOR DOOR AND WINDOW SCHEDULES
7. SEE A7 SERIES FOR STAIR AND ELEVATOR ENLARGED PLANS AND SECTIONS
8. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN-BUILD CONTRACTOR

1 LEVEL 4 - FLOOR PLAN  
A1.4 SCALE: 1/8" = 1'-0"

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LEVEL 4 - FLOOR PLAN

DATE:	2022/12/01
SCALE:	1/8" = 1'-0"
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COS SPE #:	-
COS BP #:	-

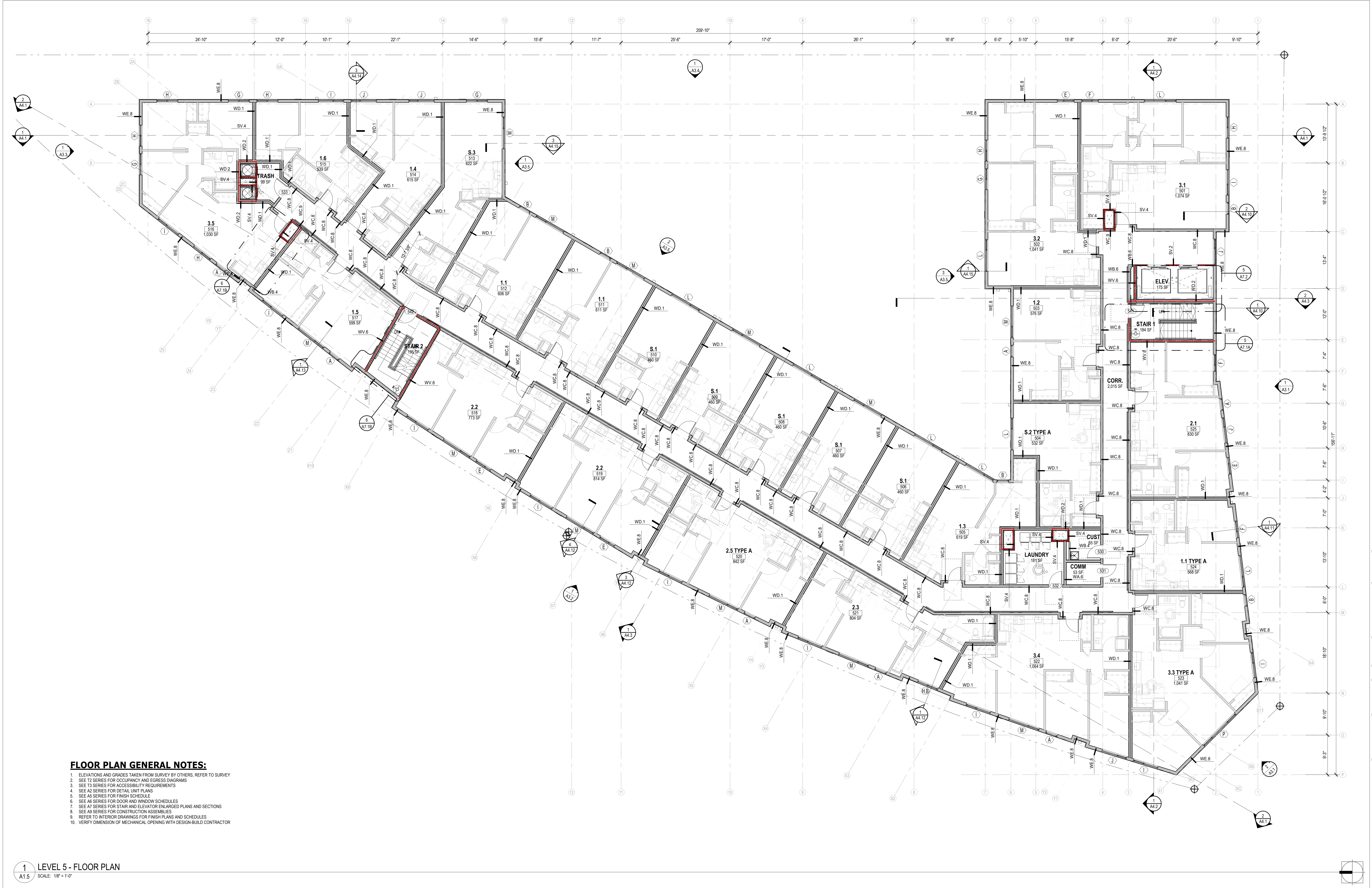
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**FLOOR PLAN GENERAL NOTES:**

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2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAMS
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
4. SEE A2 SERIES FOR DETAIL UNIT PLANS
5. SEE A3 SERIES FOR FINISH SCHEDULE
6. SEE A6 SERIES FOR DOOR AND WINDOW SCHEDULES
7. SEE A7 SERIES FOR STAIR AND ELEVATOR ENLARGED PLANS AND SECTIONS
8. SEE A8 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN-BUILD CONTRACTOR

1 LEVEL 5 - FLOOR PLAN  
A1.5 SCALE: 1/8" = 1'-0"

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LEVEL 5 - FLOOR PLAN

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SCALE: 1/8" = 1'-0"  
DRAWN: Author  
JOB #: 21-102  
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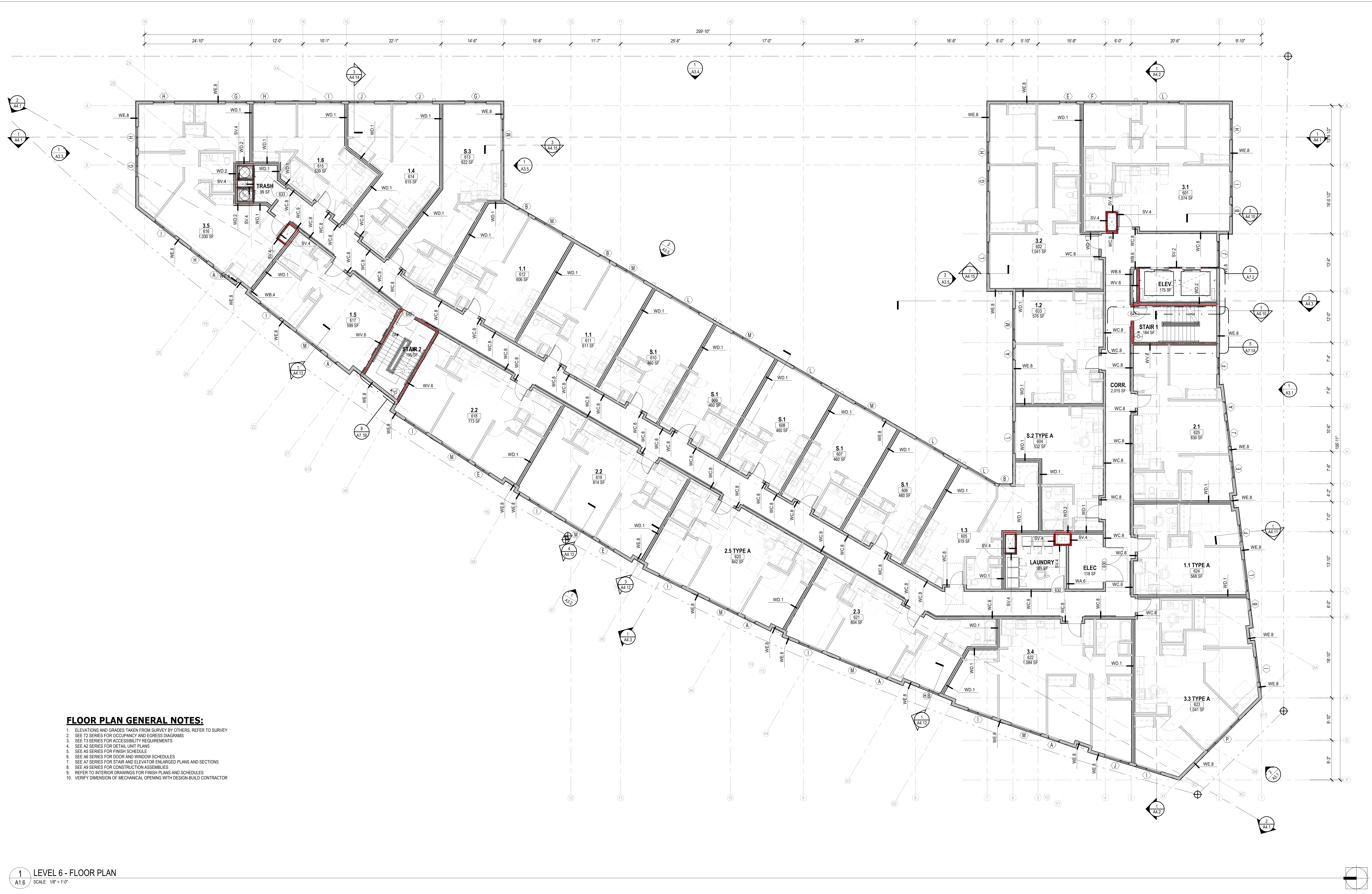
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**FLOOR PLAN GENERAL NOTES:**

1. ELEVATIONS AND GRADES TAKEN FROM SURVEY BY OTHERS, REFER TO SURVEY
2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAM
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
4. SEE A2 SERIES FOR DETAIL UNIT PLANS
5. SEE A5 SERIES FOR FINISH SCHEDULE
6. SEE A6 SERIES FOR DOOR AND WINDOW SCHEDULES
7. SEE A7 SERIES FOR STAIR AND ELEVATOR ENLARGED PLANS AND SECTIONS
8. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN-BUILD CONTRACTOR

1 LEVEL 6 - FLOOR PLAN  
A1.6 SCALE: 1/8" = 1'-0"

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LEVEL 6 - FLOOR PLAN

DATE: 2022/12/01  
SCALE: 1/8" = 1'-0"  
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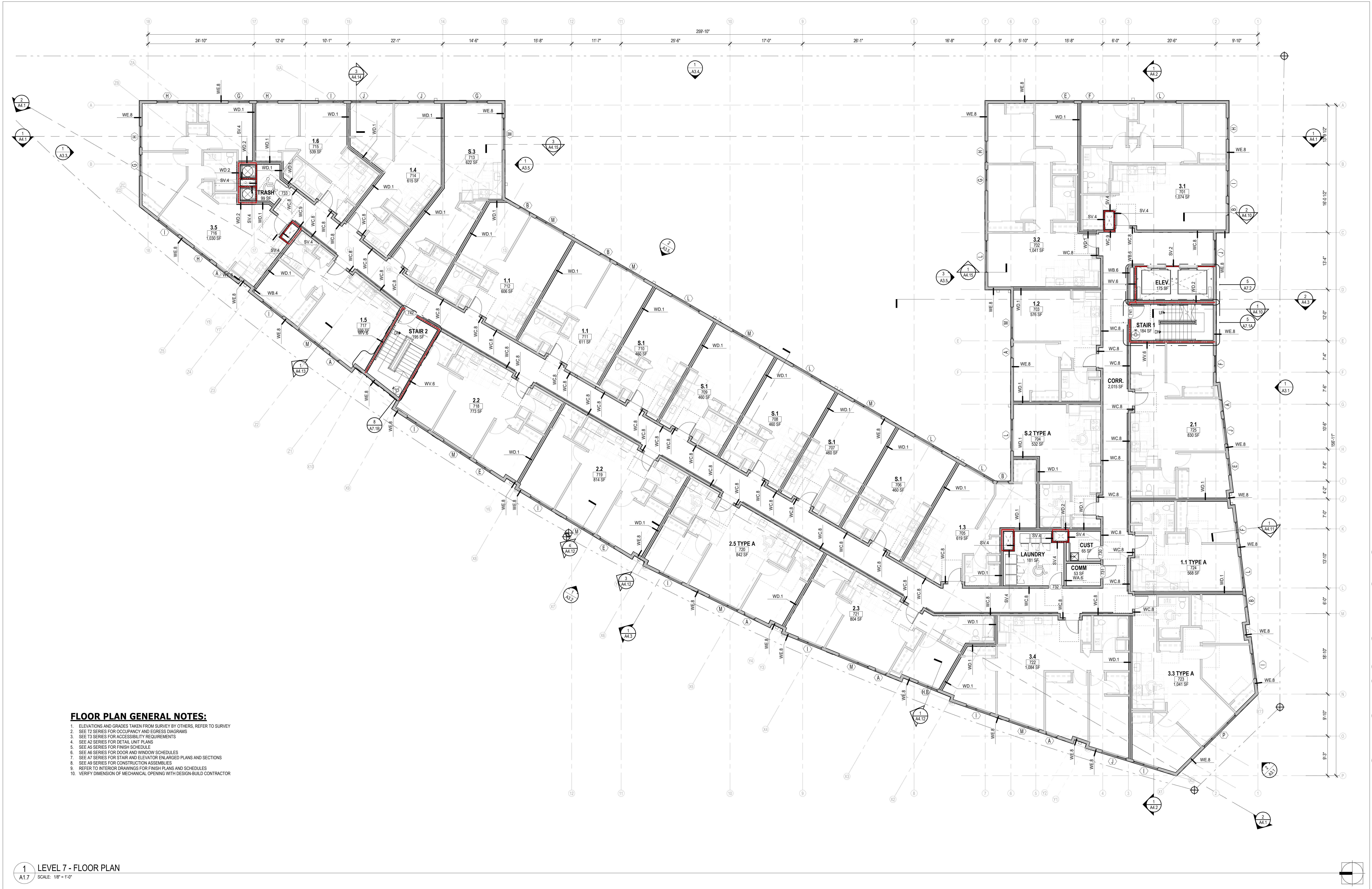
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**FLOOR PLAN GENERAL NOTES:**

1. ELEVATIONS AND GRADES TAKEN FROM SURVEY BY OTHERS, REFER TO SURVEY
2. SEE T2 SERIES FOR OCCUPANCY AND EGRESS DIAGRAM
3. SEE T3 SERIES FOR ACCESSIBILITY REQUIREMENTS
4. SEE A2 SERIES FOR DETAIL UNIT PLANS
5. SEE A5 SERIES FOR FINISH SCHEDULE
6. SEE A6 SERIES FOR DOOR AND WINDOW SCHEDULES
7. SEE A7 SERIES FOR STAIR AND ELEVATOR ENLARGED PLANS AND SECTIONS
8. SEE A9 SERIES FOR CONSTRUCTION ASSEMBLIES
9. REFER TO INTERIOR DRAWINGS FOR FINISH PLANS AND SCHEDULES
10. VERIFY DIMENSION OF MECHANICAL OPENING WITH DESIGN-BUILD CONTRACTOR

1 LEVEL 7 - FLOOR PLAN  
A1.7 SCALE: 1/8" = 1'-0"

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1. REFER TO LANDSCAPING AND PLUMBING DRAWINGS FOR DOWNSPOUT CONNECTION TO STORMWATER OR BIO-RETENTION PLANTERS
2. PROVIDE A MINIMUM CLASS B ROOFING

1 ROOF PLAN  
A1.8 SCALE: 1/8" = 1'-0"

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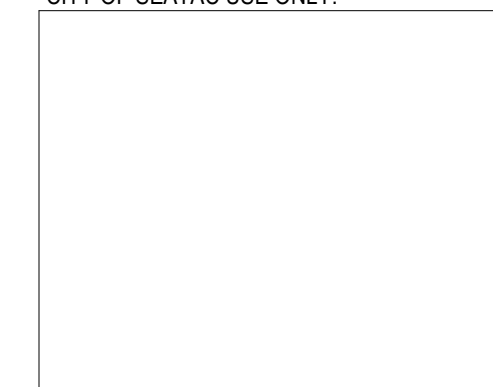
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ROOF PLAN

DATE: 2022/12/01  
SCALE: As indicated  
DRAWN: Author  
JOB #: 21-102  
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# A1.8



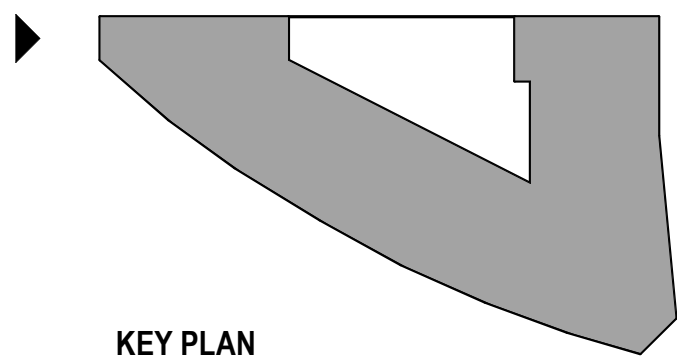
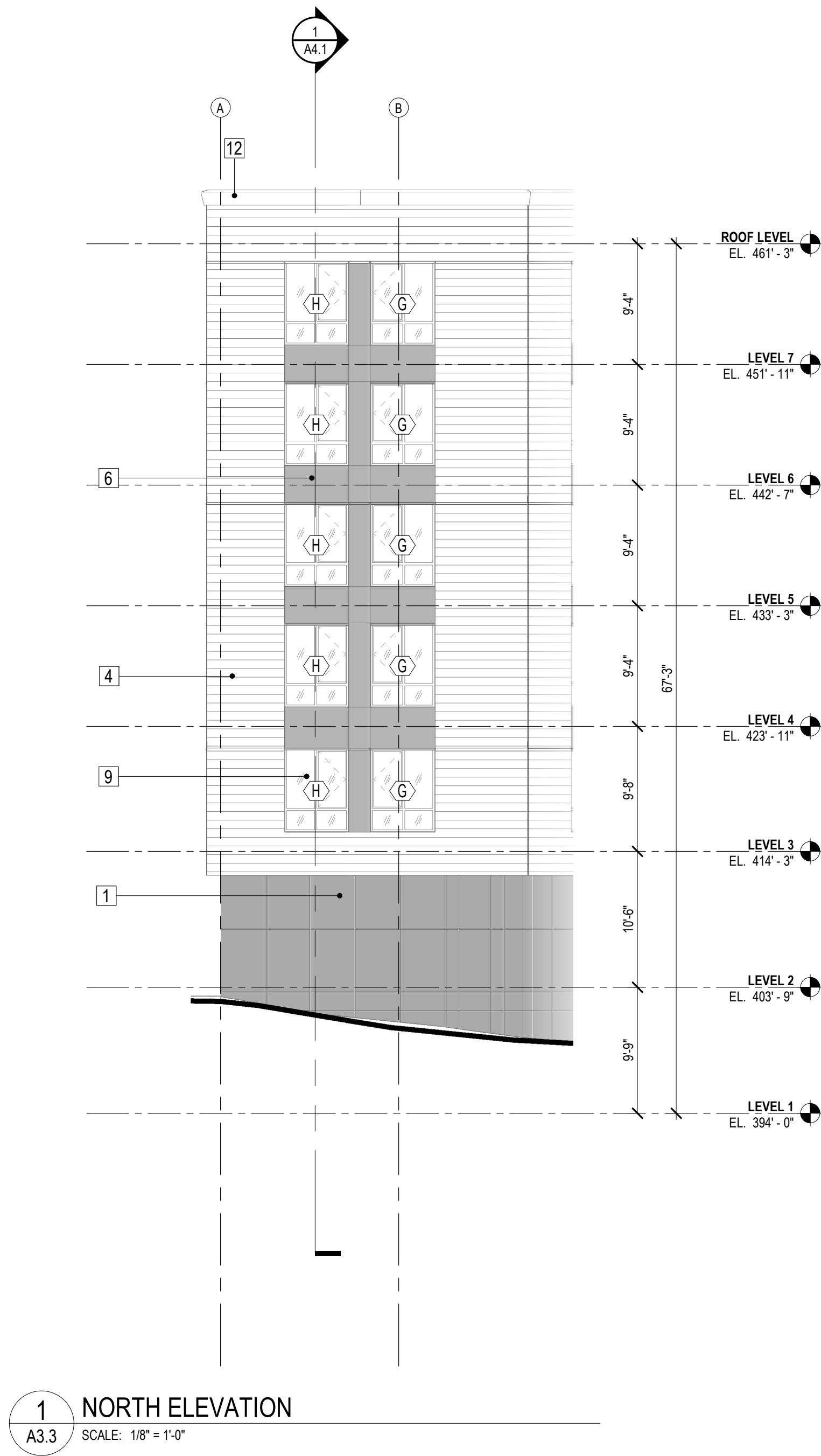








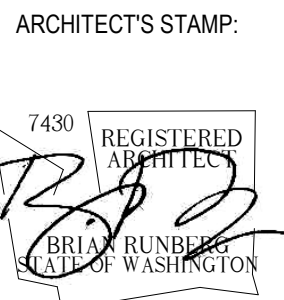
ELEVATION KEY NOTE LEGEND	
#	DESCRIPTION
1	CONCRETE, PAINTED
2	ALUMINUM STOREFRONT
3	BRICK VENEER CLADDING, TBD
4	FIBER CEMENT PLANK LAP SIDING, COLOR: PT-1
5	FIBER CEMENT PANEL SIDING, COLOR: PT-2
6	FIBER CEMENT PANEL SIDING, COLOR: PT-3
7	FIBER CEMENT PANEL SIDING, COLOR: PT-4
8	PREFINISHED METAL COPING, COLOR: GRAY
9	VINYL WINDOWS - COLOR: WHITE
10	VINYL WINDOWS - COLOR: BLACK
11	OVERHEAD COILING DOOR
12	FIBER CEMENT CORNICE
13	BIKE PARKING SCREEN
14	METAL CANOPY
15	METAL DOWNSPOUT WITH SCUPPER - COLOR: TBD
16	LOUVER PER MECH
17	SIGNAGE - UNDER SEPARATE PERMIT
18	GREENWALL TRELLIS; SEE LANDSCAPE PLANS
19	METAL VENT SHROUD - 3 FT MIN. TO OPENINGS
20	METAL ERV HOOD - 3 FT MIN. TO OPENINGS
21	BRAKE METAL - COLOR: TBD
22	PLANTER, REF. LANDSCAPE
23	FDC



- EXTERIOR ELEVATION NOTES:**
1. REFER TO T SERIES FOR PROJECT AND ZONING ANALYSIS, ZONING DIAGRAMS, DEPARTURE REQUESTS, AND HEIGHT DIAGRAMS
  2. FLOOR LEVEL ELEVATIONS INDICATED ARE TO TOP OF CONCRETE AT CONCRETE FLOOR ASSEMBLIES AND TOP OF CYCLOPSITE AT WOOD FLOOR ASSEMBLIES
  3. ALL EXTERIOR LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES

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**BUILDING ELEVATIONS - NORTH**  
**FACADE**

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COS SPE #: -  
COS BP #: -

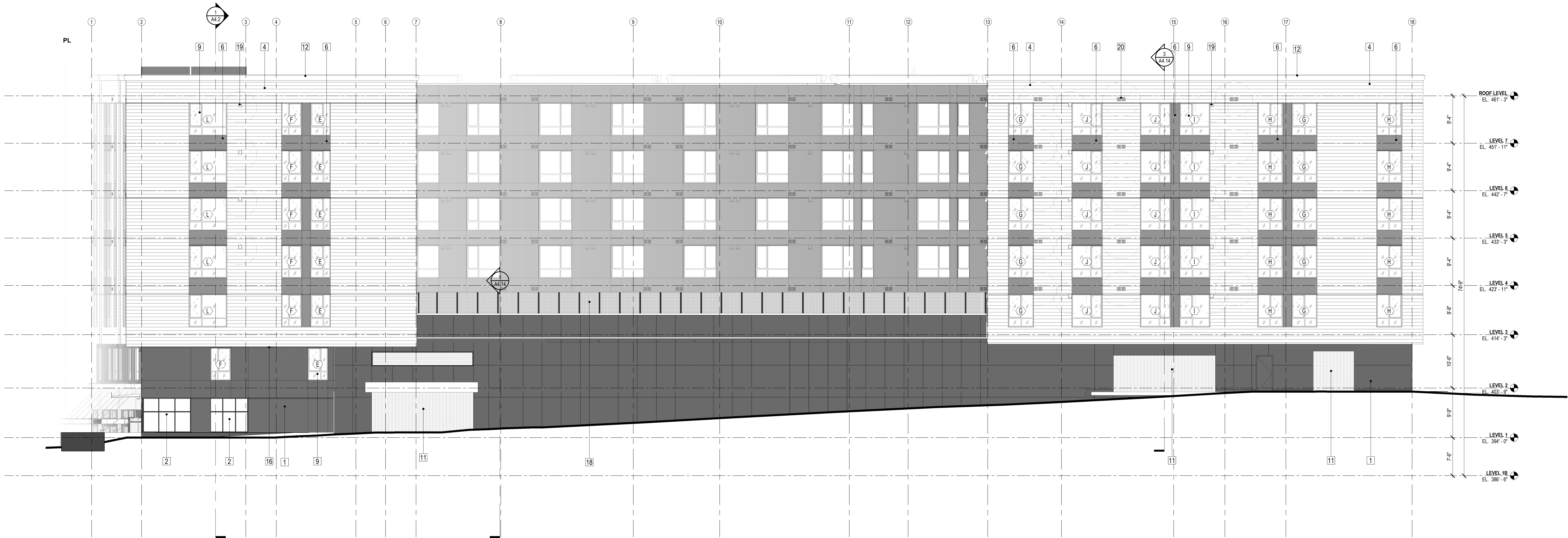
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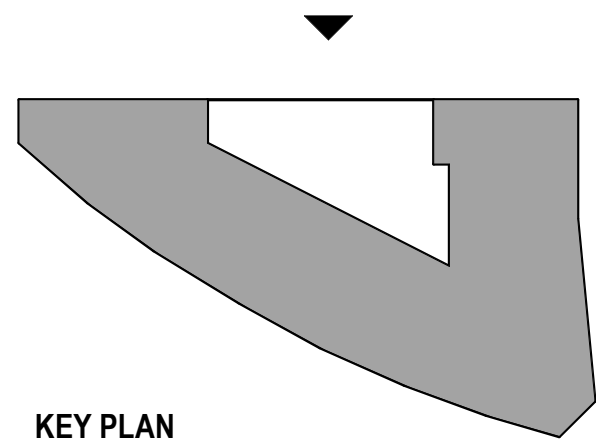
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ELEVATION KEY NOTE LEGEND	
#	DESCRIPTION
1	CONCRETE, PAINTED
2	ALUMINUM STOREFRONT
3	BRICK VENEER CLADDING, TBD
4	FIBER CEMENT PLANK LAP SIDING, COLOR: PT-1
5	FIBER CEMENT PANEL SIDING, COLOR: PT-2
6	FIBER CEMENT PANEL SIDING, COLOR: PT-3
7	FIBER CEMENT PANEL SIDING, COLOR: PT-4
8	PREFINISHED METAL COPING, COLOR: GRAY
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10	VINYL WINDOWS - COLOR: BLACK
11	OVERHEAD COILING DOOR
12	FIBER CEMENT CORNICE
13	BIKE PARKING SCREEN
14	METAL CANOPY
15	METAL DOWNSPOUT WITH SCUPPER - COLOR: TBD
16	LOUVER PER MECH
17	SIGNAGE - UNDER SEPARATE PERMIT
18	GREENWALL TRELLIS; SEE LANDSCAPE PLANS
19	METAL VENT SHROUD - 3 FT MIN. TO OPENINGS
20	METAL ERV HOOD - 3 FT MIN. TO OPENINGS
21	BRAKE METAL - COLOR: TBD
22	PLANTER, REF. LANDSCAPE
23	FDC



1 EAST ELEVATION  
A3.4 SCALE: 1/8" = 1'-0"



KEY PLAN

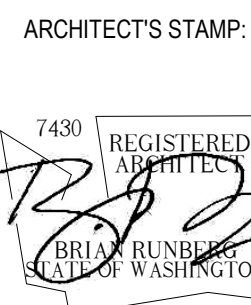
#### EXTERIOR ELEVATION NOTES:

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3. ALL EXTERIOR LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES

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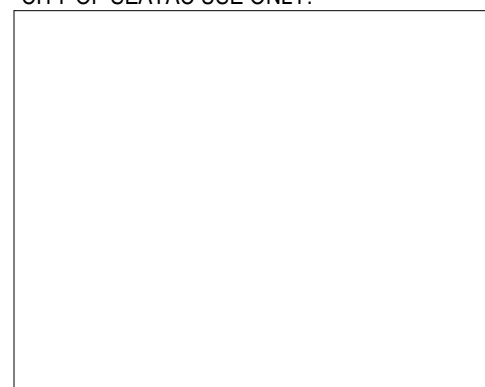
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BUILDING ELEVATIONS - EAST  
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COS SPE #:	-
COS BP #:	-

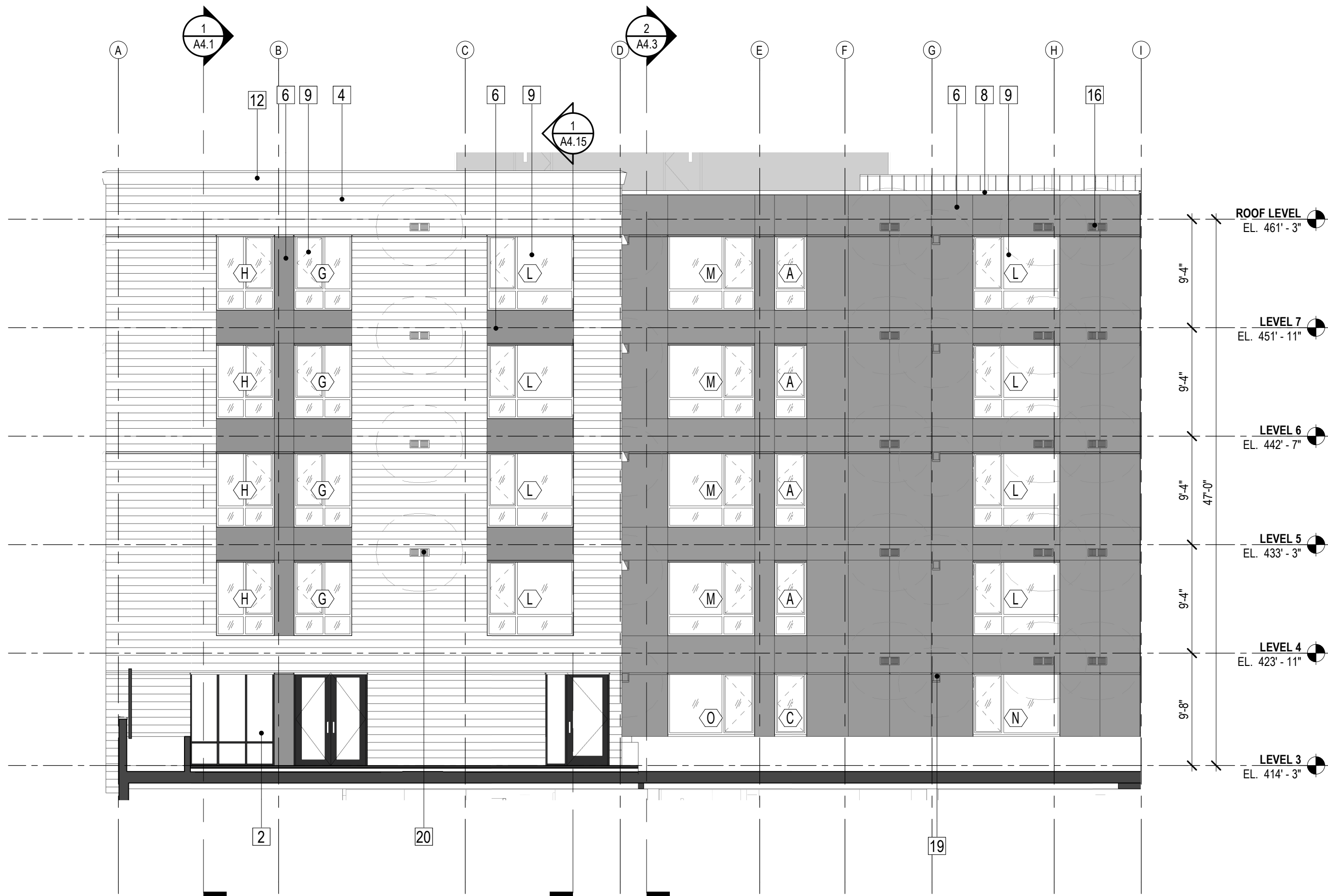
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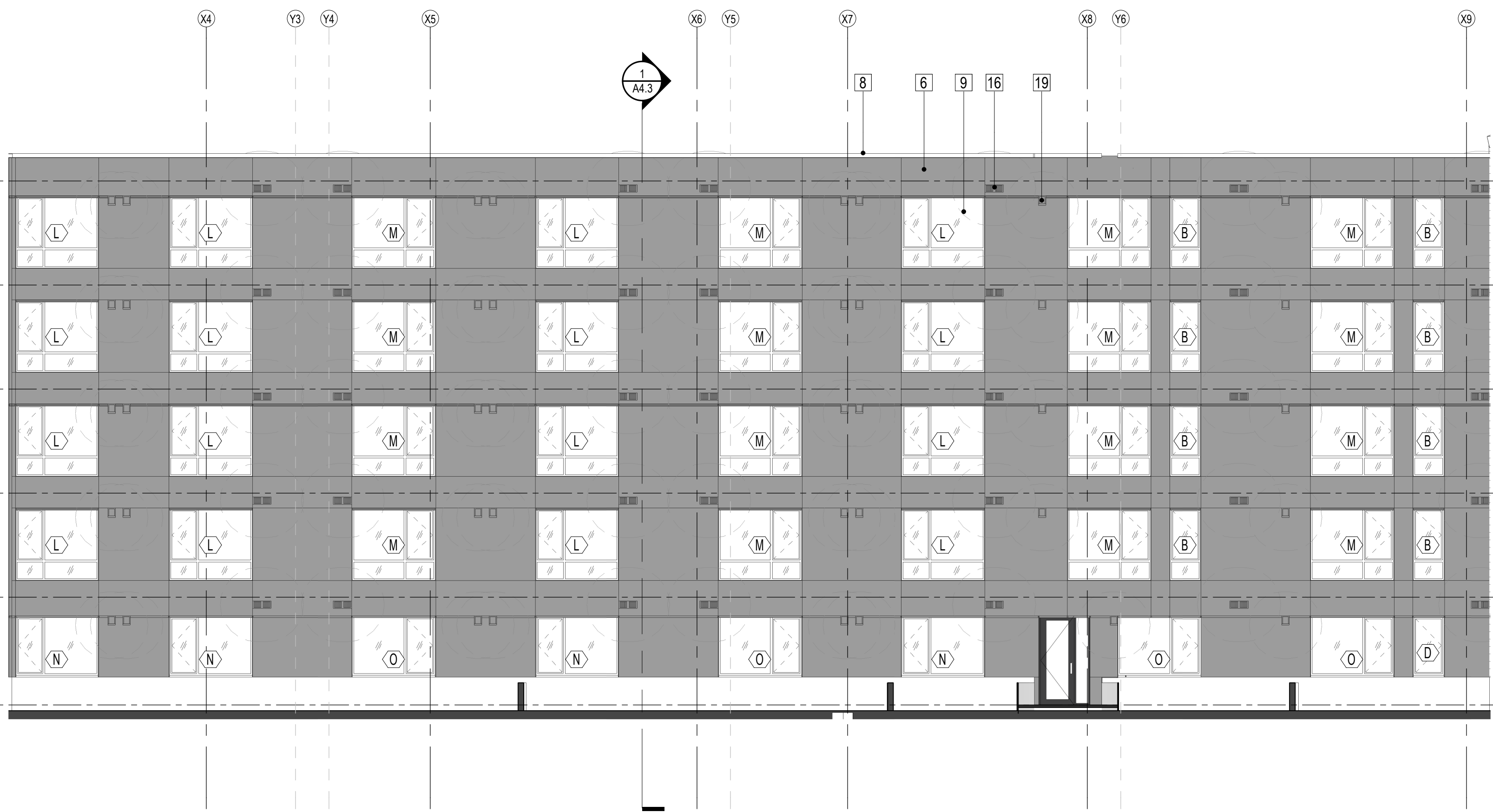
A3.4



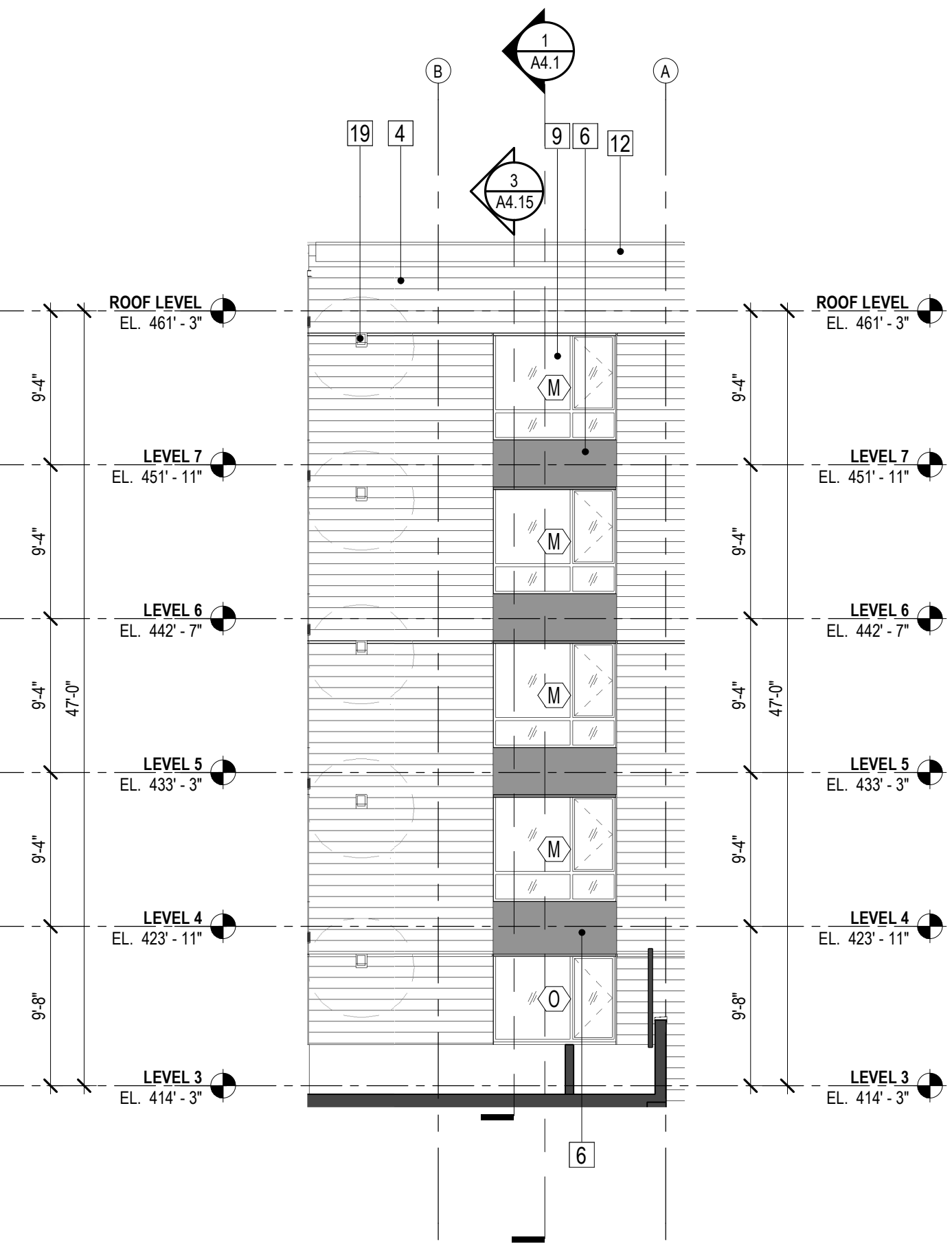
ELEVATION KEY NOTE LEGEND	
#	DESCRIPTION
1	CONCRETE, PAINTED
2	ALUMINUM STOREFRONT
3	BRICK VENEER CLADDING, TBD
4	FIBER CEMENT PLANK LAP SIDING, COLOR: PT-1
5	FIBER CEMENT PANEL SIDING, COLOR: PT-2
6	FIBER CEMENT PANEL SIDING, COLOR: PT-3
7	FIBER CEMENT PANEL SIDING, COLOR: PT-4
8	PREFINISHED METAL COPING, COLOR: GRAY
9	VINYL WINDOWS - COLOR: WHITE
10	VINYL WINDOWS - COLOR: BLACK
11	OVERHEAD COILING DOOR
12	FIBER CEMENT CORNICE
13	BIKE PARKING SCREEN
14	METAL CANOPY
15	METAL DOWNSPOUT WITH SCUPPER - COLOR: TBD
16	LOUVER PER MECH
17	SIGNAGE - UNDER SEPARATE PERMIT
18	GREENWALL TRELLIS; SEE LANDSCAPE PLANS
19	METAL VENT SHROUD - 3 FT MIN. TO OPENINGS
20	METAL EAVS HOOD - 3 FT MIN. TO OPENINGS
21	BRAKE METAL - COLOR: TBD
22	PLANTER, REF. LANDSCAPE
23	FDC



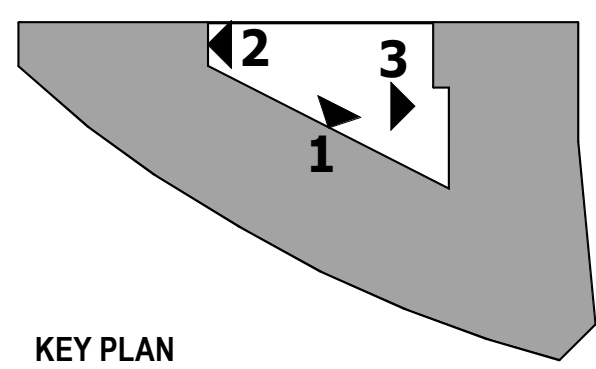
3 COURTYARD - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 COURTYARD - NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 COURTYARD - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



KEY PLAN

#### EXTERIOR ELEVATION NOTES:

- REFER TO T SERIES FOR PROJECT AND ZONING ANALYSIS, ZONING DIAGRAMS, DEPARTURE REQUESTS, AND HEIGHT DIAGRAMS
- FLOOR LEVEL ELEVATIONS INDICATED ARE TO TOP OF CONCRETE AT CONCRETE FLOOR ASSEMBLIES AND TOP OF CYPRESSE AT WOOD FLOOR ASSEMBLIES
- ALL EXTERIOR LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES

**R: RUNBERG**  
ARCHITECTURE  
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ARCHITECT'S STAMP:  
7430  
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ARCHITECT  
BRIAN RUNBERG  
LICENSED IN WASHINGTON

CONSULTANT'S STAMP:

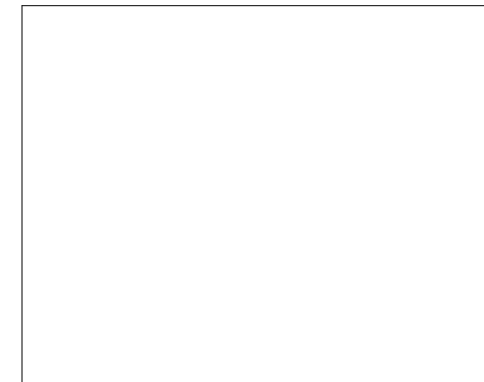
#### REVISIONS


#### SUBMITTALS

100% SD	2022.09.23
SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:



BUILDING ELEVATIONS - COURTYARD  
FACADES

DATE: 2022/12/01  
SCALE: 1/8" = 1'-0"  
DRAWN: Author  
JOB #: 21-102  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

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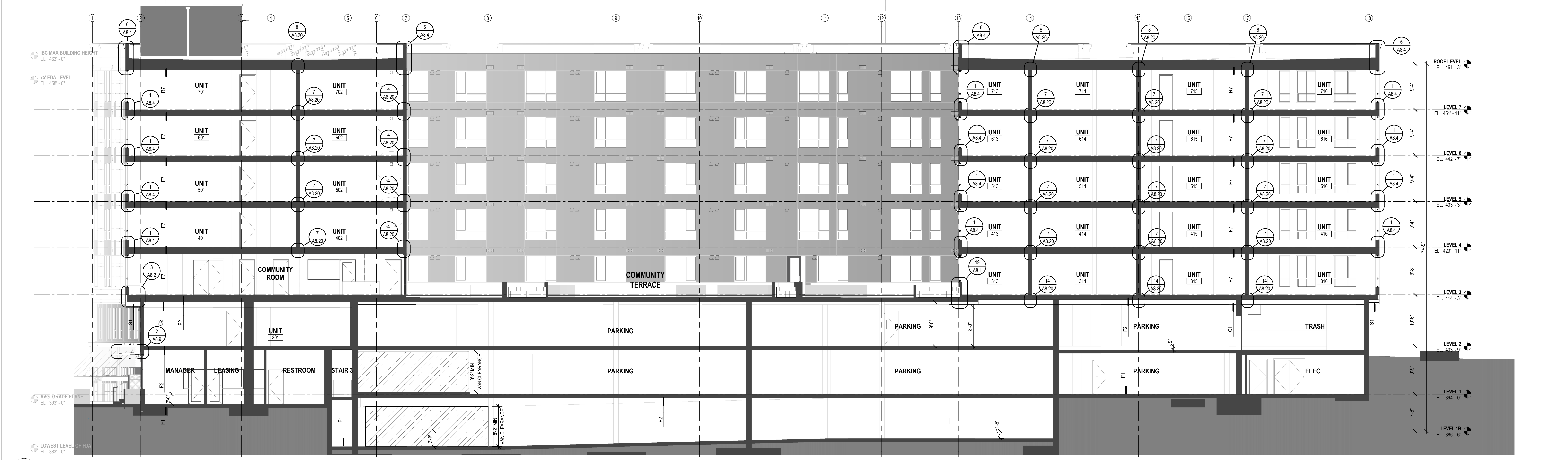
A3.5

NOT FOR CONSTRUCTION

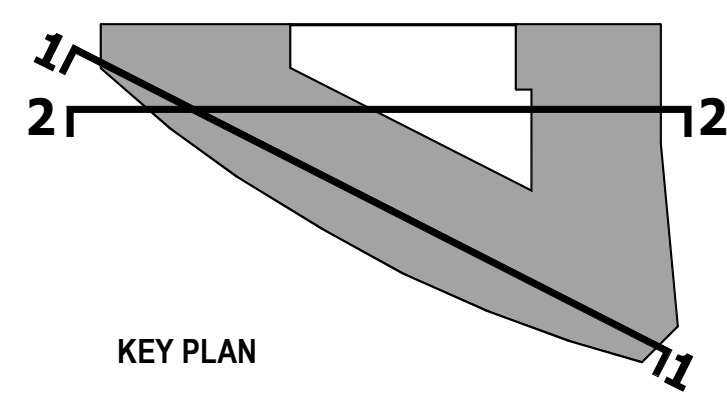




2 LONGITUDINAL SECTION 1  
A4.1 SCALE: 1/8" = 1'-0"



1 LONGITUDINAL SECTION 2  
A4.1 SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

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ARCHITECT'S STAMP:  
7430 REGISTERED ARCHITECT  
WASH. STATE

CONSULTANT'S STAMP:

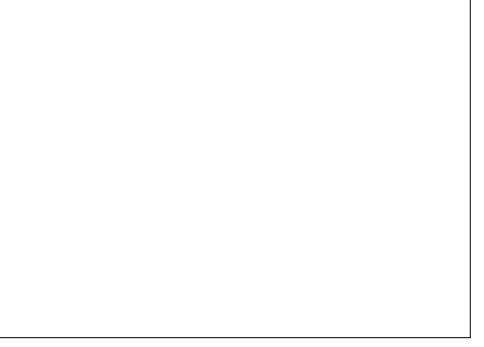
REVISIONS

SUBMITTALS

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100% DD	2022.12.01

MERCY ANGLE LAKE  
FAMILY HOUSING  
2650 S 200TH ST  
SEATAC, WA 98198

CITY OF SEATAC USE ONLY:



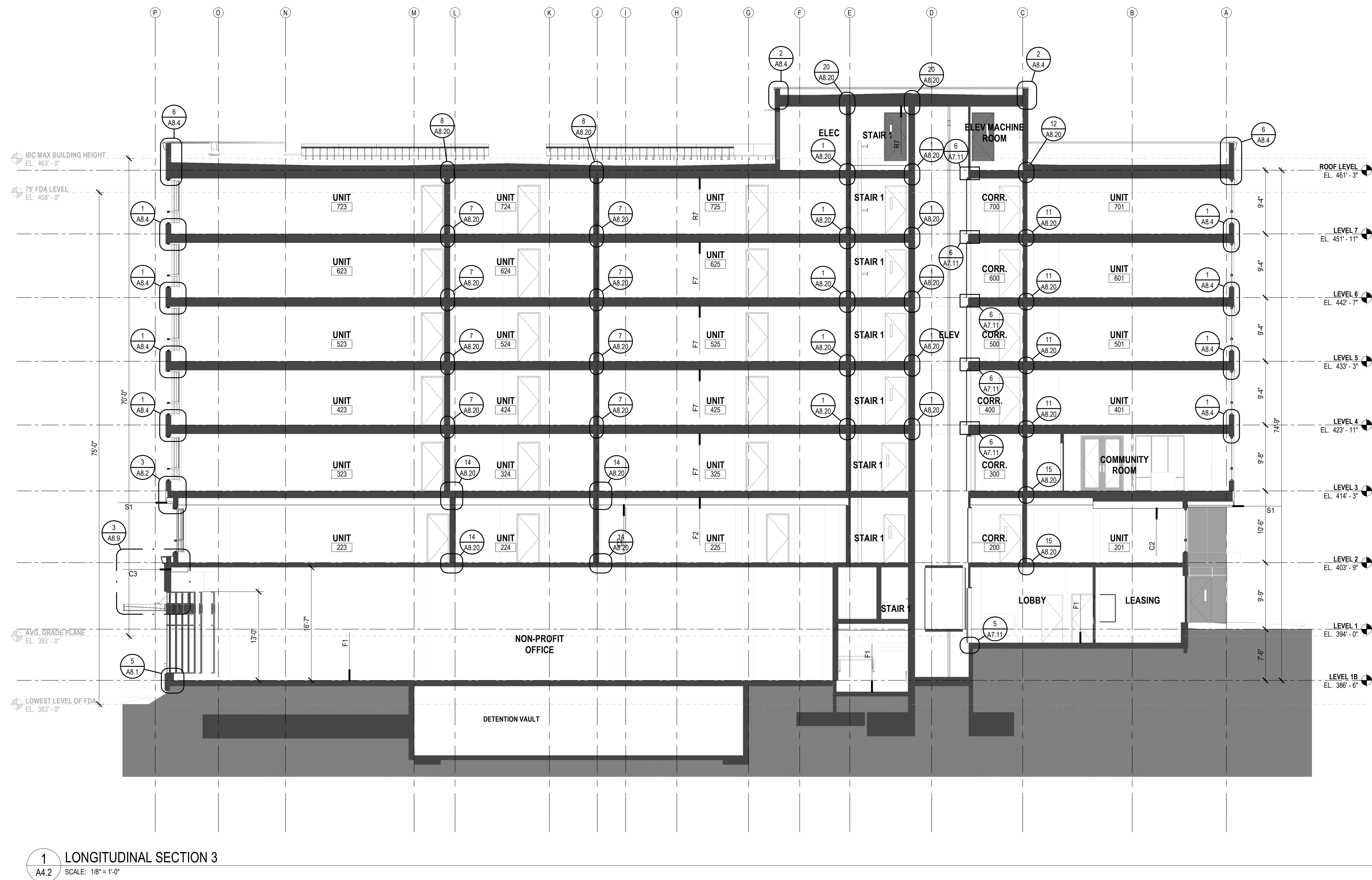
BUILDING SECTION - N-S

DATE: 2022/12/01  
SCALE: 1/8" = 1'-0"  
DRAWN: Author  
JOB #: 21-102  
COS SPR #: -  
COS SPE #: -  
COS BP #: -

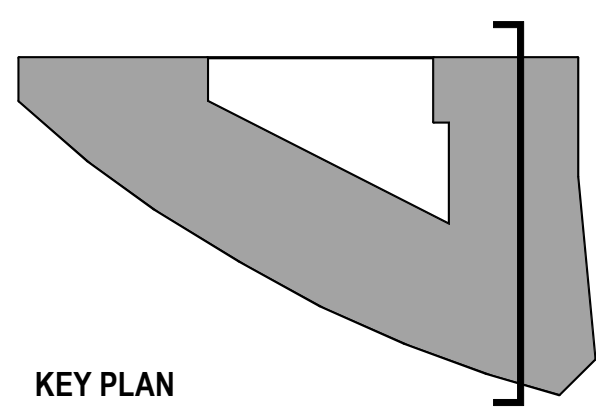
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SHEET  
A4.1



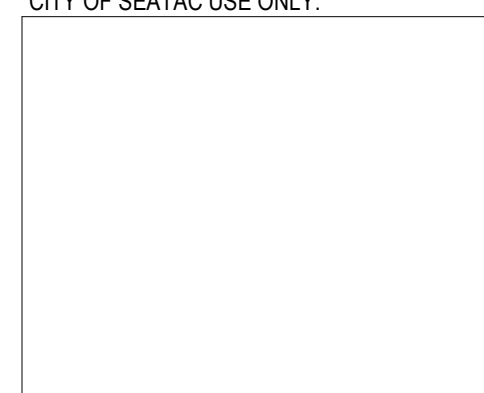


1 LONGITUDINAL SECTION 3  
A4.2 SCALE: 1/8" = 1'-0"

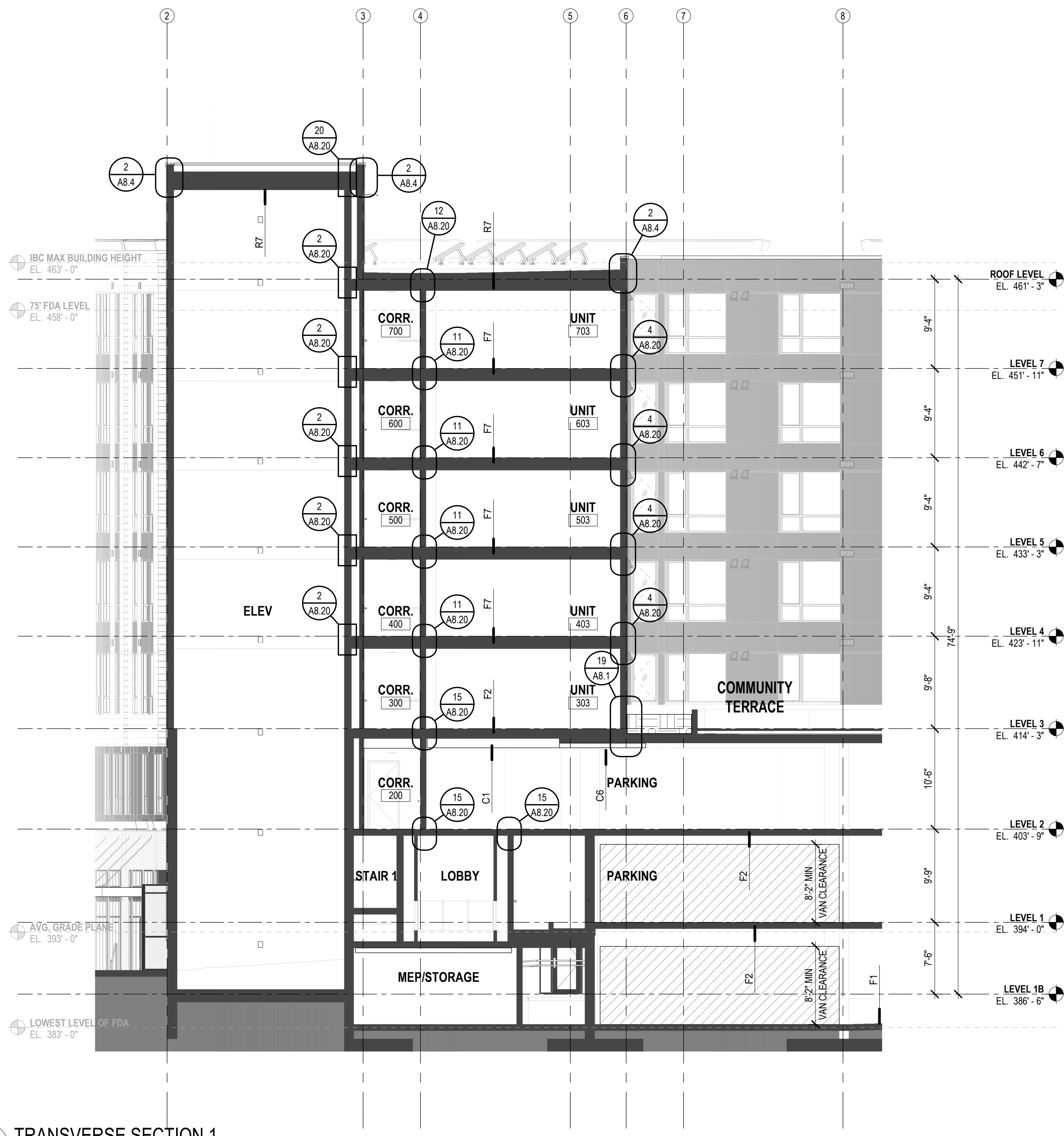


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SITE PLAN REVIEW SET	2022.08.31
100% DD	2022.12.01



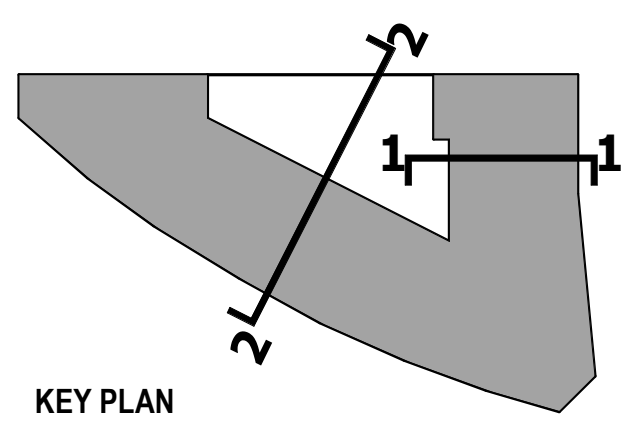




2 TRANSVERSE SECTION 1  
A4.3 SCALE: 1/8" = 1'-0"



1 TRANSVERSE SECTION 2  
A4.3 SCALE: 1/8" = 1'-0"



KEY PLAN

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