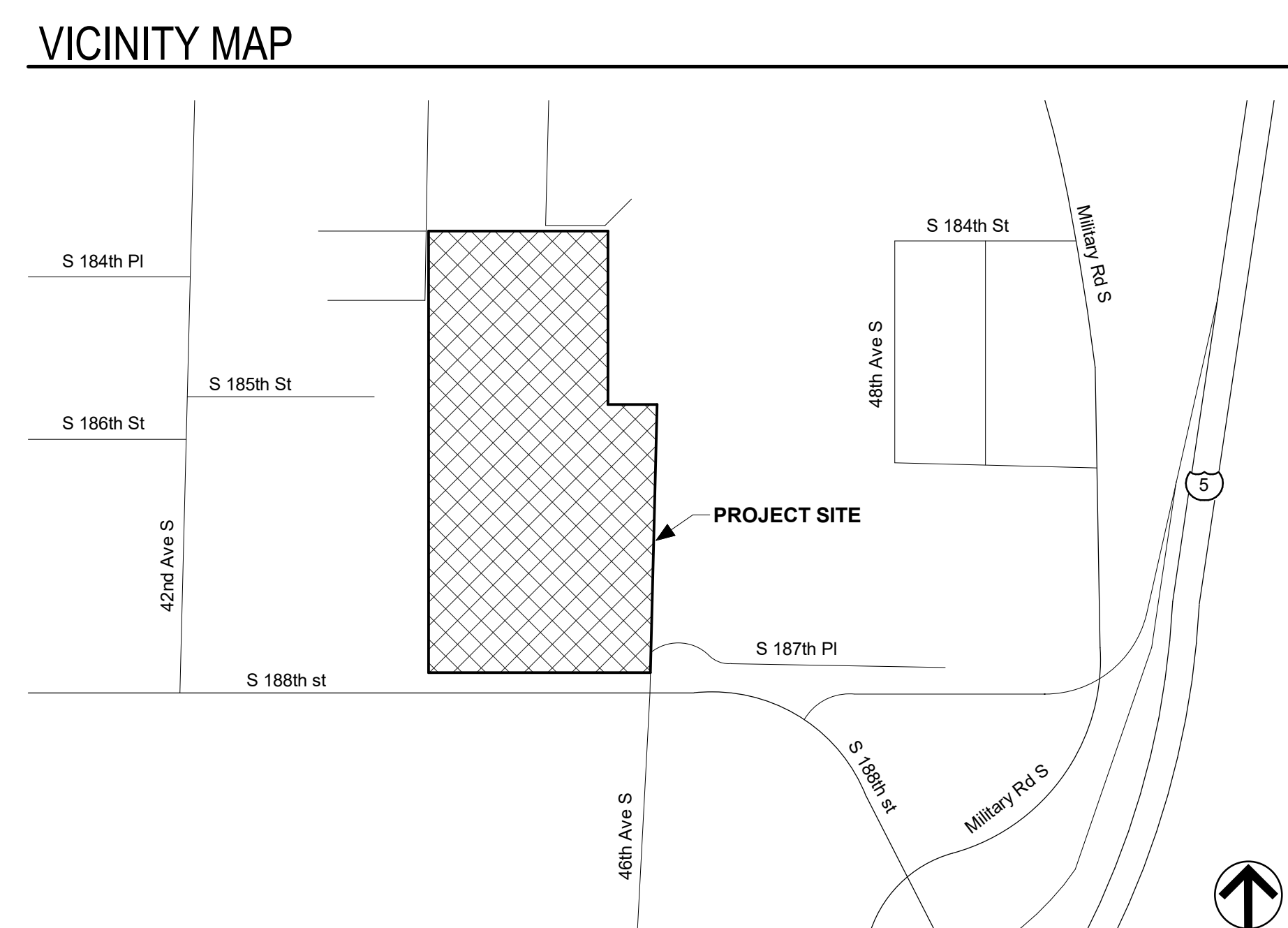
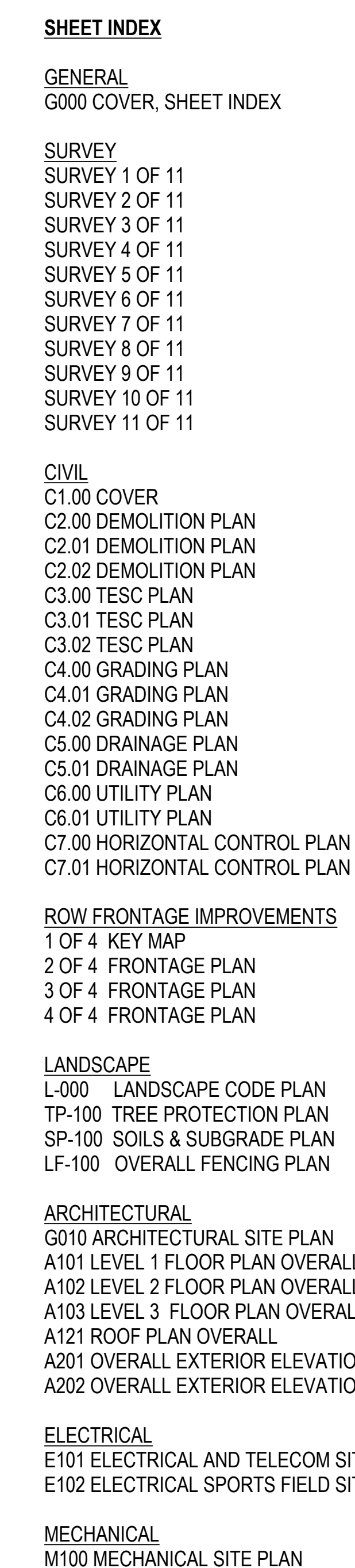


4424 S 188th St
SeaTac, WA 98188

CONDITIONAL USE PERMIT
INTEGRUS PROJECT NO. 21930



<u>OWNER</u>	<u>ARCHITECT</u>	<u>STRUCTURAL</u>	<u>CIVIL</u>	<u>LANDSCAPE</u>
HIGHLINE SCHOOL DISTRICT 17810 8TH AVENUE SOUTH, BLDG. A BURIEN, WA 98148	INTEGRUS ARCHITECTURE 117 S. MAIN ST., SUITE 100 SEATTLE, WA 98104 (206) 628-3137	INTEGRUS ARCHITECTURE 117 S. MAIN ST., SUITE 100 SEATTLE, WA 98104 (206) 628-3137	AHBL 1200 6TH AVE, SUITE 1620 SEATTLE, WA 98101 (206) 267-2425	OSBORN 1402 3RD AVENUE, SUITE 415 SEATTLE, WA 98101 (206) 628-9133
<u>MECHANICAL / PLUMBING</u>	<u>ELECTRICAL / LOW VOLTAGE</u>	<u>THEATER</u>	<u>FOOD SERVICE</u>	<u>ACOUSTICS</u>
METRIX ENGINEERS 1131 SW 7TH STREET, SUITE 110 RENTON, WA 98057 (425) 336-2822	HAGRIS ENGINEERS 1201 THIRD AVE. SUITE 600 SEATTLE, WA 98101 (206) 436-0417	PLA DESIGNS 4914 55TH AVE. SOUTH SEATTLE, WA 98118 (206) 257-2251	JLR DESIGN GROUP PO BOX 3675 EVERETT, WA 98213 (206) 625-0070	A3 ACOUSTICS 241 SOUTH LANDER ST, SUITE 200 SEATTLE, WA 98134 (206) 792-7769

SET NO. _____

LEGEND

	AREA DRAIN
	ABANDONED/RETIRED ASPHALT (ASPH)
	BOLLARD
	BRICK SURFACE
	BUILDING LINE
	BUILDING CORNER
	BIKE RACK
	CANOPY
	CATCH BASIN (CB)
	CONCRETE SURFACE
	CONCRETE/BRICK WALK
	CONCRETE/WOOD RETAINING WALL
	CONCRETE/EXTRUDED CURB
	CONCRETE/IRON PIPE
	CHAIN LINK FENCE (CLF)
	CABLE TV
	COLUMN
	CENTERLINE/MONUMENT LINE
	CONCRETE/WOOD STAIRS
	H/C PARKING SPACE
	CONFIROUS TREE
	DECIDUOUS TREE
	CORRUGATED METAL PIPE
	CENTER OF CHANNEL
	DOWN SPOUT
	DRIVEWAY
	ELECTRICAL CONDUIT
	ELECTRICAL DUCT
	ELECTRICAL HANDHOLE
	ELECTRICAL MANHOLE
	ELECTRICAL METER
	ELECTRICAL VAULT/TRANSFORMER
	FOUND SURVEY MONUMENT (AS NOTED)
	FIRE HYDRANT
	FIRE DEPT. CONNECTION (FDC)
	FIBER OPTICS
	FIBER OPTIC MANHOLE
	FINISH FLOOR ELEVATION
	GRADE BREAK
	GAS MAIN
	GAS METER
	GAS VALVE
	GAS VAULT
	GUY ANCHOR
	HANDRAIL
	GUY POLE
	STRAIN POLE
	IRRIGATION CONTROL BOX
	IRRIGATION VALVE
	IRON FENCE (WIF)
	INDUCTION LOOP
	INVERT ELEVATION
	LIGHT POLE (METAL)
	LIGHT POLE (WOOD)
	LIGHT POLE (FIBERGLASS/CONC)
	STRAIN POLE W/ LIGHT
	LIGHT POLE (DECORATIVE)
	LANDSCAPE/PLANTER
	MANHOLE
	MAILBOX (FEDERAL/PRIVATE)
	MONITOR WELL
	OVERHEAD POWER/TELEPHONE
	OVERHEAD GUYWIRE/BUS (TROLLEY)
	PARKING SPACE(S)
	PROPERTY LINE (PL)
	PAINTED UTILITY LOCATION
	PIPE FLOW DIRECTION
	POLYETHYLENE
	PARKING PAY STATION
	POST INDICATOR VALVE
	COMBINED/SANITARY SEWER
	STORM DRAIN
	PEDESTRIAN PUSH BUTTON (PPB)
	PEDESTRIAN SIGNAL/PEDESTAL
	RECORD DATA
	GRAVEL SURFACE
	ROCKERY
	ROOF ELEVATION
	SEATTLE CITY LIGHT HANDHOLE
	SERVICE DRAIN (STORM)
	CLEANOUT
	STEAM LINE/VAULT
	SANITARY SIDE SEWER (RECORD)
	SIGN/STREET NAME SIGN
	STOP BAR
	TRAFFIC CONTROL/STREET LIGHT HANDHOLE
	TRAFFIC CONTROL CABINET (TRSCC)
	TRENCH DRAIN
	TEMPORARY BENCHMARK (TBM)
	TELEPHONE CONDUIT (BURIED)
	TELEPHONE DUCT
	TELEPHONE VAULT
	TELEPHONE MANHOLE
	TELEPHONE SENTRY
	TRAFFIC FLOW DIRECTION
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL CONDUIT (BURIED)
	TOE OF SLOPE
	TOP OF BANK
	UTILITY POLE (WOOD)
	WATER VAULT
	WATER MAIN
	WATER METER
	WATER VALVE
	WATER BLOWOFF VALVE
	WATER GATE VALVE/CHAMBER
	VACATION/CONDEMNATION ORDINANCE
	WIRE ELEVATION
	WOOD FENCE (WF)
	YARD LIGHT
	CEDAR TREE
	PINE TREE

UTILITY PROVIDERS:

SANITARY SEWERS
MIDWAY SEWER DISTRICT
3030 SOUTH 240TH STREET
PO BOX 3487
KENT, WA 98032
(206) 824-4960
STORM SEWERS
CITY OF SEATAC
PUBLIC WORKS DEPARTMENT
4800 S 188TH ST
SEATAC, WA 98188
(206) 973-4800
POWER AND GAS
PUGET SOUND ENERGY
355 110TH AVENUE NE
BELLEVUE, WA 98004
(206) 425-2000
(888) 225-577
WATER
HIGHLINE WATER DISTRICT
23828 30TH AVENUE SOUTH
PO BOX 3867
KENT, WA 98032
(206) 824-0375
TELEPHONE
CENTURY LINK
1600 7TH AVENUE
SEATTLE, WA 98191
(800) 244-1111

SITE NOTES

SITE ADDRESS:
4010 & 4424 SOUTH 188 STREET
SEATAC, WA 98188

PARCEL NOS:
3423049340
3423049044

ZONING:
UL-7200

ZONING AGENCY:
CITY OF SEATAC
PLANNING DEPARTMENT
4800 S 188TH ST
SEATAC, WA 98188
(206) 973-4800

SETBACKS:
CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW. CURRENT SETBACKS MAY DIFFER FROM THOSE IN EFFECT DURING DESIGN/CONSTRUCTION OF EXISTING IMPROVEMENTS.

THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE GOVERNING JURISDICTION INDICATES THAT STRUCTURES ON THIS PROPERTY COMPLIED WITH MINIMUM SETBACK AND HEIGHT REQUIREMENTS FOLLOWING CONSTRUCTION.

FLOOD ZONE:
THIS SITE APPEARS ON NATIONAL FLOOD INSURANCE RATE MAP, DATED MAY 16, 1995, COMMUNITY PANEL NO. 53033C0967F, AND IS SITUATED IN ZONE "X", AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

HORIZONTAL DATUM:
NAD 83/91

VERTICAL DATUM:
NAVD 88

AREA:
SITE AS SHOWN CONTAINS 1,133,680 SQUARE FEET OR 26.0257 ACRES, MORE OR LESS.

PARKING SPACE COUNT:
PARKING SPACES TOTAL 326, INCLUDING 10 DISABLED PARKING SPACES.

SUBSTRUCTURES:
BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORDS MAPS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY.

TELECOMMUNICATIONS/FIBER OPTIC DISCLAIMER:
RECORDS OF UNDERGROUND TELECOMMUNICATIONS AND/OR FIBER OPTIC LINES ARE NOT ALWAYS AVAILABLE TO THE PUBLIC. BRH HAS NOT CONTACTED EACH OF THE MANY COMPANIES, IN THE COURSE OF THIS SURVEY, WHICH COULD HAVE UNDERGROUND LINES WITHIN ADJACENT RIGHTS-OF-WAY. THEREFORE, BRH DOES NOT ACCEPT RESPONSIBILITY FOR THE EXISTENCE OF UNDERGROUND TELECOMMUNICATIONS/FIBER OPTIC LINES WHICH ARE NOT MADE PUBLIC RECORD WITH THE LOCAL JURISDICTION. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.

STATEMENT OF TOPOGRAPHIC MAP ELEMENTS (WAC 332-130-145)

2(b) PURPOSE: FEASIBILITY AND DESIGN

2(c) CONTOUR SOURCE: CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS

2(f) CONTOUR ACCURACY: COMPLIES WITH UNITED STATES NATIONAL MAP ACCURACY STANDARDS (90% OR GREATER OF ALL SURVEY POINTS CHECKED ARE CORRECT WITHIN HALF OF ONE CONTOUR INTERVAL).

2(g) LIMITATIONS: THE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS TO SUPPORT DESIGN & ENGINEERING WORK, AND TO ILLUSTRATE BOUNDARY AND TITLE INVESTIGATIONS.

2(h) BOUNDARY SOURCE: FIELD SURVEY OF CONTROLLING MONUMENTS, AND CONSIDERATION OF EXISTING RECORDS OF SURVEYS & RECORD PLATS FOR DETERMINING ON THE GROUND POSITIONS OF DEEDED PROPERTY AND EASEMENT LINES.

3(a) & 3(b) UTILITIES: UNDERGROUND UTILITIES ARE SHOWN BY ONE OR MORE OF THE FOLLOWING METHODS:

1. SURVEY FIELD OBSERVATION OF MARKINGS PRODUCED BY DIRECT UTILITY DETECTION WORK.
2. DIRECT OBSERVATIONS OF UNDERGROUND, GRAVITY FLOW PIPES PERFORMED AT VISIBLE CONTROLLING STRUCTURES.
3. SCALING OF AS-BUILTS, DESIGN DRAWINGS OR OTHER RECORDS.

3(c) SCOPE STATEMENT: UTILITY INVESTIGATIONS ARE SUBJECT TO THE LIMITATIONS OF ACCURACY OF CONVENTIONAL UNDERGROUND UTILITY DETECTION EQUIPMENT, THE EXISTENCE / ACCURACY OF RECORD UTILITY MAPS PRODUCED BY OTHERS, OR THE AWARENESS OR LOCAL KNOWLEDGE OF ANYTHING CONCEALED UNDERGROUND. THE COMPREHENSIVENESS OF SAID INVESTIGATIONS ARE THEREFORE LIMITED TO THE CAPACITY OF SAID TECHNOLOGIES AND /OR THE AVAILABILITY OF SUCH RECORDS OR KNOWLEDGE.

PURSUANT TO R.C.W. 19.22.030, ALWAYS CALL 8-1-1 AT LEAST TWO DAYS BEFORE YOU DIG.

WASHINGTON811.COM

HORIZONTAL DATUM: NAD 83/91

HORIZONTAL BENCHMARKS:
OWNER: CITY OF SEATTLE
ID#: 934-912
DESCRIPTION: PUNCHED BRASS PIN DOWN 0.85" IN CASE
LOCATION: INTERSECTION OF 31ST PL. AND S. 168TH PL.
NORTHING: 168341.24'
EASTING: 1279400.58'

OWNER: KING COUNTY
ID# 3537
DESCRIPTION: 3" SURFACE BRASS DISC
LOCATION: SET FLUSH IN SIDEWALK AT THE N.W. CORNER, INTERSECTION OF SPERRY DR. & S. 180TH ST.
NORTHING: 164225.10'
EASTING: 1290372.95'

VERTICAL DATUM: NAVD 88

VERTICAL BENCHMARKS:

SOURCE: CITY OF SEATAC
ID# KC-H-1-CITY OF SEATAC
DESCRIPTION: 3" BRASS DISK
LOCATION: S.W. CORNER OF 42ND AVE. S. & S. 177TH ST.
ELEVATION: 480.82'

SOURCE: CITY OF SEATAC
ID# KC-H-2-CITY OF SEATAC
DESCRIPTION: 3" BRASS DISK
LOCATION: CONCRETE SIDEWALK, WEST SIDE OF 42ND AVE. S., BETWEEN S. 188TH ST. & ENTERANCE TO ANGLE LK. NEIGHBORHOOD.
ELEVATION: 390.97'

DESCRIPTION:

PARCEL A:
THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SUBDIVISION;
THENCE NORTH 13'00" EAST ALONG THE WESTERLY LINE THEREOF 630.225 FEET;
THENCE SOUTH 89°30' EAST PARALLEL WITH THE SOUTHERLY LINE OF SAID SUBDIVISION 698.405 FEET;
THENCE SOUTHERLY 630.00 FEET TO A PORTION ON THE SOUTHERLY LINE OF SAID SUBDIVISION A DISTANCE OF 715.456 FEET EASTERLY OF THE POINT OF BEGINNING;
THENCE NORTH 89°30' WEST ALONG SAID SOUTHERLY LINE 715.456 FEET TO THE POINT OF BEGINNING;

EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR 42ND AVENUE SOUTH BY DEED RECORDED UNDER KING COUNTY RECORDING NO. 4533542;

AND EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR SOUTH 186TH STREET BY DEED RECORDED UNDER KING COUNTY RECORDING NO. 5395751;
TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING KNOWN AS TRACTS 28 AND 29 OF HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:
BEGINNING 1,913.05 FEET WEST AND 680 FEET SOUTH OF THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE SOUTH 610 FEET;
THENCE WEST 165 FEET;
THENCE NORTH 610 FEET;
THENCE EAST 165 FEET TO BEGINNING;

EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR SOUTH 186TH STREET BY DEED RECORDED UNDER KING COUNTY RECORDING NO. 5395751;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING KNOWN AS THE WEST ONE-HALF OF TRACT 30, HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

BEGINNING 1,418.05 FEET WEST AND 680 FEET SOUTH OF THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE SOUTH 610 FEET;
THENCE WEST 495 FEET;
THENCE NORTH 610 FEET;
THENCE EAST 495 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH THE SOUTH HALF OF VACATED SOUTH 186TH STREET ADJOINING;

EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR SOUTH 186TH STREET, BY DEED RECORDED UNDER KING COUNTY RECORDING NUMBER 5395751;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING KNOWN AS THE EAST HALF OF TRACT 30 AND ALL OF TRACT 31, IN HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF).

PARCEL B:

BEGINNING AT THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE WEST 1748.05 FEET TO THE TRUE POINT OF BEGINNING;
THENCE WEST 330 FEET;
THENCE SOUTH 640 FEET;
THENCE EAST 330 FEET;
THENCE NORTH 640 FEET TO THE TRUE POINT OF BEGINNING;

(ALSO BEING KNOWN AS TRACT 25, HIGHLAND FIVE-ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

BEGINNING 1748.05 FEET WEST OF EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE SOUTH 640.0 FEET;
THENCE EAST 165.0 FEET;
THENCE NORTH 640.0 FEET;
THENCE WEST 165.0 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING THE WEST HALF OF TRACT 24, HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

AND TOGETHER WITH THE SOUTH 155 FEET OF THE WEST 160 FEET OF THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE WEST 1418.05 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 640 FEET;
THENCE WEST 165 FEET;
THENCE NORTH 640 FEET;
THENCE EAST 165 FEET TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING A PORTION OF THE EAST HALF OF TRACT 24, HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF).

TITLE REPORT REFERENCE:
THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN, FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 900353-3358856, DATED DECEMBER 6, 2019. THE EASEMENTS SHOWN OR NOTED HEREON RELATE TO THIS COMMITMENT.

NOTE: EASEMENTS CREATED OR RESCINDED AFTER THIS DATE ARE NOT SHOWN OR NOTED HEREON.

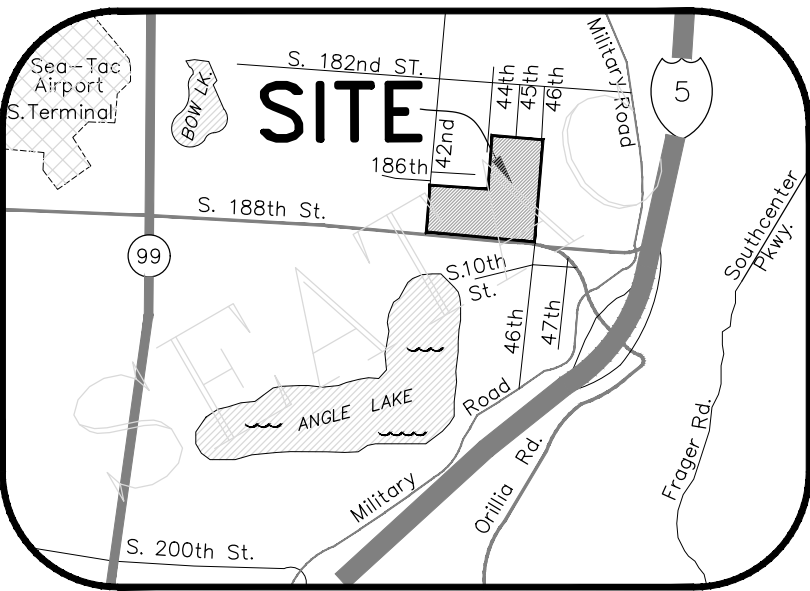
TITLE REPORT SCHEDULE B EXCEPTIONS:
ITEMS CIRCLED ARE SHOWN ON MAP.

5. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
RECORDED: JANUARY 5, 1931 AND DECEMBER 19, 1930
RECORDING INFORMATION: 2649896 AND 2648112
IN FAVOR OF: PUGET SOUND ENERGY, INC., A WASHINGTON CORPORATION
FOR: ELECTRIC AND/OR GAS TRANSMISSION AND/OR DISTRIBUTION SYSTEM

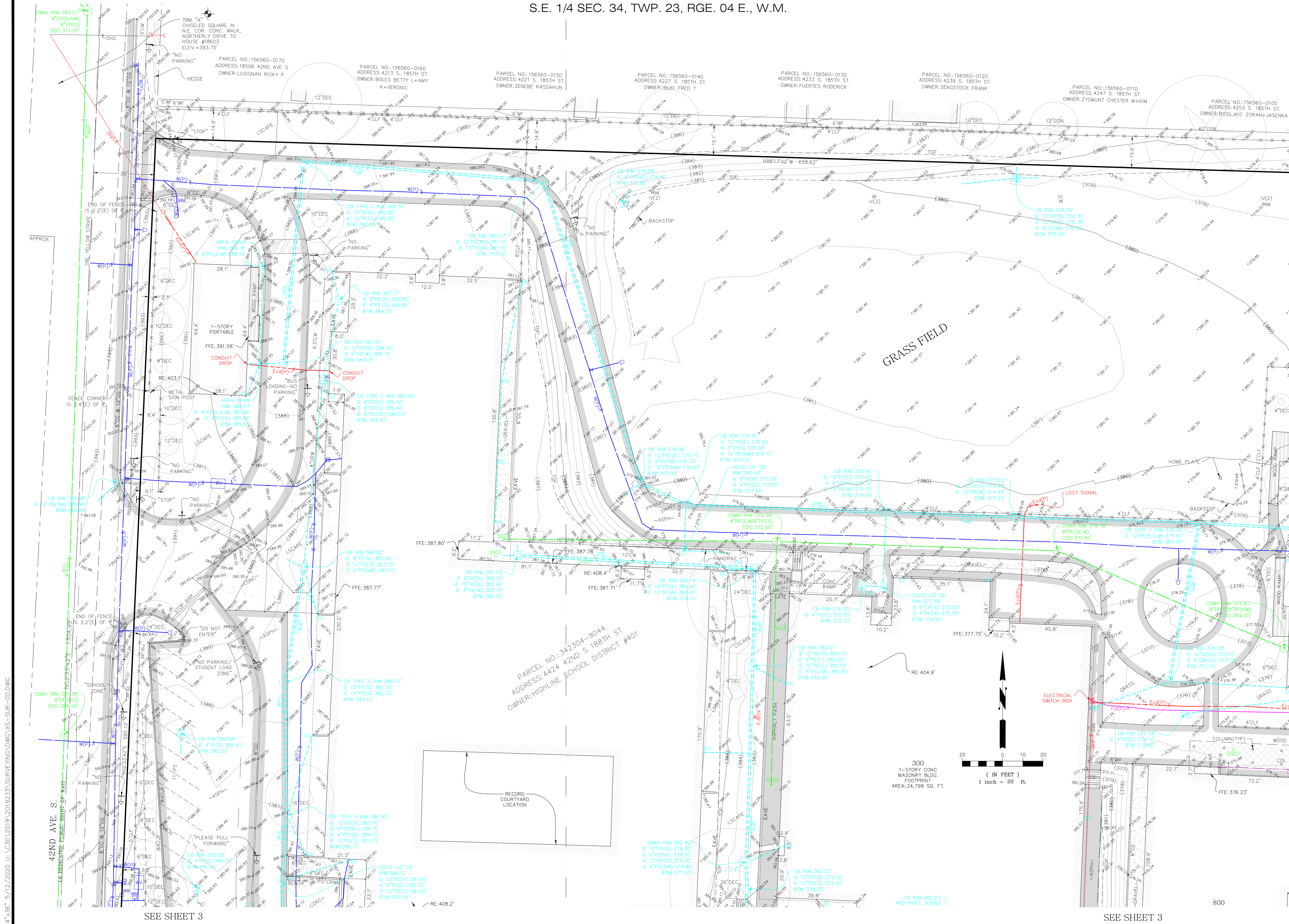
6. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISES FOR AS GRANTED BY DEED RECORDED FEBRUARY 17, 1954 UNDER RECORDING NO. 4533542.
AFFECTS: PARCEL A

7. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISES FOR AS GRANTED BY DEED RECORDED MARCH 7, 1962 UNDER RECORDING NO. 5395751.
AFFECTS: PARCEL A

8. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
RECORDING INFORMATION: 6249417
IN FAVOR OF: DES MOINES SEWER DISTRICT, A MUNICIPAL CORPORATION OF KING COUNTY, WASHINGTON
FOR: SEWER MAINS WITH THE NECESSARY APPURTENANCES AS CONSTRUCTED ACROSS PARCELS A AND B



S.E. 1/4 SEC. 34, TWP. 23, RGE. 04 E., W.M.



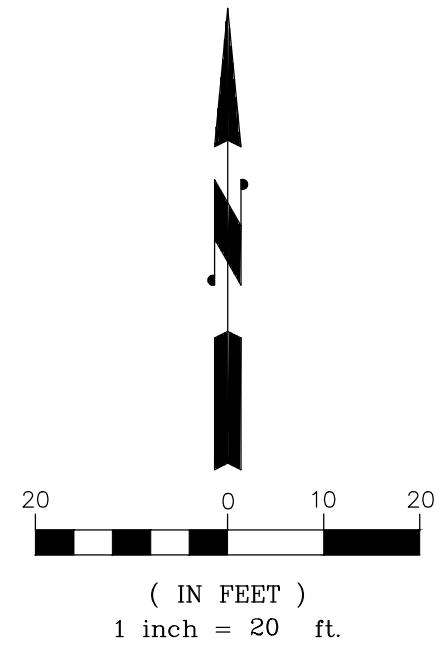
BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS
2009 MINOR AVE. EAST
SEATTLE, Washington
98102-3513
FAX# (206) 323-7135
(206) 323-4144
1-800-935-0508



NO.	REVISION	DATE

BOUNDARY AND TOPOGRAPHIC SURVEY
TYEE HIGH SCHOOL & CHINOOK MIDDLE SCHOOL
HIGHLINE SCHOOL DISTRICT
CITY OF SEACAC KING COUNTY WASHINGTON

drawn by	checked by
ABW	JMH
scale	date
1" = 20'	03/06/20
job no.	2019233.00
sheet	2 of 11



BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS

2009 MINOR AVE. EAST
SEATTLE, Washington
98102-3513
(206) 323-4144
1-800-935-0508
FAX# (206) 323-7135

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BOUNDARY AND TOPOGRAPHIC SURVEY
TYTEE HIGH SCHOOL & CHINOOK MIDDLE SCHOOL
HIGHLINE SCHOOL DISTRICT

CITY OF SEATAC KING COUNTY WASHINGTON

SEE SHEET ?

drawn by	checked by
ABW	JMH

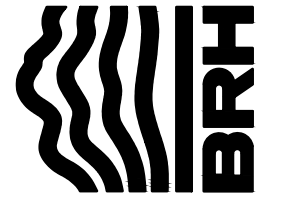
scale	date
1" = 20'	03/06/20

job no.	2019233.00
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sheet 3 of 11



(206) 323-4144
1-800-935-0508
FAX# (206) 323-7135



Category	Sub-category	Value
A	1	10
	2	20
	3	30
	4	40
	5	50
B	1	10
	2	20
	3	30
	4	40
	5	50
C	1	10
	2	20
	3	30
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	5	50
D	1	10
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	5	50

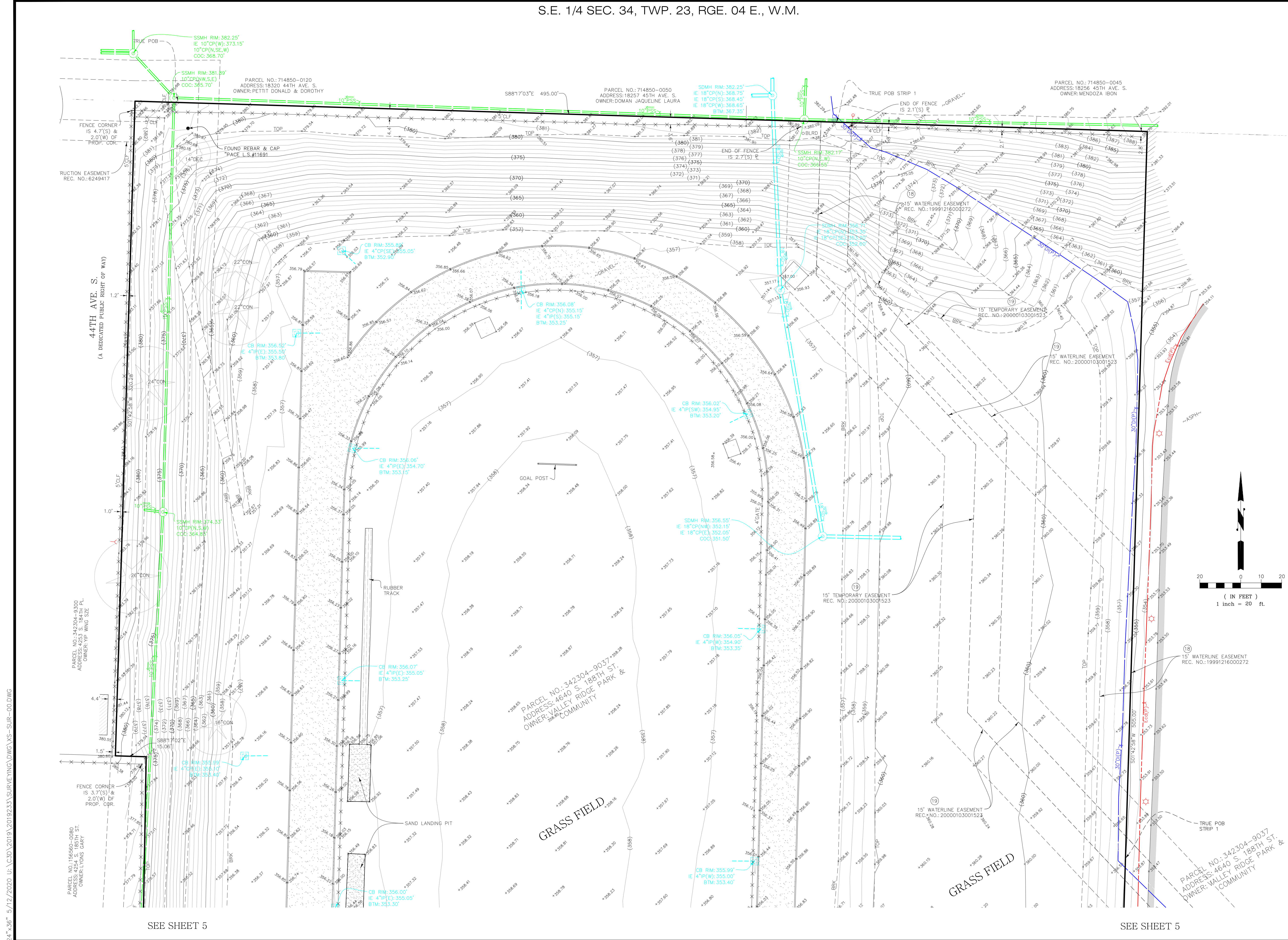
CITY OF SEATAC

KING COUNTY

WASHINGTON

no.
2019233.00

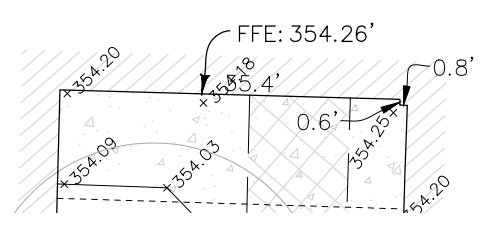
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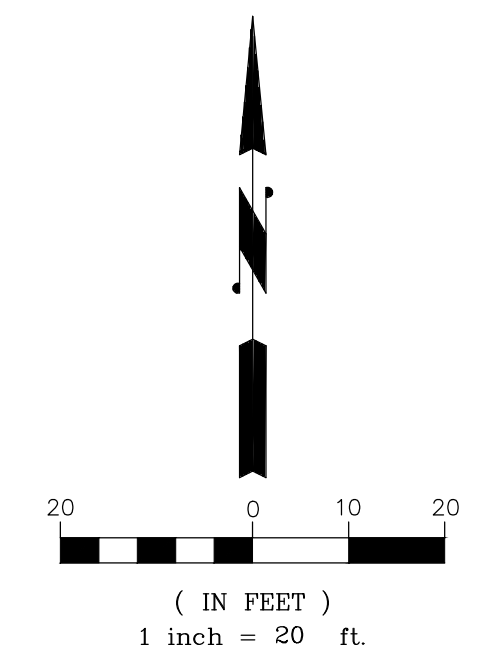


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9 of 11

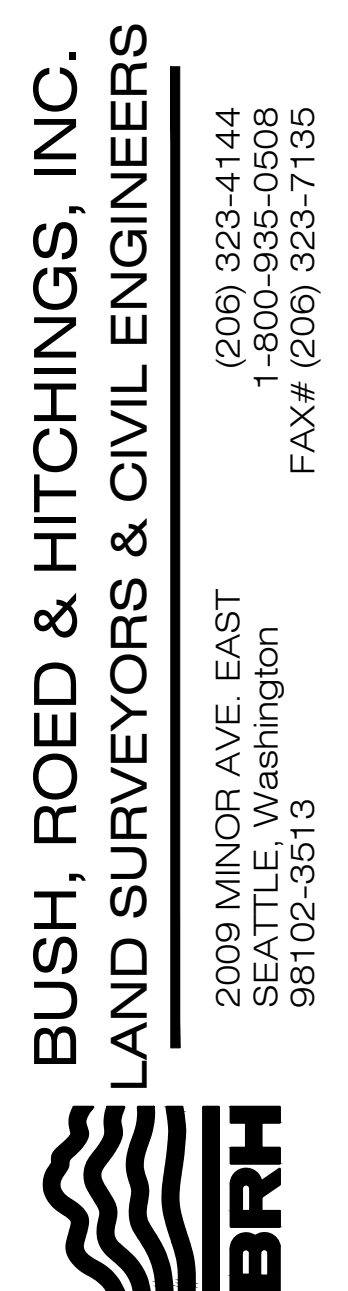


6 of 11



CB RIM: 351.28'
 IE 12" CP(W): 347.80'
 BTM: 346.35'
 SDMH RIM: 351.48'
 IE 36" MP(N): 344.10'
 IE 8" PE(E): 344.65'
 IE 12" PE(W): 347.80'
 TOP OF RISER: 347.90'
 IE 12" PE(W): 345.00'
 BTM: 339.90'
 WASTE BIN
 DOWNSTREAM STRUCTURE (FOU)
 15 SQ FT
 TEM 55.1' 55.1' 55.1'
 CHEESED SQUARE
 S.W. COR. ELECTRICAL
 VAULT.
 ELEV = 352.35'
 Foul
 WATERLINE EASEMENT

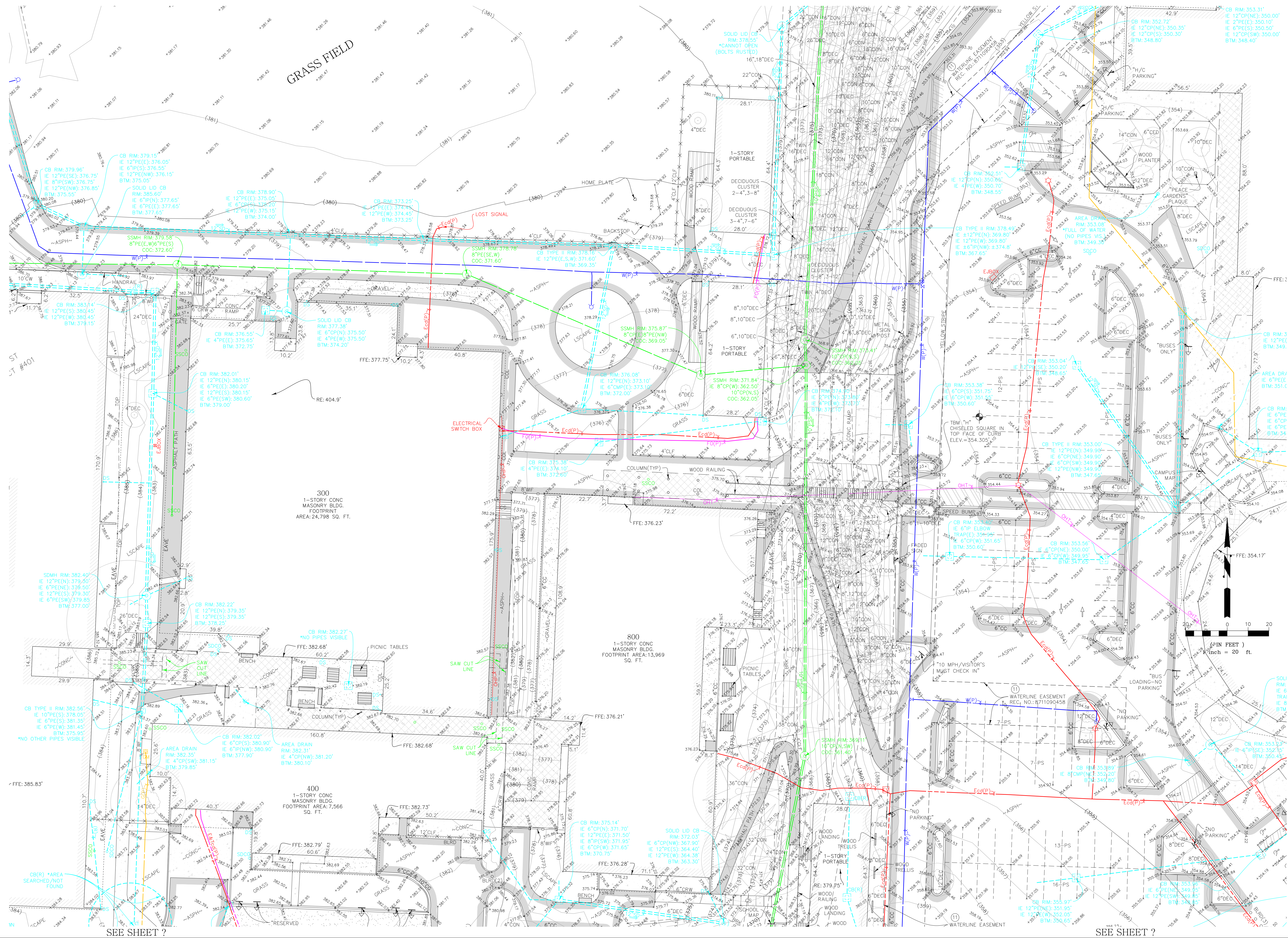
SEE SHEET ?

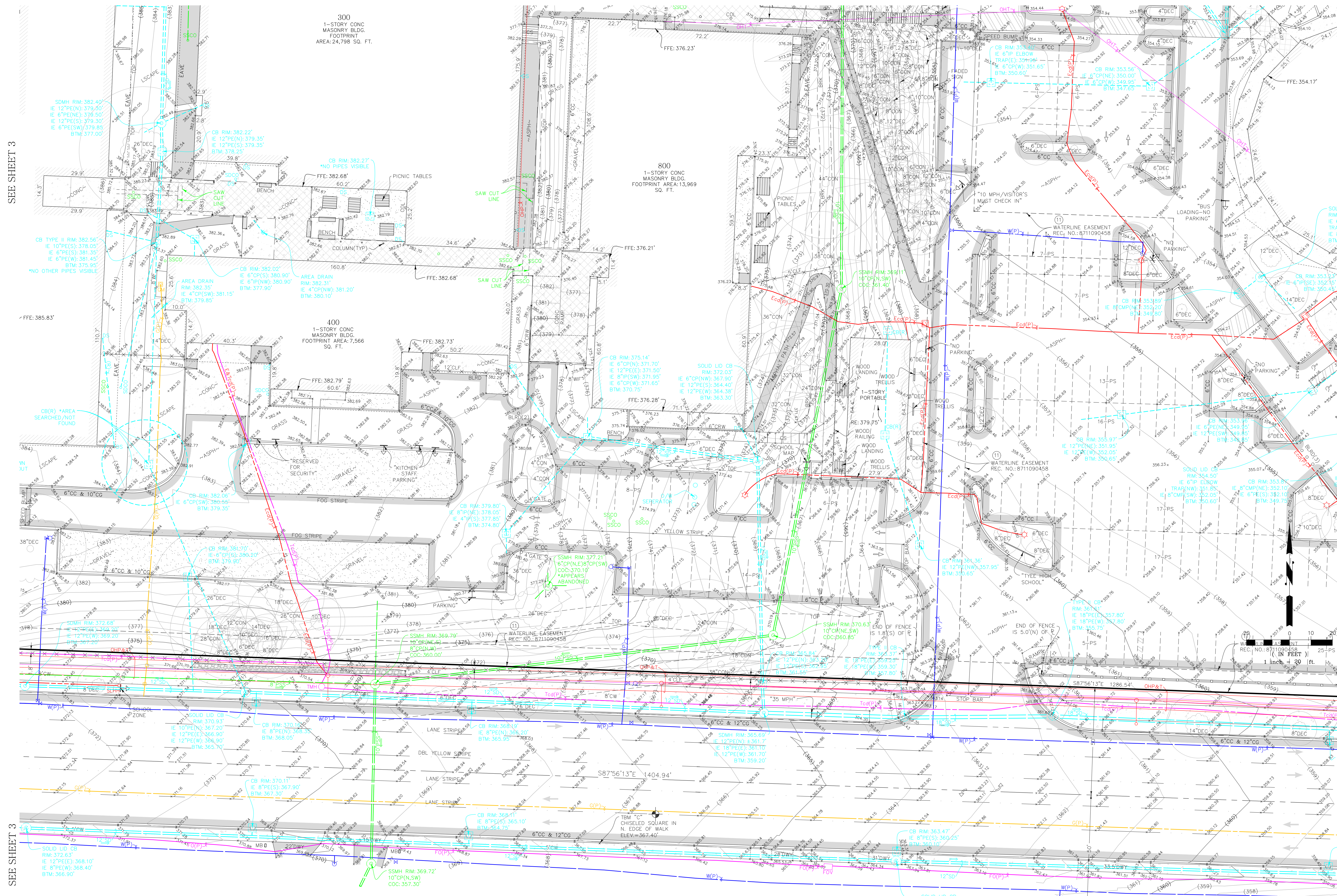


BOUNDARY AND TOPOGRAPHIC SURVEY		TYEE HIGH SCHOOL & CHINOOK MIDDLE SCHOOL		HIGHLINE SCHOOL DISTRICT		CITY OF SEACAC		KING COUNTY		WASHINGTON	
drawn by ABW			checked by JMH			scale 1" = 20'			date 03/06/20		
job no. 2019233.00											
sheet 7			of 11								



own by ABW	checked by JMH
le ' = 20'	date 03/06/20
no. 2019233.00	
et 8	of 11





BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS



2009 MINOR AVE. EAST
SEATTLE, Washington
98102-3513

BOUNDARY AND TOPOGRAPHIC SURVEY
TYEE HIGH SCHOOL & CHINOOK MIDDLE SCHOOL
HIGHLINE SCHOOL DISTRICT

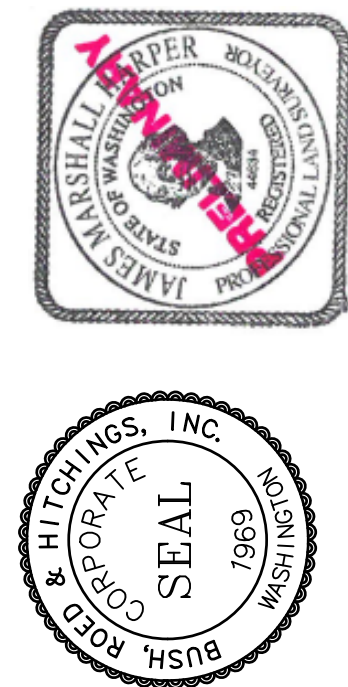
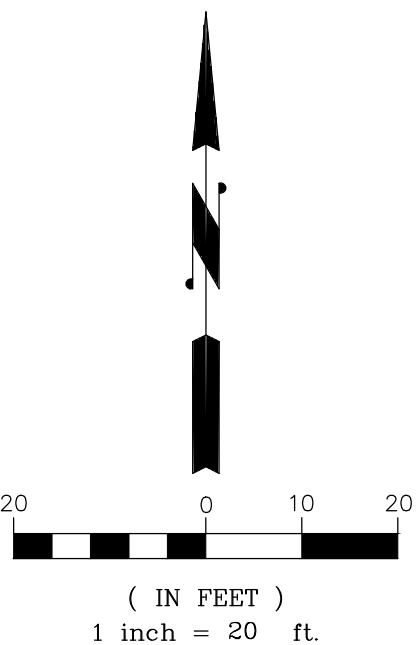
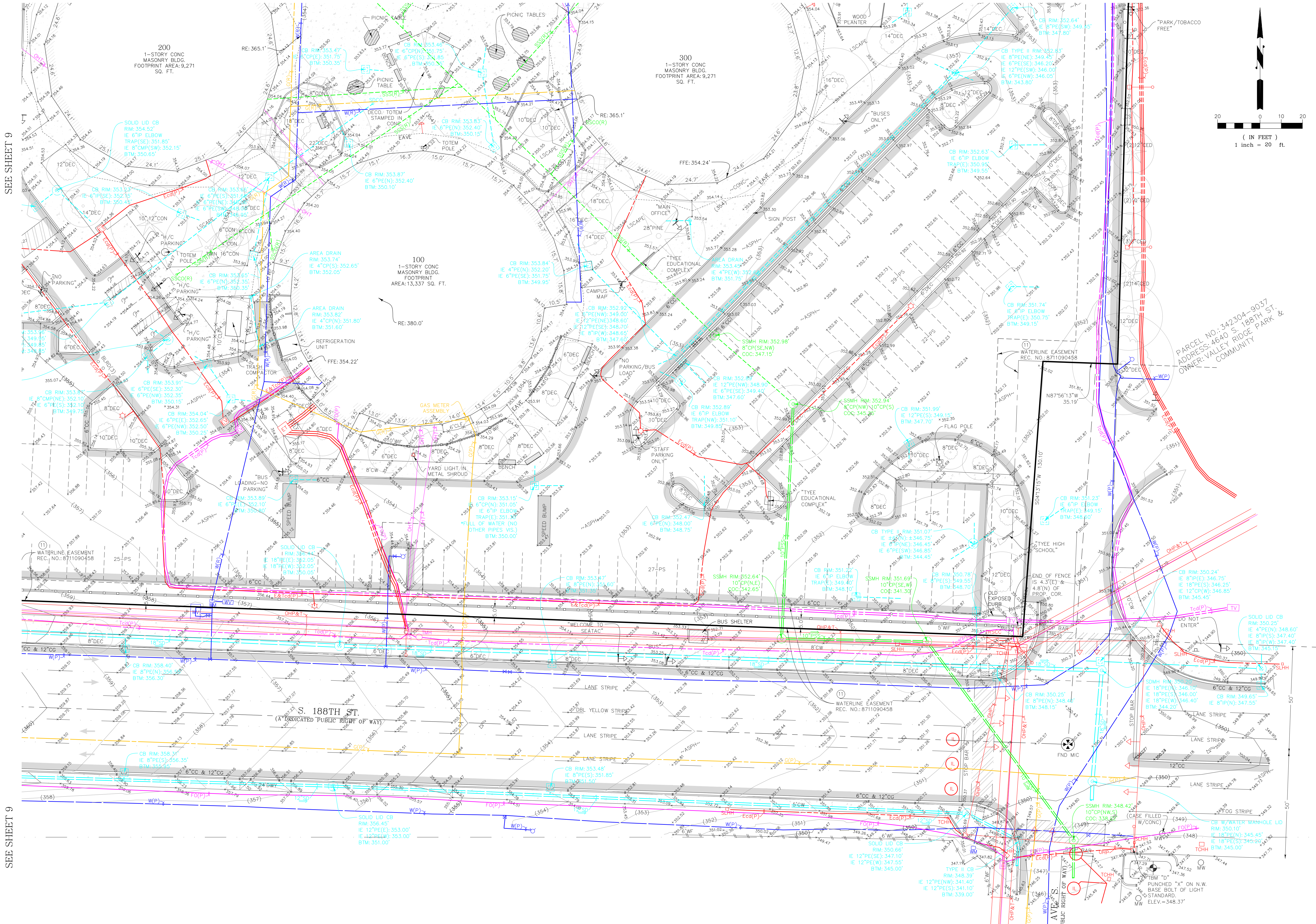
CITY OF SEACAC KING COUNTY WASHINGTON

SEE SHEET 9

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ABW	JMH
scale	date
1" = 20'	03/06/20
job no.	
2019233.00	
sheet	9 of 11

SEE SHEET 7

SEE SHEET 7



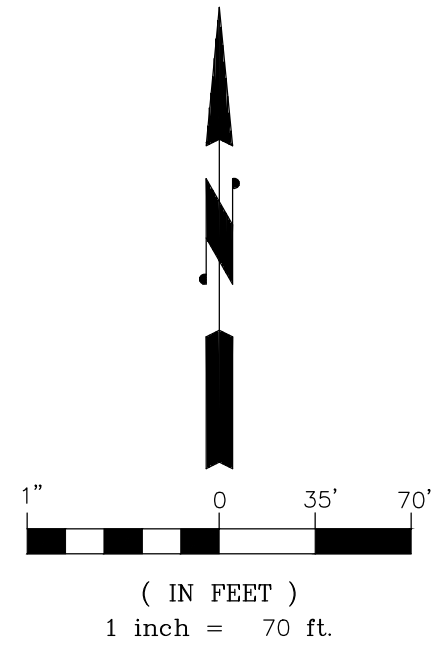
BUSH, ROED & HITCHINGS, INC.
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1-800-935-0508
FAX# (206) 323-7135



BOUNDARY AND TOPOGRAPHIC SURVEY
TYEE HIGH SCHOOL & CHINOOK MIDDLE SCHOOL
HIGHLINE SCHOOL DISTRICT
CITY OF SEACAC KING COUNTY WASHINGTON

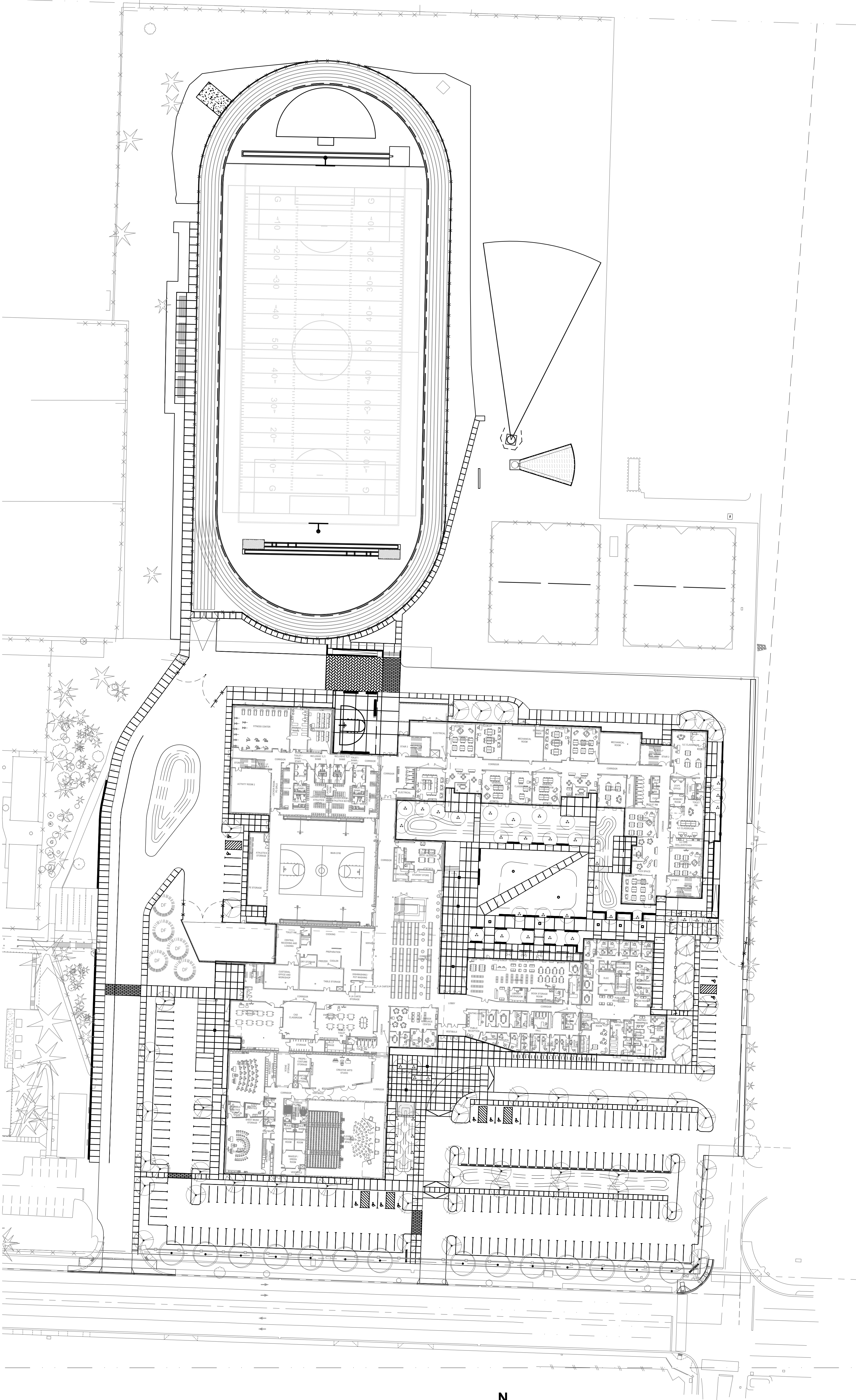
drawn by	checked by
ABW	JMH
scale	date
1" = 20'	03/06/20
job no.	2019233.00
sheet	10 of 11

24" x36" 5/12/2020 U:\C3D\2019\2019233\SURVEYING\DWG\XS-SUR-00.DWG

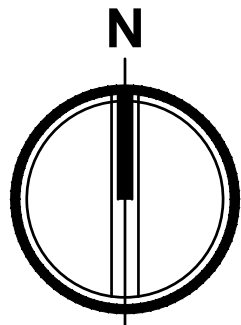


BOUNDARY AND TOPOGRAPHIC SURVEY
TYEE HIGH SCHOOL & CHINOOK MIDDLE SCHOOL
HIGHLINE SCHOOL DISTRICT
CITY OF SEACAC KING COUNTY WASHINGTON

drawn by ABW	checked by JMH
scale 1" = 70'	date 03/06/20
job no. 2019233.00	
sheet 11 of 11	



SITE MAP
SCALE: 1" = 50'



PROJECT SITE

TYEE HIGH SCHOOL
4424 S 186TH ST
SEATAC, WA 98168

OWNER

HIGHLINE PUBLIC SCHOOLS
17810 8TH AVENUE SOUTH, BLDG. A
BURIEN, WA 98148

CIVIL ENGINEER

AHBL INC.
1200 6TH AVE, SUITE 1620
SEATTLE, WA 98101
PH: 206.267.2425
CONTACT: BETHANY STEADMAN, PE
EMAIL: bsteadman@ahbl.com

ARCHITECT

INTEGRUS ARCHITECTURE
117 S MAIN ST
SUITE 100
SEATTLE, WA 98104
PH: 206.626.3137
CONTACT: AMY VANDERHORST
EMAIL: avanderhorst@integrusarch.com

LANDSCAPE ARCHITECT

OSBORN CONSULTING
1402 3RD AVENUE
SUITE 415
SEATTLE, WA 98101
PH: 206.626.9153
CONTACT: KAS KINKEAD
EMAIL: kask@osbornconsulting.com

Sheet List Table

Sheet Number	Sheet Title
C1.00	COVER
C2.00	DEMOLITION PLAN
C2.01	DEMOLITION PLAN
C2.02	DEMOLITION PLAN
C3.00	TESC PLAN
C3.01	TESC PLAN
C3.02	TESC PLAN
C3.04	TESC DETAILS (NOT INCLUDED IN THIS SET)
C3.05	TESC DETAILS (NOT INCLUDED IN THIS SET)
C4.00	GRADING PLAN
C4.01	GRADING PLAN
C4.02	GRADING PLAN
C4.10	GRADING ENLARGEMENTS (NOT INCLUDED IN THIS SET)
C4.11	GRADING ENLARGEMENTS (NOT INCLUDED IN THIS SET)
C4.12	GRADING ENLARGEMENTS (NOT INCLUDED IN THIS SET)
C5.00	DRAINAGE PLAN
C5.01	DRAINAGE PLAN
C5.02	DRAINAGE PLAN (NOT INCLUDED IN THIS SET)
C5.03	DRAINAGE DETAILS (NOT INCLUDED IN THIS SET)
C5.04	DRAINAGE DETAILS (NOT INCLUDED IN THIS SET)
C5.10	DRAINAGE ENLARGEMENTS (NOT INCLUDED IN THIS SET)
C5.11	DRAINAGE ENLARGEMENTS (NOT INCLUDED IN THIS SET)
C6.00	UTILITY PLAN
C6.01	UTILITY PLAN
C6.02	UTILITY PLAN (NOT INCLUDED IN THIS SET)
C6.12	UTILITY ENLARGEMENTS (NOT INCLUDED IN THIS SET)
C7.00	HORIZONTAL CONTROL PLAN
C7.01	HORIZONTAL CONTROL PLAN
C7.02	HORIZONTAL CONTROL PLAN (NOT INCLUDED IN THIS SET)
C7.10	HORIZONTAL CONTROL ENLARGEMENT (NOT INCLUDED IN THIS SET)

LEGEND

EXISTING		PROPOSED	
△	SET NAIL AND WASHER	•	
◆	FOUND MONUMENT AS NOTED	■	
●	HUB AND TACK	●	
○	SET REBAR AND CAP	●	
□	BOLLARD	●	
□	MAIL BOX	●	
□	SIGN	●	
○	SANITARY SEWER MANHOLE	●	
○	SANITARY SEWER CLEANOUT	●	
○	STORM CATCH BASIN	●	
○	STORM MANHOLE	●	
□	ROOF DRAIN	●	
□	GAS METER	●	
□	GAS VALVE	●	
□	TRAFFIC SIGNAL POLE	●	
□	TRAFFIC CABINET	●	
□	POWER TRANSFORMER	●	
□	GUY ANCHOR	●	
□	UTILITY POWER POLE	●	
□	ELECTRICAL VAULT	●	
□	JUNCTION BOX	●	
□	POWER METER	●	
□	LUMINAIRE	●	
□	TELEPHONE RISER	●	
□	TELEPHONE VAULT	●	
□	FIRE DEPARTMENT CONNECTION	●	
□	FIRE HYDRANT	●	
□	IRRIGATION CONTROL VALVE	●	
□	HOSE BIB	●	
□	WATER METER	●	
□	WATER VALVE	●	
□	WATER VAULT	●	
□	A=APPLE, B=BIRCH, F=FIR, P=PINE, HA=HAWTHORNE	●	
□	HO=HOLLY, M=MAPLE, O=OAK, U=UNKNOWN	●	
---	STORM LINE	---	
---	SANITARY SEWER LINE	---	
---	GAS LINE	---	
---	ELECTRICAL LINE	---	
---	COMMUNICATIONS LINE	---	
---	WATER LINE	---	
---	IRRIGATION LINE	---	
---	OVERHEAD UTILITIES	---	
---	STEAM LINE	---	
---	FENCE	---	
---	CONCRETE	---	
---	ASPHALT	---	
---	CONTOUR MAJOR INTERVAL	---	
---	CONTOUR MINOR INTERVAL	---	

TRENCH NOTE

IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR OR MORE FEET IN DEPTH THAT DOES NOT MEET THE OPEN PIT REQUIREMENTS OF WSDOT SECTION 2-09.3(3)B, IT SHALL BE SHORED AND CRIBBED. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR WORKER SAFETY AND AHBL ASSUMES NO RESPONSIBILITY. ALL TRENCH SAFETY SYSTEMS SHALL MEET THE REQUIREMENTS OF THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW. CHAPTER 49.17 RCW.

UTILITY NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT INCUR DUE TO THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. AHBL ASSUMES NO LIABILITY FOR THE LOCATION OF UNDERGROUND UTILITIES.

TOPOGRAPHIC NOTE

THE EXISTING CULTURAL AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, AHBL CANNOT ENSURE ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THAT INFORMATION OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

FILL SPECIFICATIONS

FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR SUBSTANCES WHICH ARE HAZARDOUS, DANGEROUS, TOXIC, OR WHICH OTHERWISE VIOLATE ANY STATE, FEDERAL, OR LOCAL LAW, ORDINANCE, CODE, REGULATION, RULE, ORDER, OR STANDARD.

AUTOCAD FILE NOTE

AN AUTOCAD DRAWING FILE IS AVAILABLE TO ASSIST WITH SITE LAYOUT. PLEASE NOTE THAT ELECTRONIC FILES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE AND SHALL NOT REPLACE NOR BE USED TO SUBSTITUTE THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT LAYOUT ACCORDING TO CONTRACT DOCUMENTS AND COST FOR ELECTRONIC AUTOCAD FILES.

PARCEL NUMBER

3423049044, 3423049340

UTILITY PROVIDERS

SANITARY SEWER:
CITY OF SEATAC PUBLIC WORKS
4800 SOUTH 186TH STREET
SEATAC, WA 98168-9605
(206) 973-4800

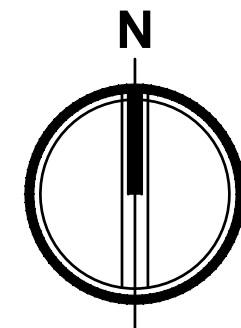
WATER:
HIGHLINE WATER DISTRICT
23828 30TH AVE S
KENT, WA 98032
(206) 824-4960

POWER AND NATURAL GAS:
PUGET SOUND ENERGY
10885 NE 4TH STREET, SUITE 1200
PO BOX 97034
BELLEVUE, WA 98009-9734
(425) 454-6363
(888) 225-5773



VICINITY MAP

SCALE: 1" = 400'



LEGAL DESCRIPTION

PARCEL A: THAT PORTION OF THE NORTH WEST QUARTER OF THE SOUTH EAST QUARTER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH WEST CORNER OF SAID SUBDIVISION; THENCE NORTH 13°00' EAST ALONG THE WESTERLY LINE THEREOF 630.225 FEET; THENCE SOUTH 89°30' EAST PARALLEL WITH THE SOUTHERLY LINE OF SAID SUBDIVISION 698.405 FEET; THENCE SOUTHERLY 630.00 FEET TO A PORTION ON THE SOUTHERLY LINE OF SAID SUBDIVISION A DISTANCE OF 715.456 FEET EASTERLY OF THE POINT OF BEGINNING; THENCE NORTH 89°30' WEST ALONG SAID SOUTHERLY LINE 715.456 FEET TO THE POINT OF BEGINNING;

EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR 42ND AVENUE SOUTH BY DEED RECORDED UNDER KING COUNTY RECORDING NO. 4533542;

AND EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR SOUTH 186TH STREET BY DEED RECORDED UNDER KING COUNTY RECORDING NO. 5395751;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW; (BEING KNOWN AS TRACTS 28 AND 29 OF HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL: BEGINNING 1, 913.05 FEET WEST AND 680 FEET SOUTH OF THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; THENCE SOUTH 61°00 FEET; THENCE WEST 165 FEET; THENCE NORTH 61°00 FEET; THENCE EAST 165 FEET TO BEGINNING;

EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR SOUTH 186TH STREET BY DEED RECORDED UNDER KING COUNTY RECORDING NO. 5395751;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW; (BEING KNOWN AS THE WEST ONE —HALL OF TRACT 30, HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

BEGINNING 1, 418.05 FEET WEST AND 680 FEET SOUTH OF THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; THENCE SOUTH 61°00 FEET; THENCE WEST 495 FEET; THENCE NORTH 61°00 FEET; THENCE EAST 495 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH THE SOUTH HALF OF VACATED SOUTH 186TH STREET ADJOINING;

EXCEPT THAT PORTION CONVEYED TO KING COUNTY, FOR SOUTH 186TH STREET, BY DEED RECORDED UNDER KING COUNTY RECORDING NUMBER 5395751;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW; (BEING KNOWN AS THE EAST HALF OF TRACT 30 AND ALL OF TRACT 31, IN HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF).

PARCEL B: BEGINNING AT THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; THENCE WEST 1748.05 FEET TO THE TRUE POINT OF BEGINNING; THENCE WEST 330 FEET; THENCE SOUTH 640 FEET; THENCE NORTH 640 FEET; THENCE EAST 330 FEET; THENCE NORTH 640 FEET TO THE TRUE POINT OF BEGINNING;

(ALSO BEING KNOWN AS TRACT 25, HIGHLAND FIVE—ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL: BEGINNING 1748.05 FEET WEST OF EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; THENCE SOUTH 640.0 FEET; THENCE EAST 165.0 FEET; THENCE NORTH 640.0 FEET; THENCE WEST 165.0 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING THE WEST HALF OF TRACT 24, HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF);

AND TOGETHER WITH THE SOUTH 155 FEET OF THE WEST 160 FEET OF THE FOLLOWING DESCRIBED PARCEL: BEGINNING AT THE EAST QUARTER CORNER OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; THENCE WEST 1418.05 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 640 FEET; THENCE WEST 165 FEET; THENCE NORTH 640 FEET; THENCE EAST 165 FEET TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION OF VACATED SOUTH 186TH STREET THAT WOULD ATTACH BY OPERATION OF LAW;

(BEING A PORTION OF THE EAST HALL OF TRACT 24, HIGHLAND FIVE ACRE TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF).

HIGHLINE SCHOOL DISTRICT TYEE HIGH SCHOOL REPLACEMENT

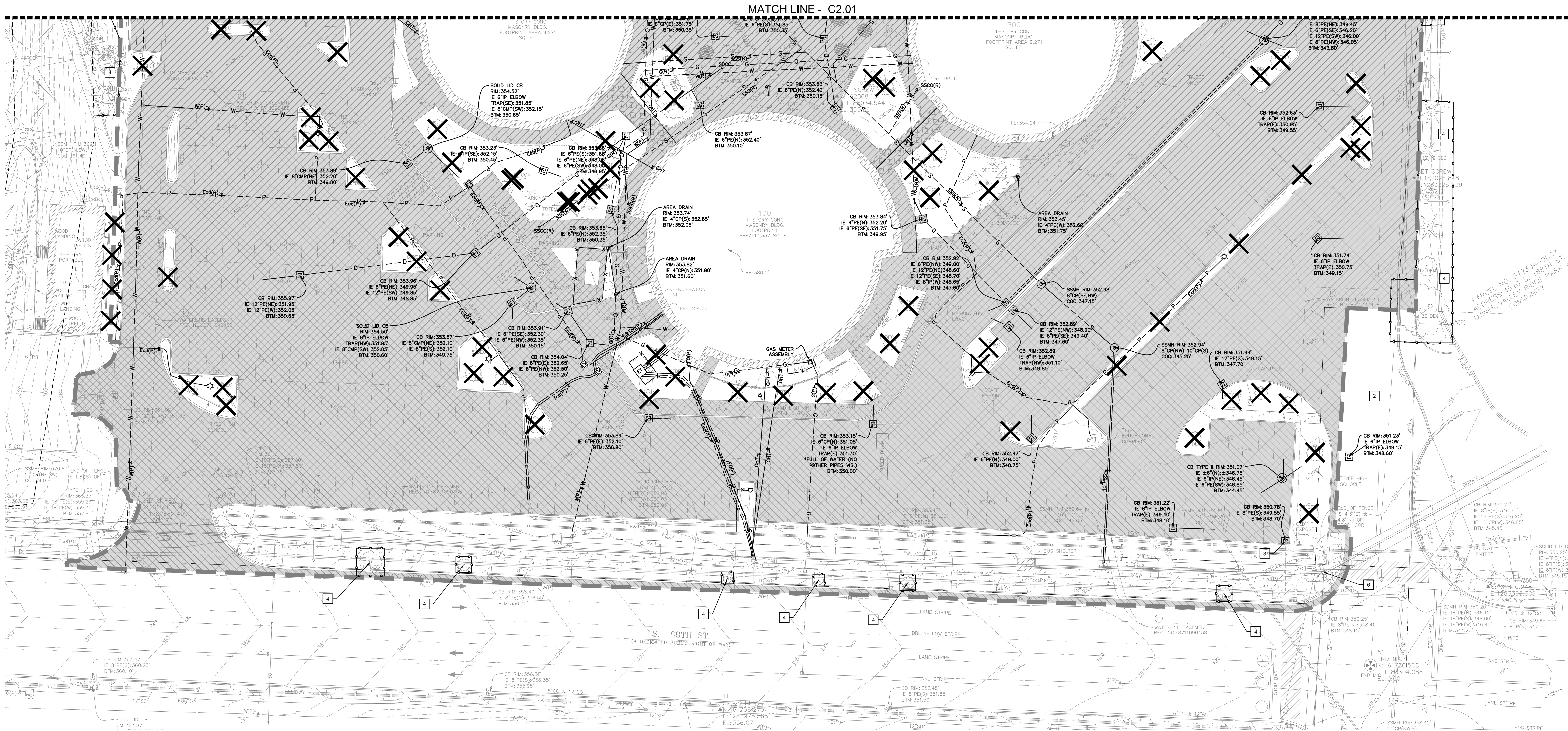
4424 S 186th St
SeaTac, WA 98168



Date:	07/29/2022	
Job No.:	2210992.10	
Drawn By:	CTJ	
Checked by:	BPS	
Revisions		
#	Date	Description

COVER

C1.00



KEYNOTES

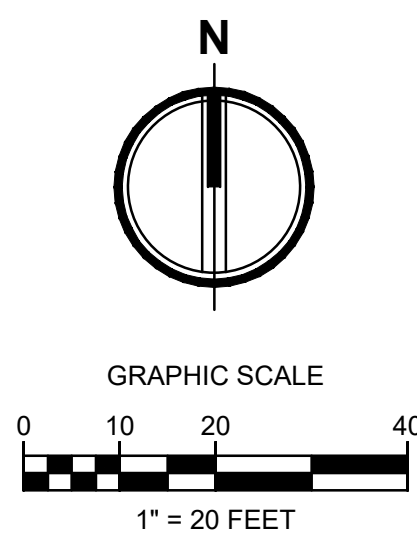
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- 2 PRESERVE AND PROTECT EXISTING PAVEMENT TO REMAIN
- 3 CAP AND ABANDON IN PLACE EXISTING UTILITY
- 4 PRESERVE AND PROTECT EXISTING TREE(S) TO REMAIN. PROVIDE TREE PROTECTION AS INDICATED AND PER SPECIFICATIONS.
- 5 SALVAGE AND STORE ON-SITE EXISTING SITE FEATURE AND RELOCATE PER LANDSCAPE PLANS.
- 6 CAUTION WHEN WORKING UNDER OVERHEAD POWERLINES.
- 7 SEE LANDSCAPE PLANS FOR ADDITIONAL TREE PROTECTION DETAIL.

NOTES

1. ALL EXISTING IMPROVEMENTS, INCLUDING TREES, WITHIN CLEARING LIMITS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE UNLESS OTHERWISE IDENTIFIED.
2. THE WORK UNDER THIS CONTRACT INCLUDES ALL CLEARING NECESSARY TO COMPLETE ALL WORK ASSOCIATED WITH THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FULLY REVIEW THE SITE CONDITIONS AND TO CORRELATE THESE OBSERVATIONS WITH THE PROJECT WORK AND INCLUDE ALL NECESSARY DEMOLITION, WHETHER SHOWN OR NOT, AND INCLUDE ALL SUCH COSTS IN THE SCOPE OF THE WORK.
3. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED AND REMOVED MATERIALS FROM THE OWNERS PROPERTY UNLESS OTHERWISE NOTED.
4. LANDSCAPE ARCHITECT TO FIELD VERIFY TREES AND SHRUBS TO BE REMOVED AND RETAINED PRIOR TO DEMOLITION. TREES EXIST ON SITE THAT ARE NOT IDENTIFIED ON THE SURVEY WHICH SHALL BE REMOVED.
5. USE EXISTING ASPHALT OR CRUSHED SURFACING AGGREGATE WHEN FEASIBLE FOR CONSTRUCTION LAY DOWN AREA.
6. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING AT PERIMETER OF WORK LIMITS AS INDICATED BY THE CLEARING LIMITS OR AS NECESSARY FOR CONSTRUCTION.

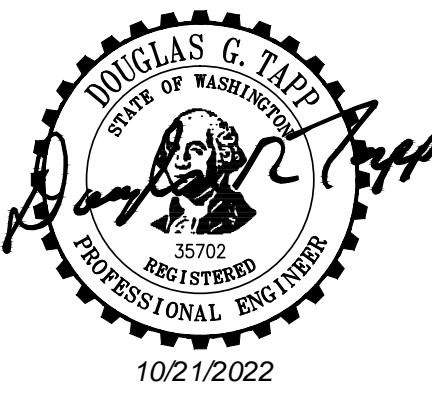
LEGEND

- CLEARING LIMITS
TREE PROTECTION / CONSTRUCTION FENCING
SAWCUT / GRIND OVERLAY LIMITS
DEMOLISH TREE PER TREE RETENTION PLANS
DEMOLISH PAVEMENT
FENCE TO BE DEMOLISHED
DEMOLISH POWER
DEMOLISH TELECOM
DEMOLISH GAS
DEMOLISH DRAINAGE
DEMOLISH SEWER
DEMOLISH WATER



HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

4424 S 188th St
SeaTac, WA 98188



10/21/2022

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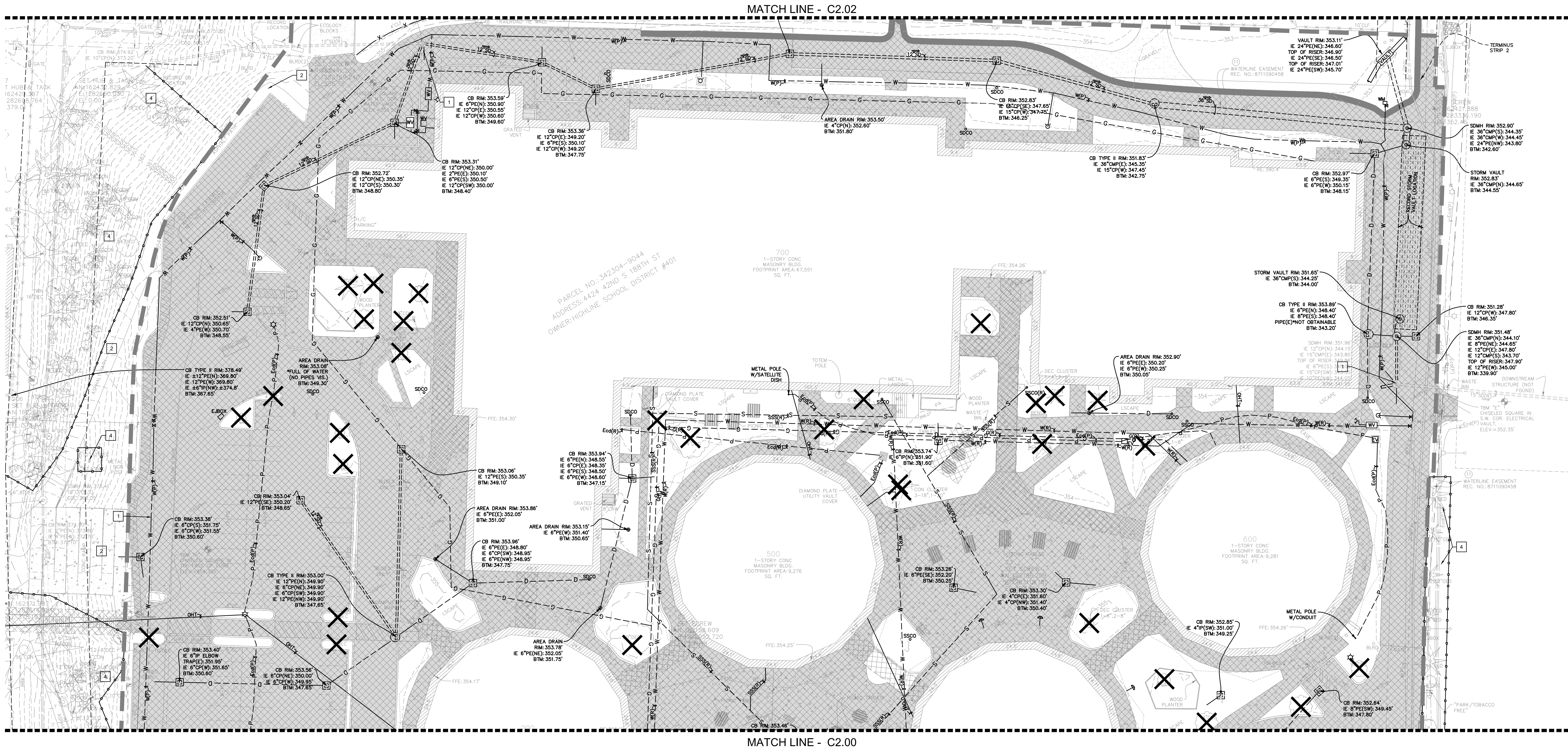
DEMOLITION
PLAN

C2.00

CONDITIONAL USE PERMIT



integrus
ARCHITECTURE



KEYNOTES

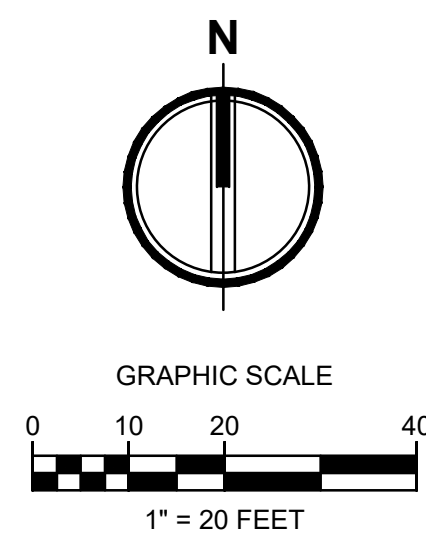
- 1 PRESERVE AND PROTECT EXISTING UTILITY TO REMAIN
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LEGEND

CLEARING LIMITS	=====
TREE PROTECTION / CONSTRUCTION FENCING / SAWCUT / GRIND OVERLAY LIMITS	-----o-----
DEMOLISH TREE PER TREE RETENTION PLANS	X
DEMOLISH PAVEMENT	=====
FENCE TO BE DEMOLISHED	-----x-----
DEMOLISH POWER	-----P-----
DEMOLISH TELECOM	-----T-----
DEMOLISH GAS	-----G-----
DEMOLISH DRAINAGE	-----D-----
DEMOLISH SEWER	-----S-----
DEMOLISH WATER	-----W-----



HIGHLINE SCHOOL DISTRICT TYEE HIGH SCHOOL REPLACEMENT

4424 S 188th St
SeaTac, WA 98188



10/21/2022

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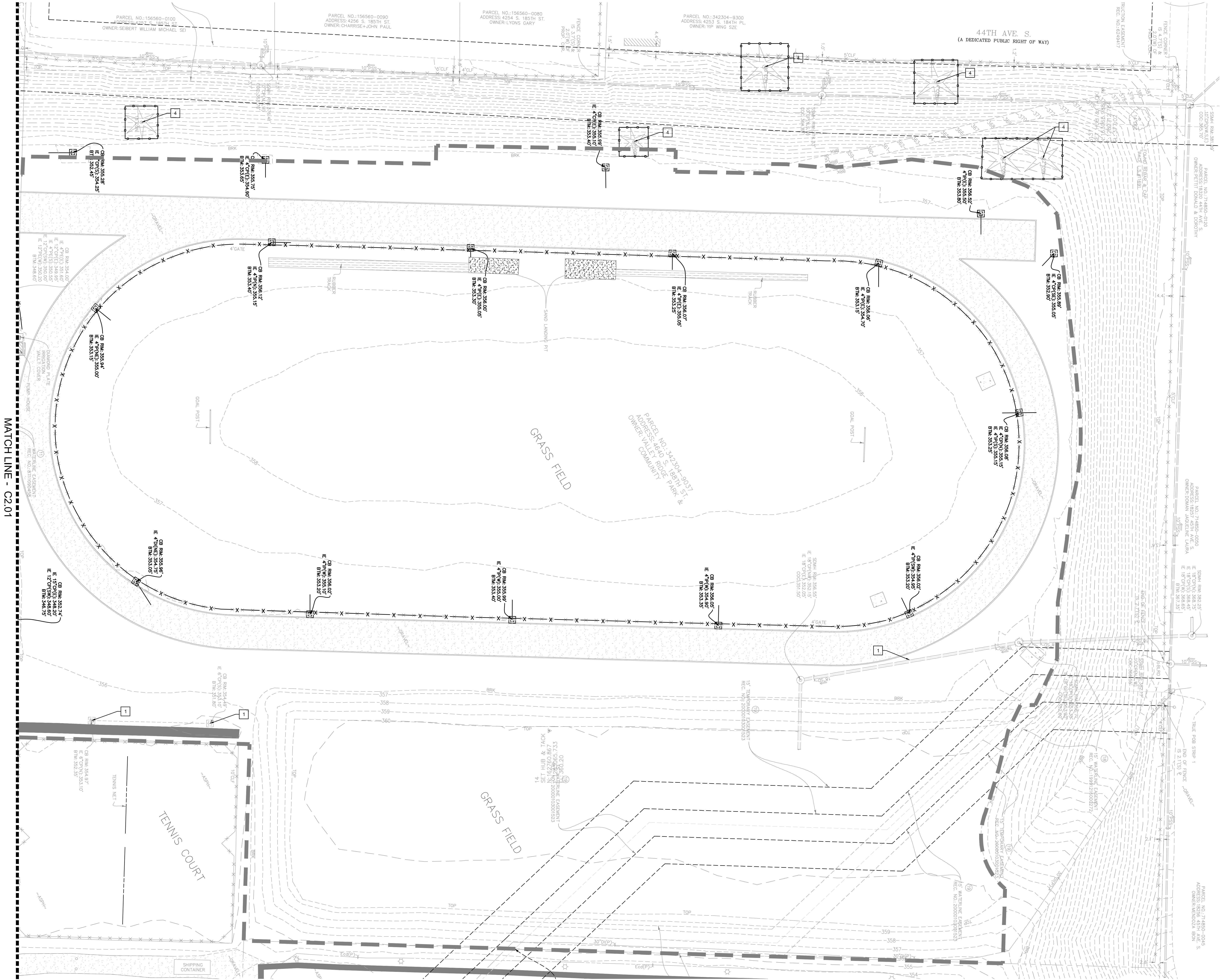
DEMOLITION
PLAN

C2.01

CONDITIONAL USE PERMIT

integrus
ARCHITECTURE

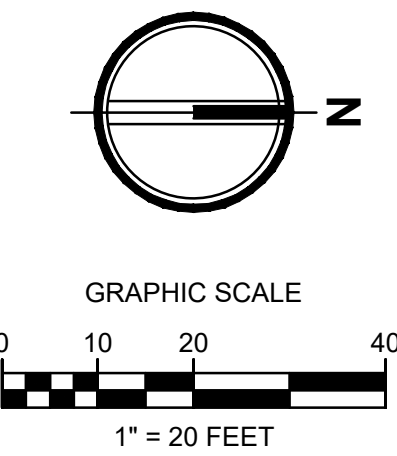




- KEYNOTES**
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- LEGEND**
- CLEARING LIMITS
TREE PROTECTION
CONSTRUCTION FENCING
SAWCUT / GRIND OVERLAY LIMITS
DEMOLISH TREE PER TREE
RETENTION PLANS
DEMOLISH PAVEMENT
FENCE TO BE DEMOLISHED
DEMOLISH POWER
DEMOLISH TELECOM
DEMOLISH GAS
DEMOLISH DRAINAGE
DEMOLISH SEWER
DEMOLISH WATER



HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

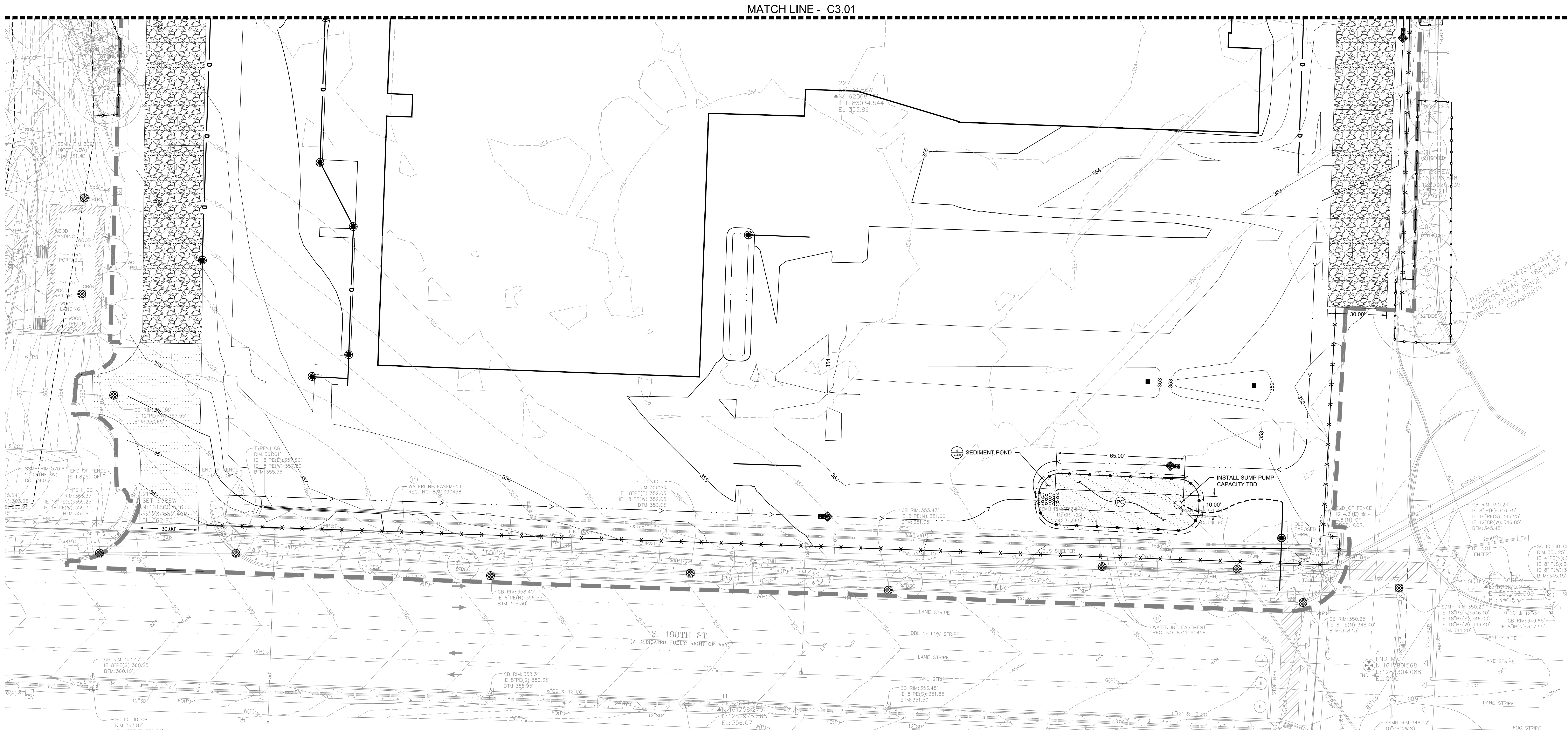
4424 S 188th St
SeaTac, WA 98188



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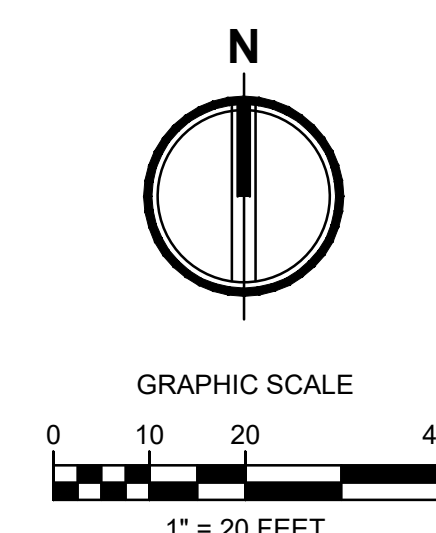
DEMOLITION
PLAN

C2.02



LEGEND

CLEARING LIMITS	---	2 C-304
INLET SEDIMENT PROTECTION	⊗	3 C-304
FILTER FENCE	X X X	2 C-305
TREE PROTECTION	—●—●—●—	3 C-305
STRAW WATTLES	—●—●—●—	1 C-304
MAJOR CONTOUR	XXX	2 C-305
MINOR CONTOUR	xxx	1 C-305
PLASTIC COVERING	PC	2 C-305
INTERCEPTOR SWALE, WITH CHECK DAM AND FLOW CHANNEL STABILIZATION AS NOTED	—>—	1 C-305
CONSTRUCTION ENTRANCE	⊞	2 C-305
CHECK DAM	⬅	1 C-305
BORING FROM GEOTECHNICAL REPORT, DEPTH OF FILL REFERENCES EXISTING GRADE.	EB - #	



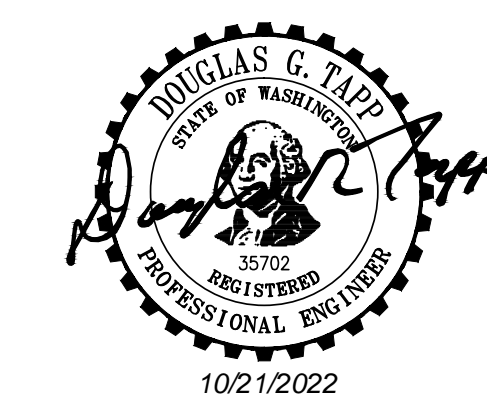
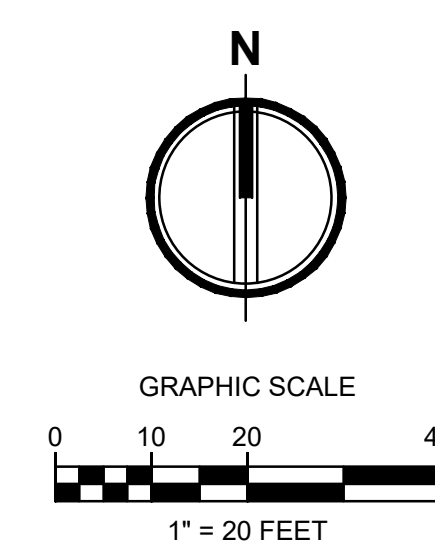
4424 S 188th St
SeaTac, WA 98188



- | | | |
|------|---|---|
| 1. | SEE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS FOR DETAILING OF SITE WALLS, STAIRS AND RAILINGS. | |
| 2. | VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES AT CONNECTIONS FOR NEW UTILITIES AND CROSSINGS PRIOR TO CONSTRUCTION OR ON AN Ongoing BASIS THEREAFTER IMMEDIATELY IF THE PROPOSED CONDITION IS NOT ACHIEVABLE. | WHERE EXISTING FILLS EXISTS AT BUILDING SLAB OR PAVEMENT, BRIDGE GRADE TO SUBGRADE OF SLAB/PAVEMENT. GEOTECHNICAL ENGINEER TO OBSERVE PROPERTIES AND COMPOSITION OF EXISTING FILL. LOOSE, UNSUITABLE MATERIAL IS OBSERVED, EXISTING FILL SHALL BE EXCAVATED TO A DEPTH OF 2 FEET BELOW SUBGRADE AND PLACE STRUCTURAL FILL COMPACTED TO MINIMUM 90% COMPACTION IN ACCORDANCE WITH ASTM D-1557. |
| 3. | WHERE EXISTING FILL EXISTS AT BUILDING FOUNDATIONS, PROVIDE THE FOLLOWING BASED ON WEATHER THE AREA IS A FILL CONDITION OR CUT CONDITION: | SEE DETAIL C ON SHEET C-101 FOR MINIMUM SOIL DEPTHS REQUIRED PER BMP TS 13. |
| 3.1. | FILL ON EXISTING GRADE: CONTACT EXPOSED SOIL, TO A DENSE AND UNWEAVING CONDITION. GEOTECHNICAL REPRESENTATIVE SHALL EVALUATE THE INPLACE DENSITY OF THE SOILS PLACE STRUCTURAL FILL, COMPACTING IN 10 TO 12-INCH LIFTS, LOOSE LIFTS TO FOOTING SUBGRADE ELEVATION. | TOP OF CURB IS F ABOVE BOTTOM OF CURB UNLESS OTHERWISE INDICATED. |
| 3.2. | CUT INTO EXISTING GRADE: EXCAVATE 2 FEET BELOW FOOTING SUBGRADE: CONTACT BOTTOM OF EXCAVATION TO A DENSE AND UNWEAVING CONDITION. GEOTECHNICAL REPRESENTATIVE SHALL EVALUATE THE INPLACE DENSITY OF SOILS. PLACE STRUCTURAL FILL, COMPACTING IN 10 TO 12-INCH LIFTS, LOOSE LIFTS TO FOOTING SUBGRADE ELEVATION. | REFER TO SPECIFICATION SECTION 312000 EARTH MOVING AND THE APPROPRIATE TECHNICAL REQUIREMENTS FOR EXCAVATION. REFER TO EXISTING SOIL CONDITIONS AND REQUIREMENTS. REFER TO DIVISION 1 OF SPECIFICATIONS FOR UNIT BID VALUES AND ALLOWANCES FOR EARTHWORK AS RELATING TO EXISTING FILL. |

LEGEND

BC	BOTTOM OF CURB ELEVATION
BW	BOTTOM OF WALL ELEVATION
EG	EXISTING GRADE ELEVATION
FG	FINISHED GRADE ELEVATION
FL	FLOW LINE ELEVATION
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
XX	GRADE/SLOPE
---	EXISTING MAJOR CONTOUR
-XX-	EXISTING MINOR CONTOUR
XXX	PROPOSED MAJOR CONTOUR
XXX	PROPOSED MINOR CONTOUR
---	GRADE BREAK
---	CONCRETE WALL



Date: 07/29/2022

Job No.: 2210992.10

Drawn By: CTJ

Checked by: BPS

Revisions

#	Date	Description
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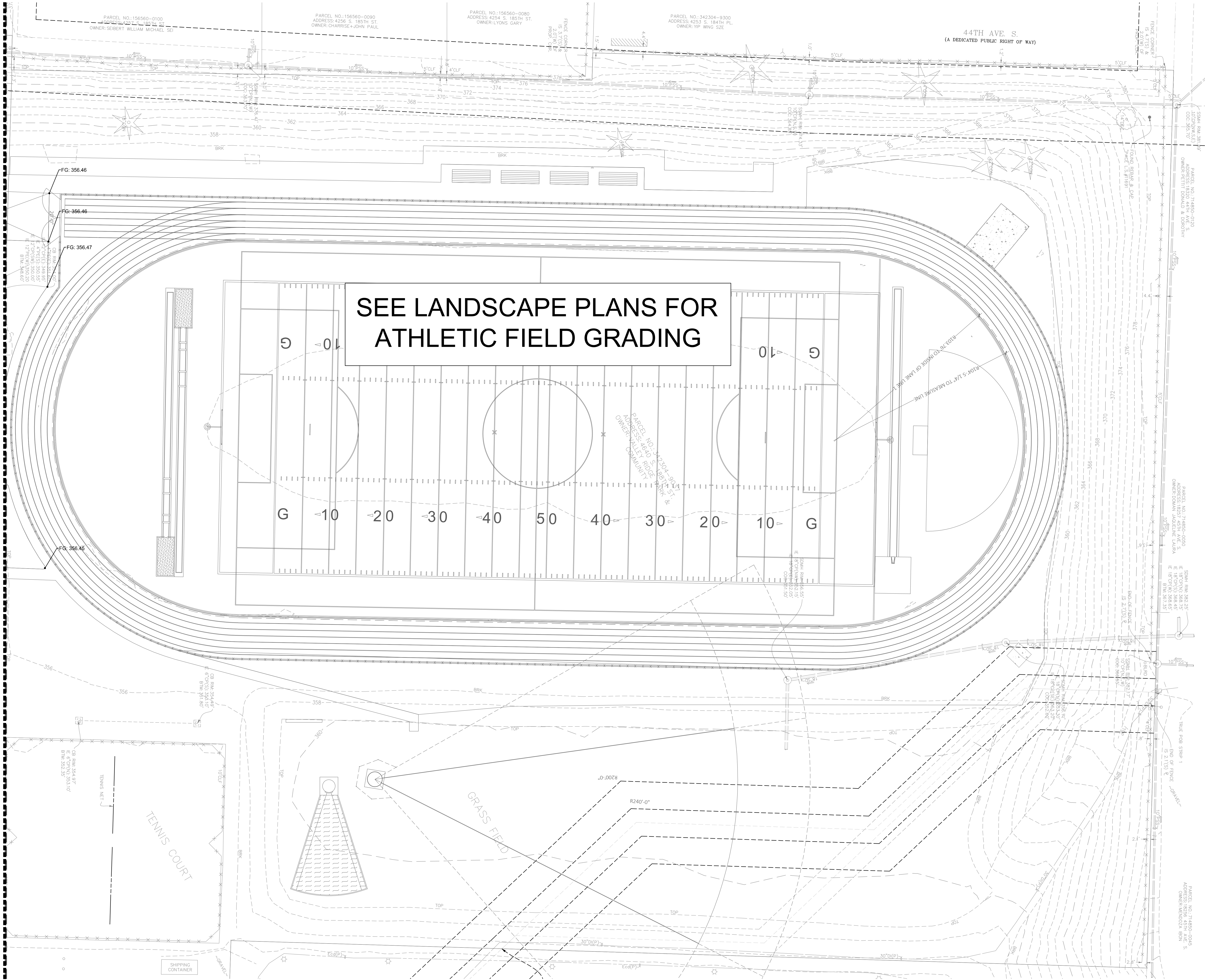
GRADING PLAN

04 00

C4 00

04.00

MATCH LINE - C4.01

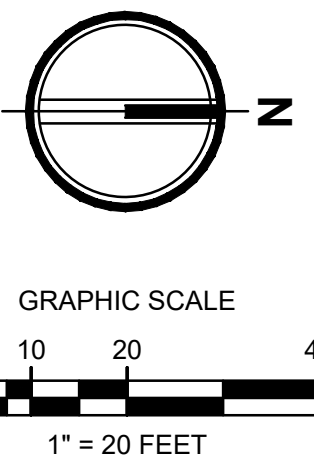


NOTES

1. SEE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS FOR DETAILING OF SITE WALLS, STAIRS AND RAILINGS.
2. VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES AT CONNECTIONS FOR NEW UTILITIES AND CROSSINGS PRIOR TO CONSTRUCTION. INFORM ARCHITECT AND ENGINEER IMMEDIATELY IF THE PROPOSED CONDITION IS NOT ACHIEVABLE.
3. WHERE EXISTING FILL EXISTS AT BUILDING FOUNDATIONS, PROVIDE THE FOLLOWING BASED ON WHETHER THE AREA IS A FILL CONDITION OR CUT CONDITION:
 - 3.1. FILL ON EXISTING GRADE: COMPACT EXPOSED SOIL TO A DENSE AND UNYIELDING CONDITION. GEOTECHNICAL REPRESENTATIVE SHALL EVALUATE THE IN-PLACE DENSITY OF THE SOILS. PLACE STRUCTURAL FILL, COMPACTING IN 10 TO 12-IN-THICK, LOOSE LIFTS TO FOOTING SUBGRADE ELEVATION.
 - 3.2. CUT INTO EXISTING GRADE: EXCAVATE 2 FEET BELOW FOOTING SUBGRADE. COMPACT BOTTOM OF EXCAVATION TO A DENSE AND UNYIELDING CONDITION. GEOTECHNICAL REPRESENTATIVE SHALL EVALUATE THE IN-PLACE DENSITY OF SOILS. PLACE STRUCTURAL FILL, COMPACTING IN 10 TO 12-INCH-THICK, LOOSE LIFTS TO FOOTING SUBGRADE ELEVATION.
4. WHERE EXISTING FILL EXISTS AT BUILDING SLAB OR PAVEMENT, BRING GRADE TO SUBGRADE OF SLAB/PAVEMENT. GEOTECHNICAL ENGINEER TO OBSERVE PROCTROLL AND CONFIRM SUITABILITY OF SUBGRADE. IF LOOSE, UNSUITABLE MATERIAL IS OBSERVED, EXISTING FILL SHALL BE EXCAVATED TO A DEPTH OF 2 FEET BELOW SUBGRADE AND PLACE STRUCTURAL FILL, COMPACTED TO 95% COMPACTION IN ACCORDANCE WITH ASTM D-1557.
5. SEE DETAIL X ON SHEET C-101 FOR MINIMUM SOIL DEPTHS REQUIRED PER BMP TS.13.
6. TOP OF CURB IS 6" ABOVE BOTTOM OF CURB UNLESS OTHERWISE INDICATED.
7. REFER TO SPECIFICATION SECTION 312000 EARTH MOVING AND THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING EXISTING SOIL CONDITIONS AND REQUIREMENTS. REFER TO DIVISION 1 OF SPECIFICATIONS FOR UNIT BID VALUES AND ALLOWANCES FOR EARTHWORK AS RELATING TO EXISTING FILL.

LEGEND

BC	BOTTOM OF CURB ELEVATION
BW	BOTTOM OF WALL ELEVATION
EG	EXISTING GRADE ELEVATION
FG	FINISHED GRADE ELEVATION
FL	FLOW LINE ELEVATION
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
X/X% OR X/X	GRADE/SLOPE
---	EXISTING MAJOR CONTOUR
- - - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
- - - -	PROPOSED MINOR CONTOUR
---	GRADE BREAK
---	CONCRETE WALL



HIGHLINE SCHOOL DISTRICT
TYPEE HIGH SCHOOL REPLACEMENT

4424 S 188th St
SeaTac, WA 98188



Date	07/29/2022
Job No.	2210962.10
Drawn By	CTJ
Checked by	BPS
Revisions	
#	Date Description

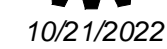
GRADING PLAN

C4.02

CONDITIONAL USE PERMIT



4424 S 188th St
SeaTac, WA 98188



Revisions		
#	Date	Description

C5.00

CONDITIONAL USE PERMIT



1. PROVIDE SOLID 6" PVC ROOF DRAIN AT A MINIMUM SLOPE 1% UNLESS OTHERWISE SPECIFIED. PROVIDE 1" OF MINIMUM COVER IN LANDSCAPE GREATER THAN AREAS AND 3" OF MINIMUM COVER IN HIGH TRAFFIC AREAS. PROVIDE CLEANOUTS AT ALL ENDS GREATER THAN 90° AND AT ENDS.
2. PROVIDE RECORD DRAWINGS OF THE SITE DRAINAGE, FOOTING DRAIN, AND ROOF DRAIN SYSTEM PER SPECIFICATIONS.
3. VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES AT CONNECTIONS WITH NEW UTILITIES PRIOR TO CONSTRUCTION. INFORM ARCHITECT AND ENGINEERING IMMEDIATELY IF DISCREPANCIES WITH THIS PLAN.
4. ALL CATCH BASINS ARE TYPE 1 UNLESS OTHERWISE SPECIFIED. ALL LIDS SHALL BE LOCKING.
5. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH A STANDARD FRAME AND GRATE PER VDOT STANDARD PLAN B-30-30-00 UNLESS OTHERWISE NOTED.

- | | |
|---|--|
| 1. PROVIDE SOLID 6" PVC ROOF DRAIN AT A MINIMUM SLOPE 1% UNLESS OTHERWISE SPECIFIED. PROVIDE 1" OF MINIMUM COVER IN LANDSCAPE/PEDESTRIAN AREAS AND 3" OF MINIMUM COVER IN VEHICULAR TRAFFIC AREAS. PROVIDE CLEANOUTS AT ALL BENDS GREATER THAN 90° AT ENDS. | 6. CONTRACTOR TO FURNISH CATCH BASIN MONUMENT FROM THE CITY OF SHORELINE. CONTRACTOR TO INSTALL PER THE CITY'S INSTALLATION INSTRUCTIONS. |
| 2. PROVIDE RECORD DRAWINGS OF THE SITE DRAINAGE, FOOTING DRAIN, AND ROOF DRAIN SYSTEM PER SPECIFICATIONS. | 7. SEE STRUCTURAL PLANS FOR WALL AND FOUNDATION DETAILS. |
| 3. VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES AT CONNECTIONS WITH NEW UTILITIES PRIOR TO CONSTRUCTION. INFORM AGENCY AND ENGINEERING IMMEDIATELY OF DISCREPANCIES FROM THIS PLAN. | 8. ALL STORMWATER PIPE MATERIAL SHALL BE CPEP UNLESS OTHERWISE NOTED. |
| 4. ALL CATCH BASINS ARE TYPE 1 UNLESS OTHERWISE SPECIFIED. ALL LIDS SHALL BE LOCKING. | 9. ALL FOOTING DRAIN PIPE MATERIAL SHALL BE 6" PERFORATED RIGID PVC. FOUNDATION DRAINS SHALL CONNECT TO A STORM CATCH BASIN WITH NON PERFORATED PVC. |
| 5. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH A STANDARD FRAME AND VANEED GRADE PER WSDOT SURFACE PLAN B-30-30-90 UNLESS OTHERWISE NOTED. | 10. NORTHING AND EASTING COORDINATES ON STORM STRUCTURES IF SHOWN REFERENCE THE CENTER OF STRUCTURE. |
| | 11. SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR THE REQUIRED SOIL QUALITY AND DEPTHS. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE SHALL PROVIDE MINIMUM SOIL QUALITY AND DEPTH PER DETAIL. |

_____XXX_____

_____XXX_____

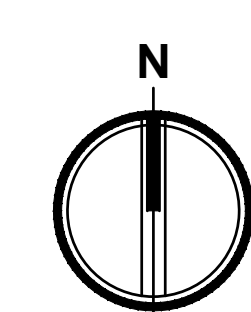
_____D_____

_____FD_____

_____RD_____

_____U_____U_____

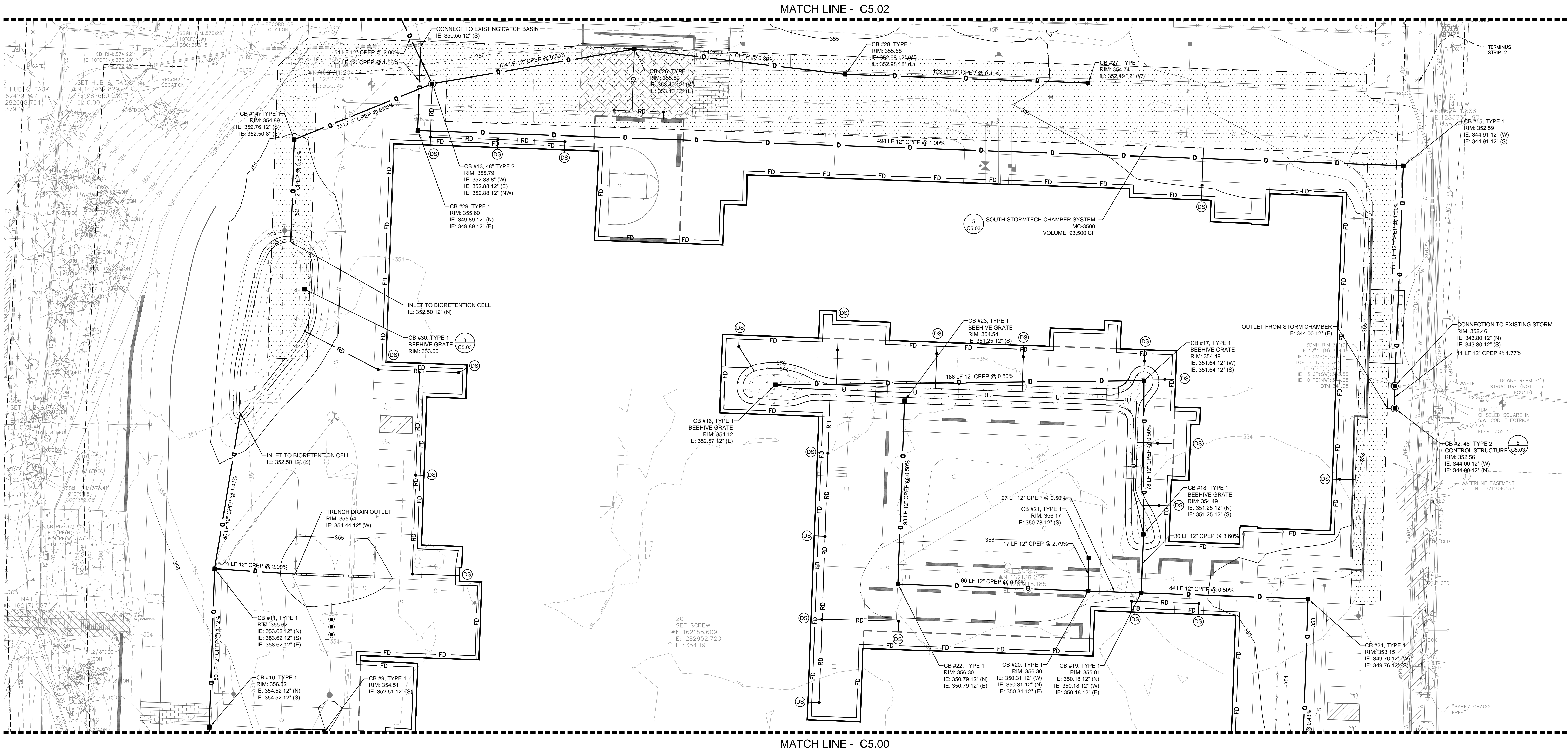
- | | | |
|-------|------------------------|------------|
| —XXX— | PROPOSED CONTOUR MINOR | |
| —XXX— | PROPOSED CONTOUR MAJOR | |
| —D— | STORM DRAIN | |
| —FD— | FOOTING DRAIN | 2
CS 03 |
| —RD— | ROOF DRAIN | |
| —U— | UNDER DRAIN | |
| ■ | CATCH BASIN, TYPE 1 | |
| ⊙ | CATCH BASIN, TYPE 2 | |
| • | CLEANOUT | 1
CS 03 |
| ⊙ | DOWNSPOUT CONNECTION | |
| CC | CURB CUT | 4
CS 04 |
| ψ ψ | BIORETENTION CELL | 7
CS 05 |
| ● | AREA DRAIN | |
| ————— | TRENCH DRAIN | 3
CS 04 |



GRAPHIC SCALE

10 20 40

1" = 20 FEET

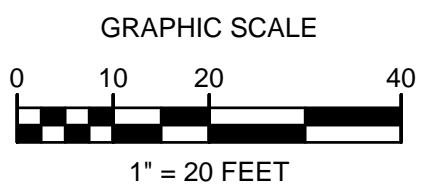
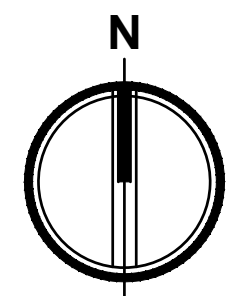


NOTES

1. PROVIDE SOLID 6" PVC ROOF DRAIN AT A MINIMUM SLOPE 1% UNLESS OTHERWISE SPECIFIED. PROVIDE 1" OF MINIMUM COVER IN LANDSCAPE/PEDESTRIAN AREAS AND 3" OF MINIMUM COVER IN VEHICULAR TRAFFIC AREAS. PROVIDE CLEANOUTS AT ALL BENDS GREATER THAN 90° AND AT ENDS.
2. PROVIDE RECORD DRAWINGS OF THE SITE DRAINAGE, FOOTING DRAIN, AND ROOF DRAIN SYSTEM PER SPECIFICATIONS.
3. VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES AT CONNECTIONS WITH NEW UTILITIES PRIOR TO CONSTRUCTION. INFORM ARCHITECT AND ENGINEERING IMMEDIATELY OF DISCREPANCIES FROM THIS PLAN.
4. ALL CATCH BASINS ARE TYPE 1 UNLESS OTHERWISE SPECIFIED. ALL LIDS SHALL BE LOCKING.
5. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH A STANDARD FRAME AND VANED GRATE PER WSDOT STANDARD PLAN B-30-30-00 UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO FURNISH CATCH BASIN MONUMENT FROM THE CITY OF SHORLINE. CONTRACTOR TO INSTALL PER THE CITY'S INSTALLATION INSTRUCTIONS.
7. SEE STRUCTURAL PLANS FOR WALL AND FOUNDATION DETAILS.
8. ALL STORMWATER PIPE MATERIAL SHALL BE CPEP UNLESS OTHERWISE NOTED.
9. ALL FOOTING DRAIN PIPE MATERIAL SHALL BE 6" PERFORATED RIGID PVC PIPE. FOUNDATION DRAINS SHALL CONNECT TO A STORM CATCH BASIN WITH NON PERFORATED PVC.
10. NORTHING AND EASTING COORDINATES ON STORM STRUCTURES IF SHOWN REFERENCE THE CENTER OF STRUCTURE.
11. SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR THE REQUIRED SOIL QUALITY AND DEPTH. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE SHALL PROVIDE MINIMUM SOIL QUALITY AND DEPTH PER DETAIL.

LEGEND:

XXX	PROPOSED CONTOUR MINOR
XXX	PROPOSED CONTOUR MAJOR
D	STORM DRAIN
FD	FOOTING DRAIN
RD	ROOF DRAIN
U	UNDER DRAIN
■	CATCH BASIN, TYPE 1
●	CATCH BASIN, TYPE 2
●	CLEANOUT
DS	DOWNSPOUT CONNECTION
CC	CURB CUT
↓	BIORETENTION CELL
●	AREA DRAIN
	TRENCH DRAIN



HIGHLINE SCHOOL DISTRICT TYPEE HIGH SCHOOL REPLACEMENT

4424 S 188th St
SeaTac, WA 98188



Date:	07/29/2022
Job No.:	2210692.10
Drawn By:	CTJ
Checked by:	BPS
Revisions	
#	Date Description

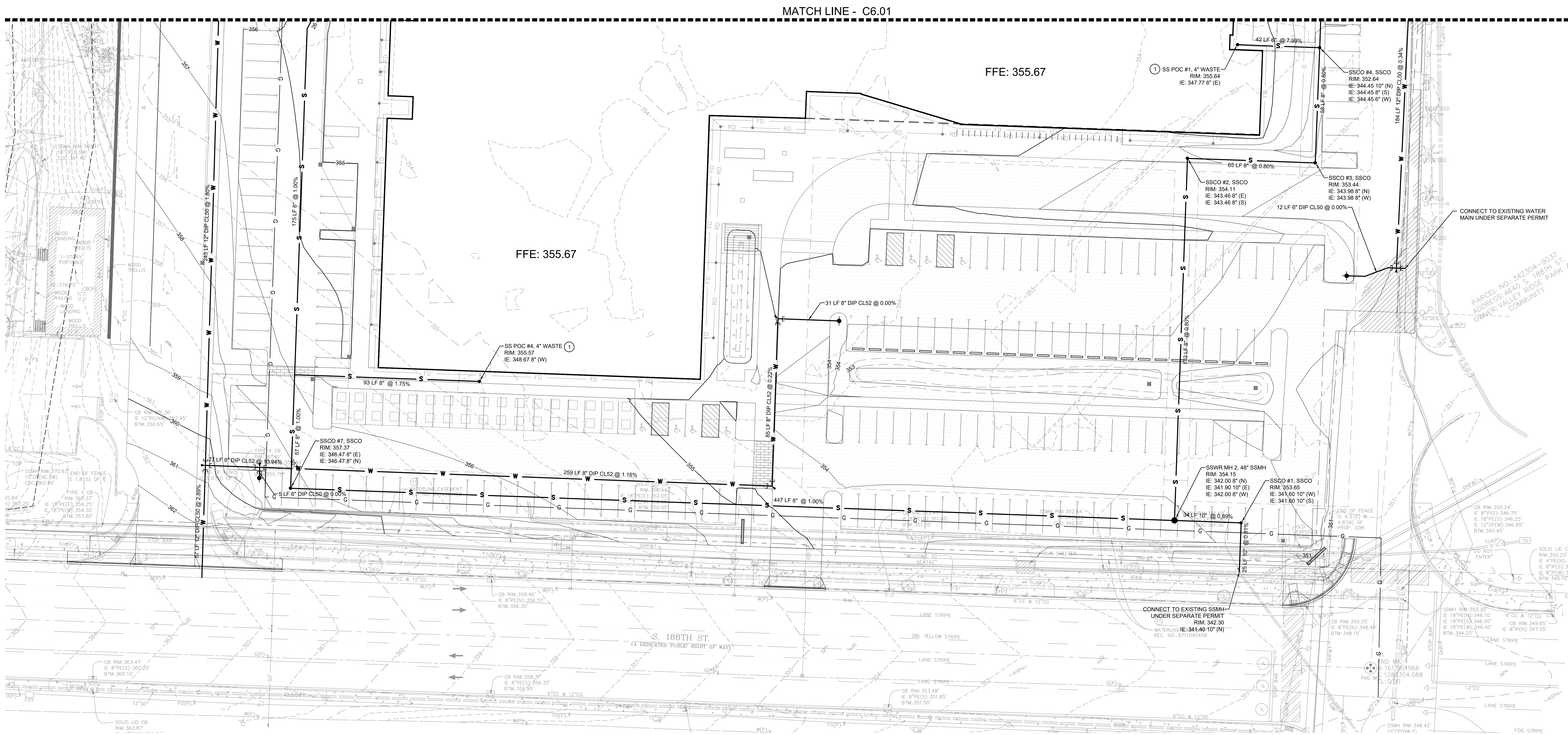
DRAINAGE PLAN

C5.01

CONDITIONAL USE PERMIT



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ARCHITECTURE

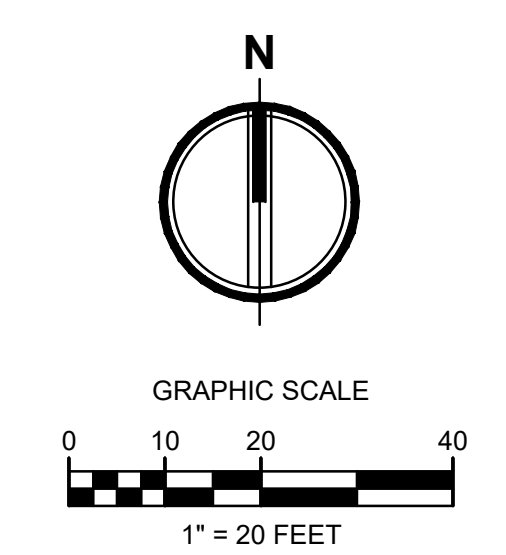


KEYNOTES

- 1 SEE PLUMBING PLAN FOR CONTINUATION AND FOR GREASE INTERCEPTOR DETAILS.

LEGEND:

- XXX BUILDING OUTLINE
- XXX PROPOSED CONTOUR MINOR
- XXX PROPOSED CONTOUR MAJOR
- W FIRE DEPARTMENT CONNECTION
- METER
- W WATER LINE
- F FIRE LINE
- DIP DUCTILE IRON PIPE
- MJ MECHANICAL JOINT
- FL FLANGE JOINT
- RJ RESTRAINED JOINT



CONDITIONAL USE PERMIT

HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

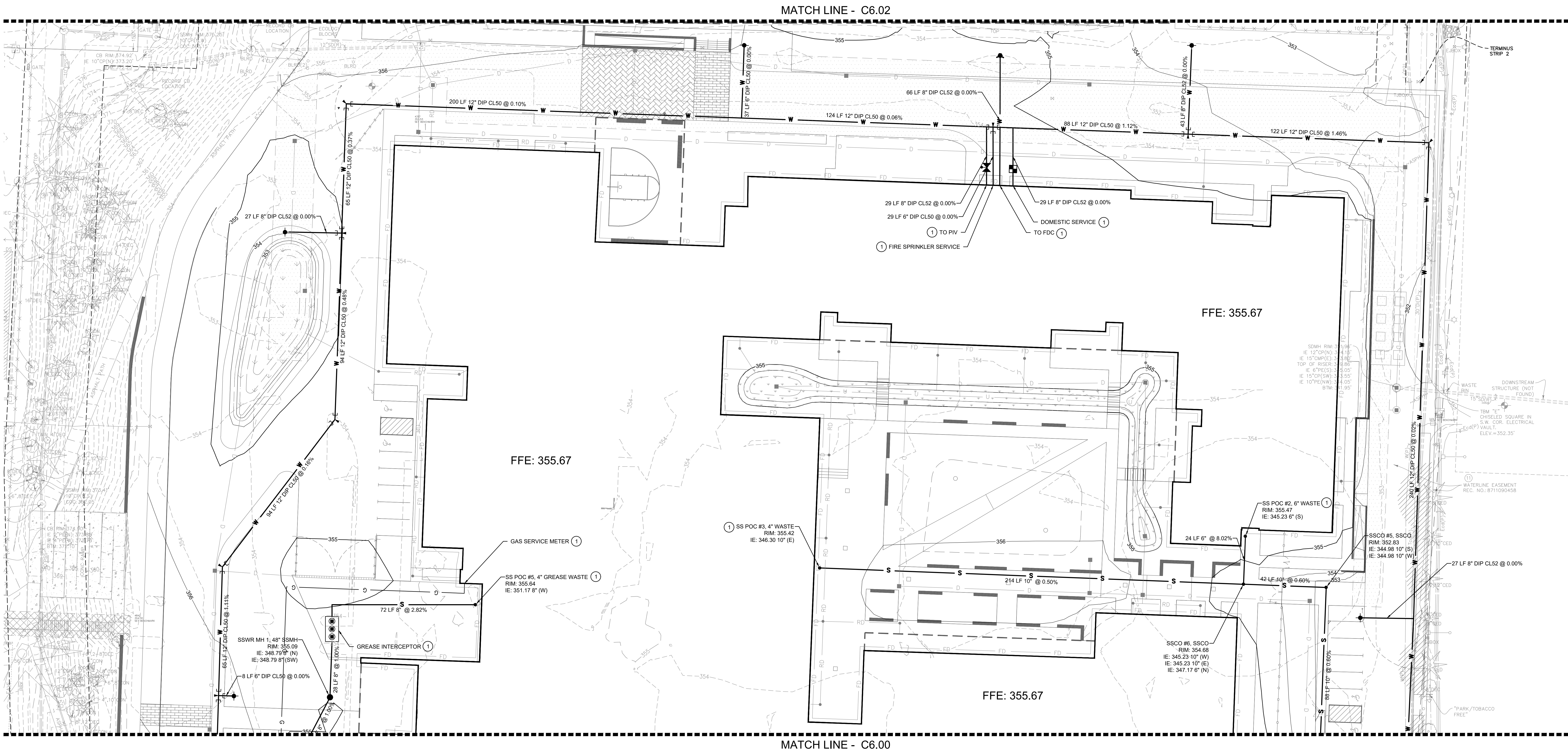
4424 S 188th St
SeaTac, WA 98188



Date:	07/29/2022	
Job No.:	2210992.10	
Drawn By:	CTJ	
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Revisions		
#	Date	Description

UTILITY PLAN

C6.00

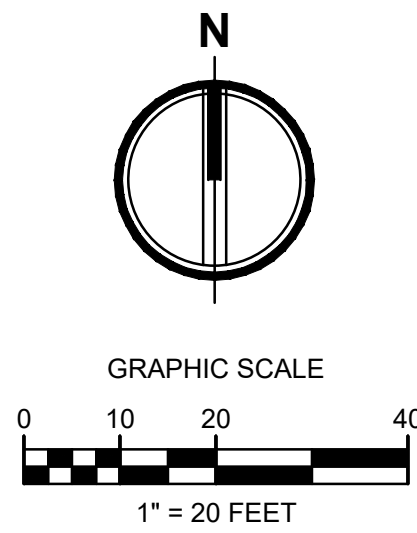


KEYNOTES

- ① SEE PLUMBING PLAN FOR CONTINUATION AND FOR GREASE INTERCEPTOR DETAILS.

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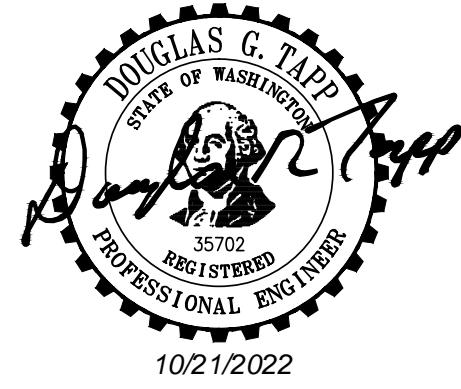
- BUILDING OUTLINE
--- PROPOSED CONTOUR MINOR
--- PROPOSED CONTOUR MAJOR
--- FIRE DEPARTMENT CONNECTION
--- METER
--- WATER LINE
--- FIRE LINE
--- DUCTILE IRON PIPE
--- MECHANICAL JOINT
--- FLANGE JOINT
--- RESTRAINED JOINT



CONDITIONAL USE PERMIT

HIGHLINE SCHOOL DISTRICT
TYPEE HIGH SCHOOL REPLACEMENT

4424 S 188th St
SeaTac, WA 98188



Date	07/29/2022
Job No.	2210992.10
Drawn By	CTJ
Checked by	GPS
Revisions	
#	Date Description

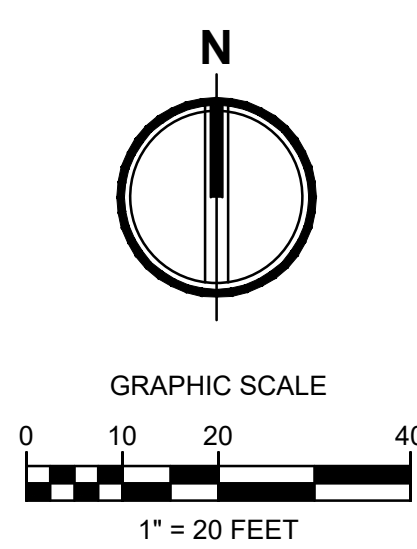
UTILITY PLAN

C6.01

- 1 SEE LANDSCAPE PLANS FOR SITE FEATURE.
- 2 ACCESSIBLE PARKING SPACES.
- 3 SEE LANDSCAPE PLANS FOR WALLS BELOW 4 FEET IN HEIGHT AND STRUCTURAL PLANS FOR WALLS ABOVE 4 FEET IN HEIGHT.

1. SEE LANDSCAPE PLANS FOR FENCING, CONCRETE FINISH AND SCORING, SITE FURNISHINGS, PLAY STRIPING, ATHLETIC EQUIPMENT STAIRS, AND RAMPS.
2. SEE LANDSCAPE PLANS FOR HORIZONTAL CONTROL IN PLAZAS AND PLAY AREAS.
3. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT.
4. PARKING STRIPING SHALL BE 4" WHITE PAINTED STRIPING PER PLAN

STANDARD DUTY ASPHALT PAVEMENT		WHEEL STOP	
HEAVY DUTY ASPHALT PAVEMENT		NO CURB	NC
STD DUTY CEMENT CONCRETE WALK		INTERGRAL CURB	IC
STD DUTY CEMENT CONCRETE PAVEMENT		VERTICAL CURB	VC
HEAVY DUTY CEMENT CONCRETE PAVEMENT		ASPHALT THICKENED EDGE	TE
PERVIOUS CONCRETE		CURB CHANGE	
GRAVEL PAVING PER LANDSCAPE DETAILS		CURB AND GUTTER	CG
PAVERS PER LANDSCAPE DETAILS		PAINTED ARROWS	
		SITE RETAINING WALL	



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**HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT**

**SCHOOL
SCHOOL RE**

integrus
ARCHITECTURE

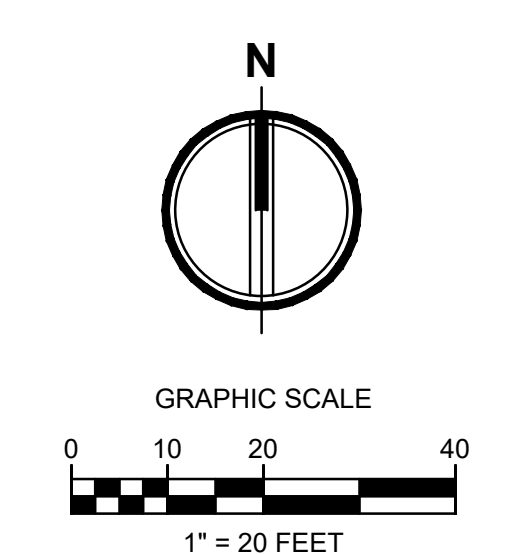
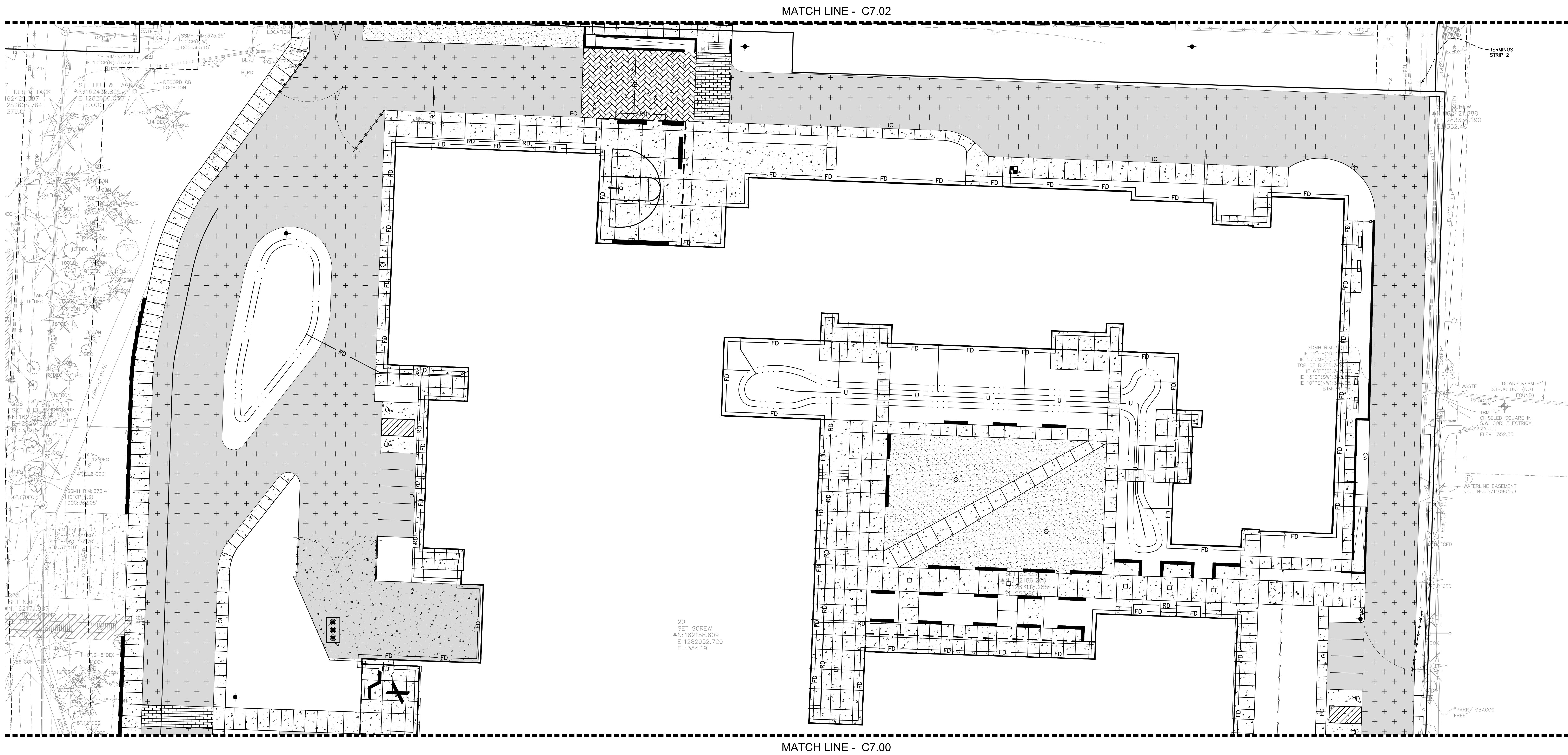
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TEL: 603/686-0111 FAX: (603) 686-0111

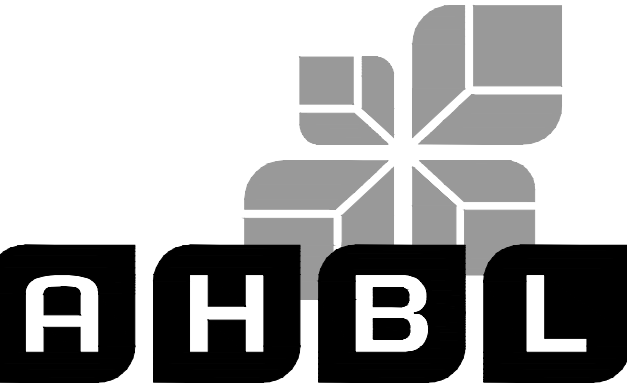


Date:	07/29/2022	
Job No.:	2210992.10	
Drawn By:	CTJ	
Checked by:	BPS	
Revisions		
#	Date	Description

HORIZONTAL CONTROL PLAN

C7.00





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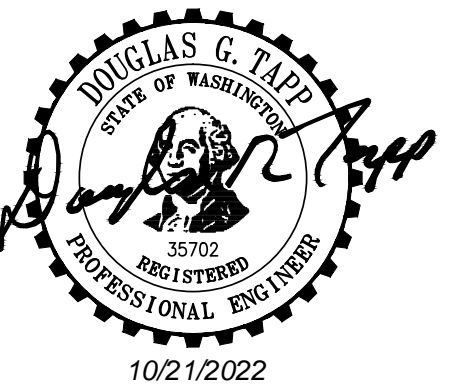
Project Title:
HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL
REPLACEMENT

Client:
HIGHLINE PUBLIC SCHOOLS
17810 8TH AVENUE SOUTH, BLDG. A
BURIEN, WA 98148

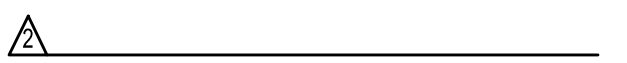
Project No.
2190992.10

Issue Set & Date:
CONDITIONAL
USE PERMIT

09-09-2022



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Revisions:

Sheet Title:

KEY MAP

Designed by: CTJ **Drawn by:** CTJ **Checked by:** BPS

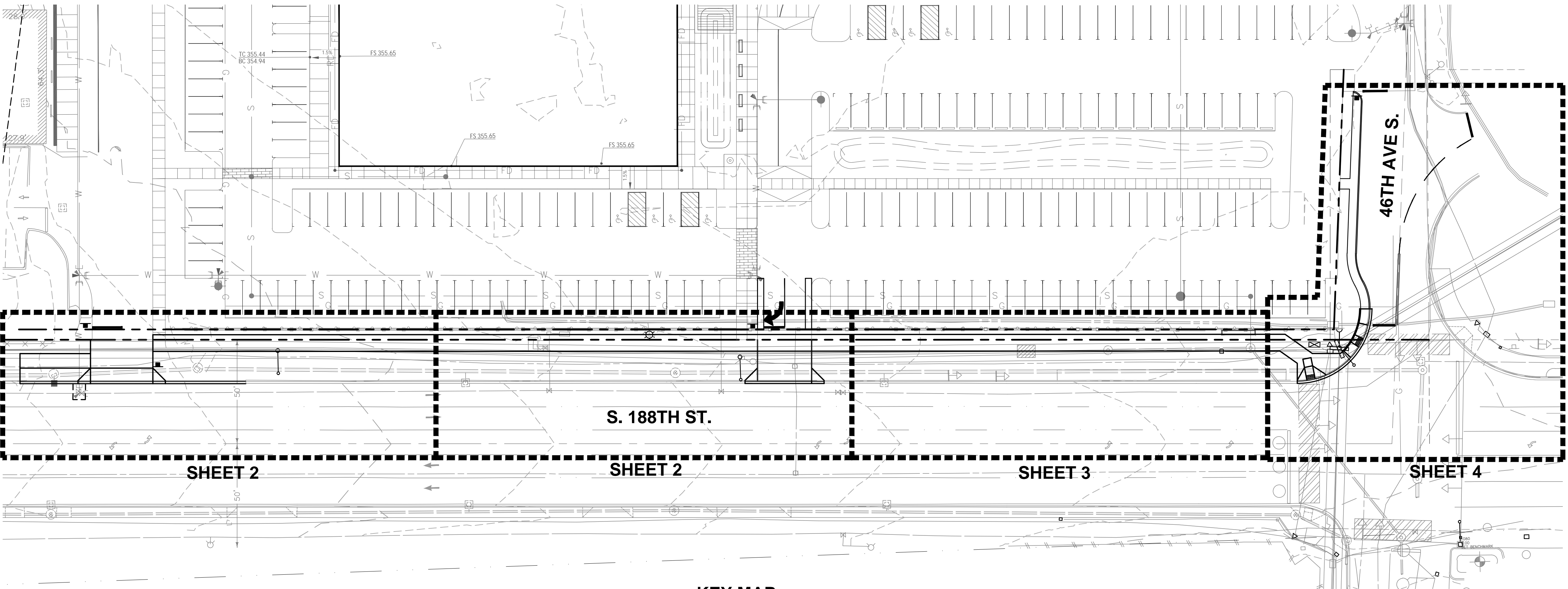
Sheet No.

1 of 4 Sheets

TYEE HIGH SCHOOL REPLACEMENT

FRONTAGE IMPROVEMENTS

CONDITIONAL USE PERMIT



KEY MAP

SCALE: 1"=30'

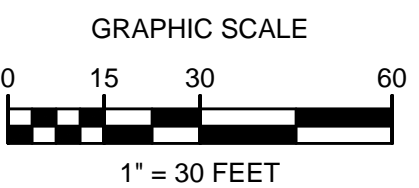
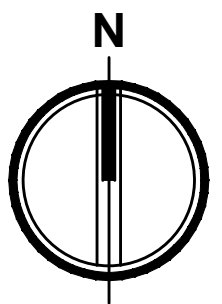
EXISTING LEGEND:

- △ SET NAIL AND WASHER
- FOUND MONUMENT AS NOTED
- HUB AND TACK
- SET REBAR AND CAP
- BOLLARD
- MAIL BOX
- SIGN
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM CATCH BASIN
- STORM MANHOLE
- ROOF DRAIN
- GAS METER
- GAS VALVE

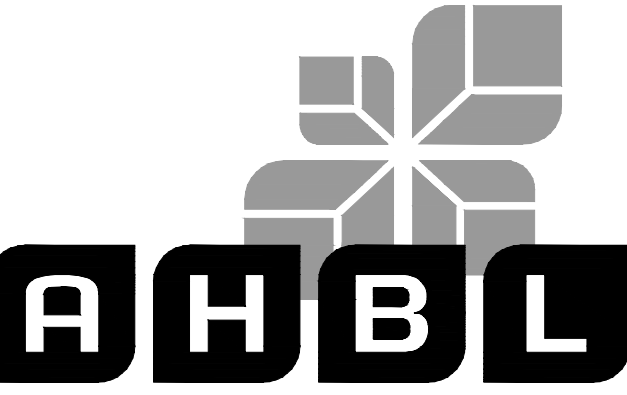
- TRAFFIC SIGNAL POLE
- TRAFFIC CABINET
- POWER TRANSFORMER
- GUY ANCHOR
- UTILITY POWER POLE
- ELECTRICAL VAULT
- JUNCTION BOX
- POWER METER
- LUMINAIRE
- TELEPHONE RISER
- TELEPHONE VAULT

- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- HOSE BIB
- WATER METER
- WATER VALVE
- WATER VAULT
- A=APPLE, B=BIRCH, F=FIR, P=PINE, HA=HAWTHORNE
- HO=HOLLY, M=MAPLE, O=OAK, U= UNKNOWN

- D --- STORM LINE
- S --- SANITARY SEWER LINE
- G --- GAS LINE
- P --- ELECTRICAL LINE
- T --- COMMUNICATIONS LINE
- W --- WATER LINE
- IR --- IRRIGATION PER RECORD DRAWING
- OHP --- OVERHEAD UTILITIES
- STEAM LINE
- FENCE
- CONCRETE
- ASPHALT
- XXX --- CONTOUR MAJOR INTERVAL
- XXX --- CONTOUR MINOR INTERVAL
- PROPERTY / RIGHT-OF-WAY LINE



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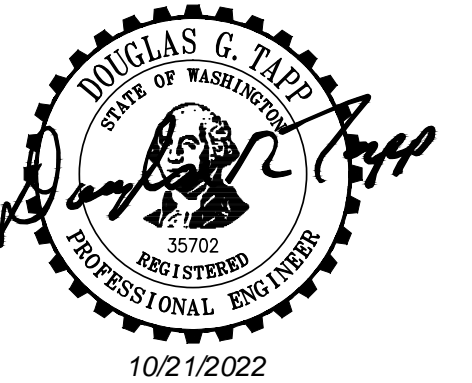
Project Title:
HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL
REPLACEMENT

Client:
HIGHLINE PUBLIC SCHOOLS
17810 8TH AVENUE SOUTH, BLDG. A
BURIEN, WA 98148

Project No.
2190992.10

Issue Set & Date:
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09-09-2022



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Revisions:

Revisions:

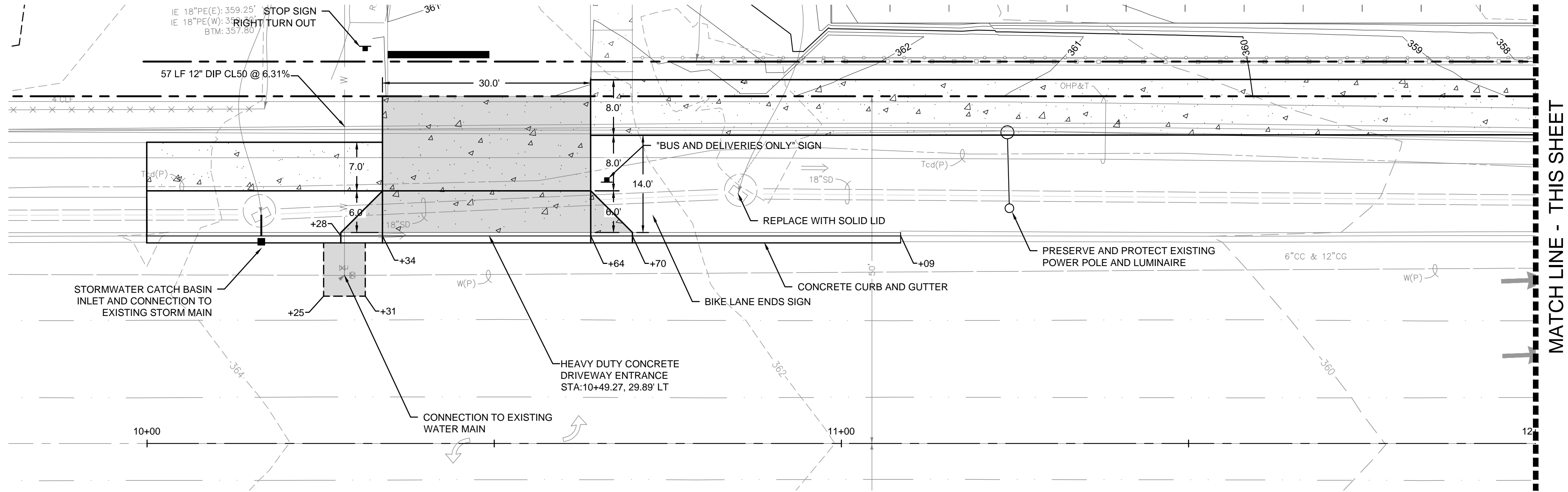
Sheet Title:

FRONTAGE PLAN

Designed by: CTJ Drawn by: CTJ Checked by: BPS

Sheet No.

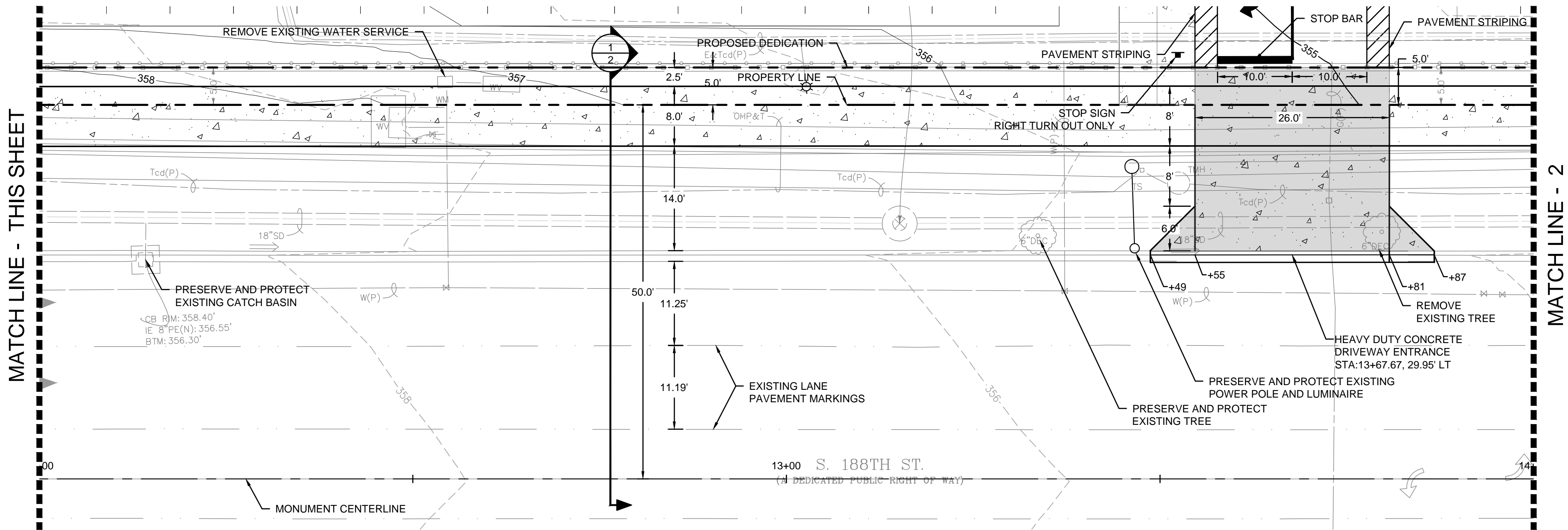
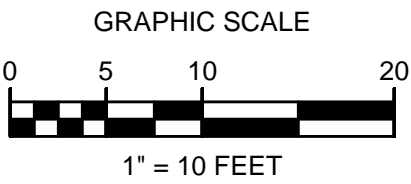
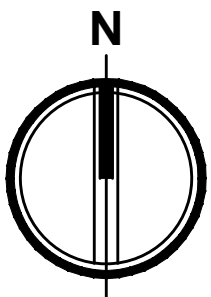
2 of 4 Sheets



S. 188TH ST. PLAN

SCALE: 1"=10'

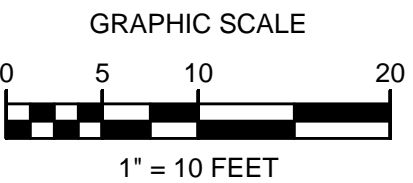
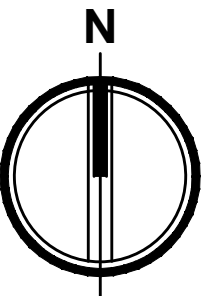
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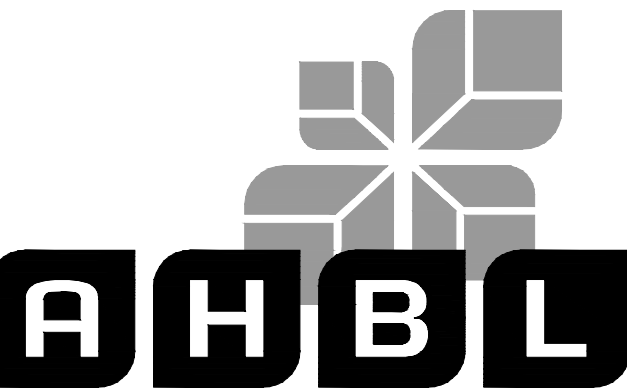
S. 188TH ST. PLAN

SCALE: 1"=10'

MATCH LINE - THIS SHEET



Know what's below.
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T A C O M A • SEATTLE • SPOKANE • TRI-CITIES

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206.267.2425 TEL 206.267.2429 FAX www.ahbl.com WEB

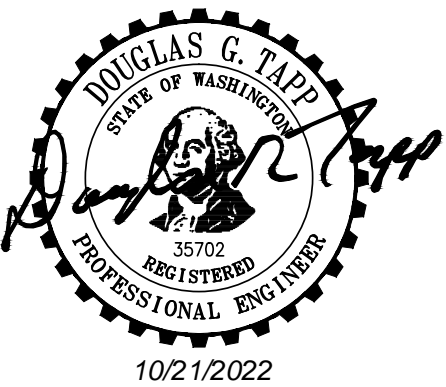
Project Title:
HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL
REPLACEMENT

Client:
HIGHLINE PUBLIC SCHOOLS
17810 8TH AVENUE SOUTH, BLDG. A
BURIEN, WA 98148

Project No.
2190992.10

Issue Set & Date:
CONDITIONAL
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09-09-2022



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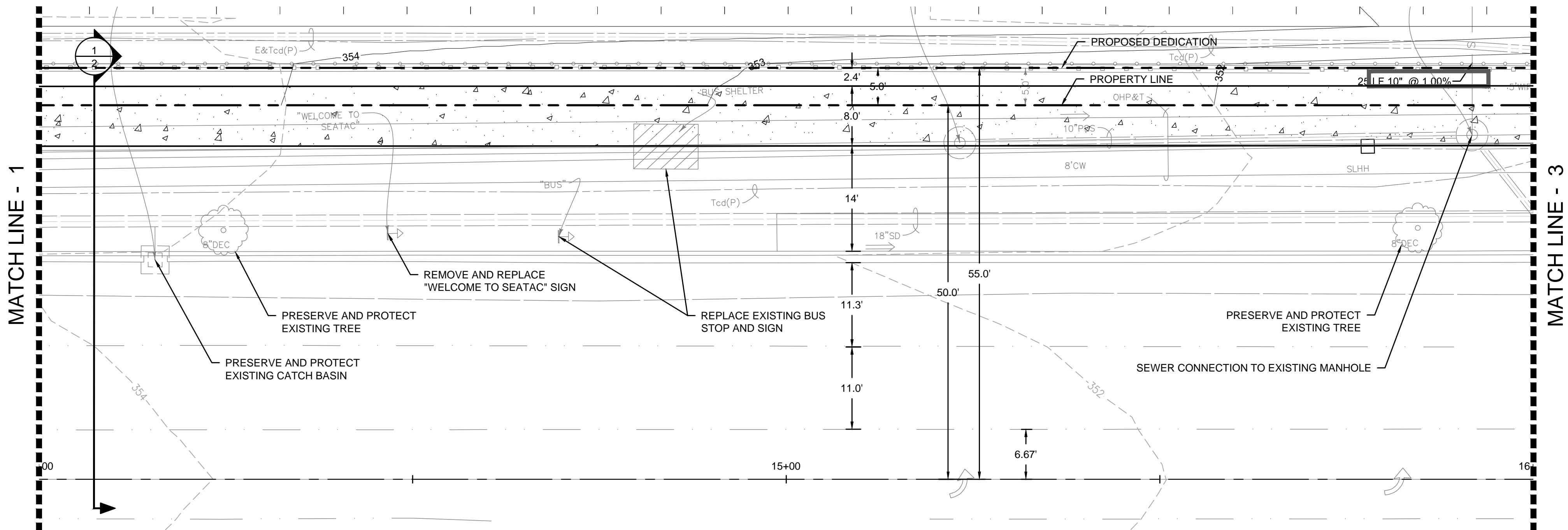
Sheet Title:

FRONTAGE PLAN

Designed by: CTJ **Drawn by:** CTJ **Checked by:** BPS

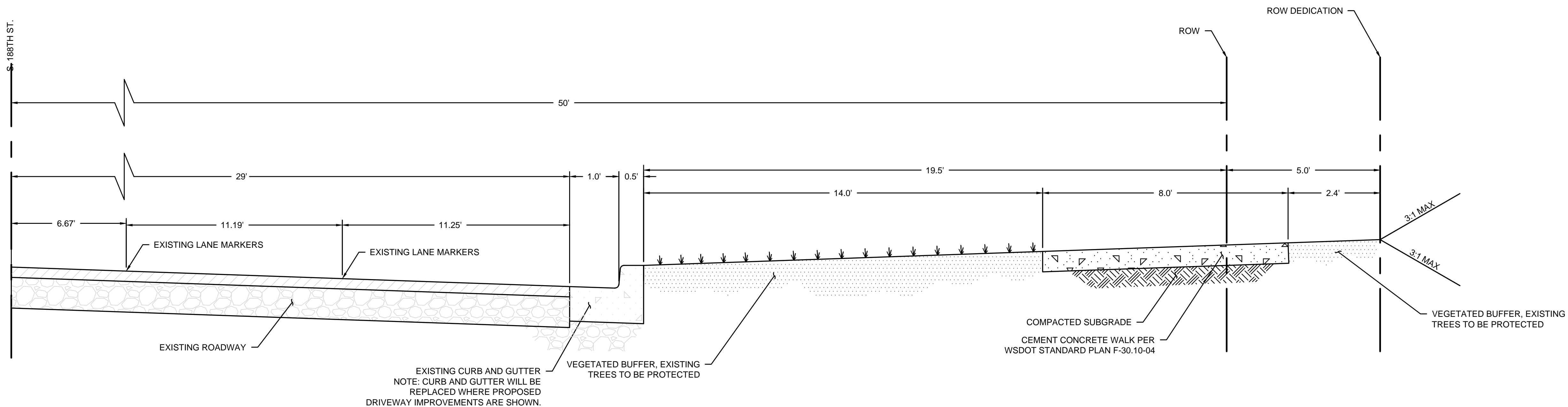
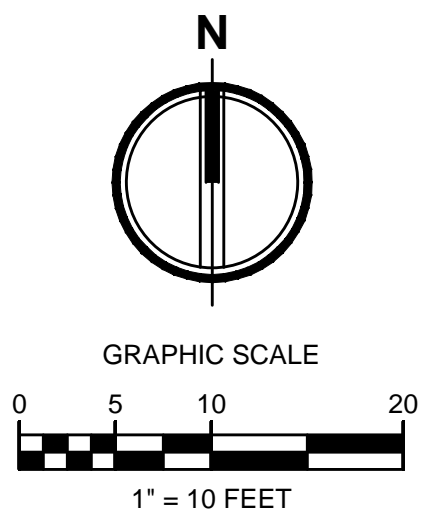
Sheet No.

3 of 4 Sheets



S. 188TH ST. PLAN

SCALE: 1"=10'

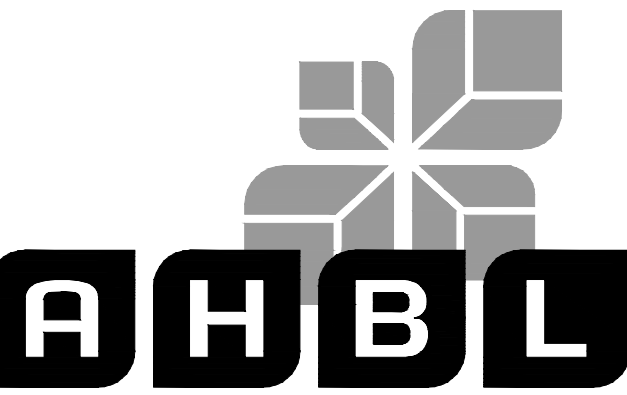


1 SOUTH 188TH STREET TYPICAL SECTION

NOT TO SCALE



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Project Title:
HIGHLINE SCHOOL DISTRICT

TYEE HIGH SCHOOL
REPLACEMENT

Client:
HIGHLINE PUBLIC SCHOOLS

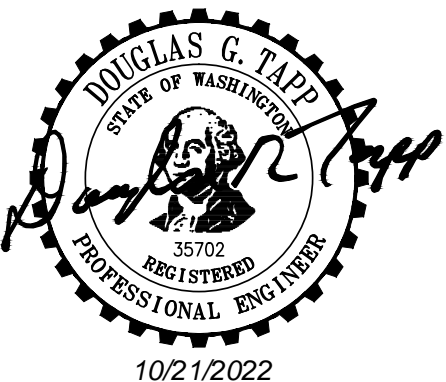
17810 8TH AVENUE SOUTH, BLDG. A
BURIEN, WA 98148

Project No.

2190992.10

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Revisions:

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Sheet Title:

FRONTAGE PLAN

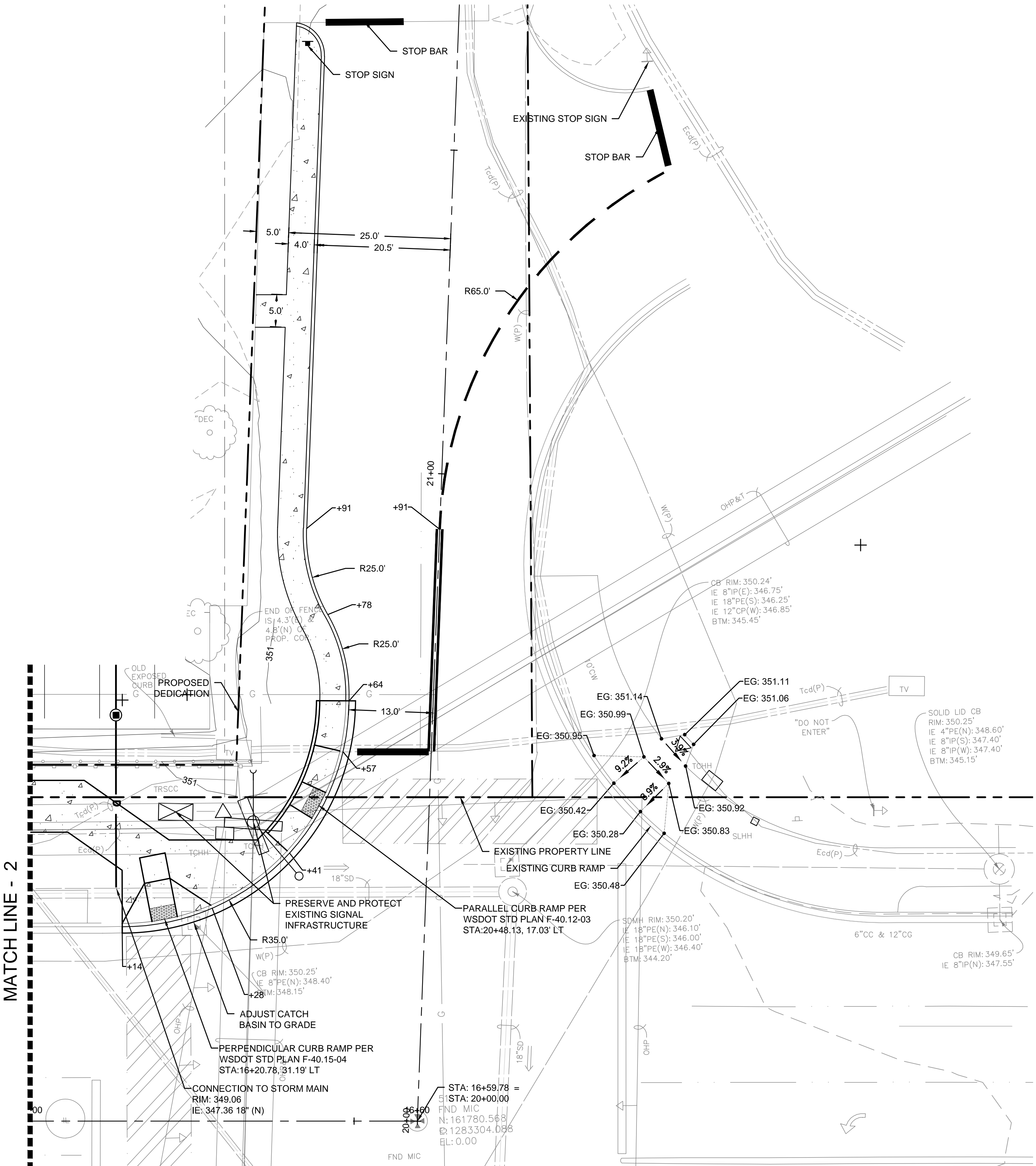
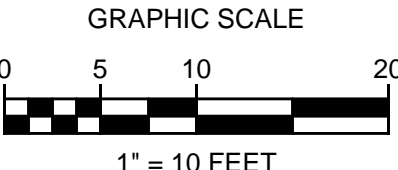
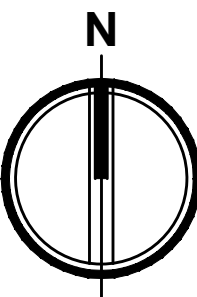
Designed by: CTJ Drawn by: CTJ Checked by: BPS

Sheet No.

4 of 4 Sheets

EXISTING LEGEND:

- △ SET NAIL AND WASHER
- FOUND MONUMENT AS NOTED
- HUB AND TACK
- SET REBAR AND CAP
- BOLLARD
- MAIL BOX
- SIGN
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM CATCH BASIN
- STORM MANHOLE
- ROOF DRAIN
- GAS METER
- GAS VALVE
- TRAFFIC SIGNAL POLE
- TRAFFIC CABINET
- △ POWER TRANSFORMER
- ↑ GUY ANCHOR
- UTILITY POWER POLE
- ELECTRICAL VAULT
- JUNCTION BOX
- POWER METER
- LUMINAIRE
- TELEPHONE RISER
- TELEPHONE VAULT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- HOSE BIB
- WATER METER
- WATER VALVE
- WATER VAULT
- ★ A=APPLE, B=BIRCH, F=FIR, P=PINE, HA=HAWTHORNE
- HO=HOLLY, M=MAPLE, O=OAK, U= UNKNOWN
- D --- STORM LINE
- S --- SANITARY SEWER LINE
- G --- GAS LINE
- P --- ELECTRICAL LINE
- T --- COMMUNICATIONS LINE
- W --- WATER LINE
- IR --- IRRIGATION PER RECORD DRAWING
- OHP --- OVERHEAD UTILITIES
- SL --- STEAM LINE
- x-x-x --- FENCE
- CONCRETE
- ASPHALT
- XXX --- CONTOUR MAJOR INTERVAL
- XXX --- CONTOUR MINOR INTERVAL
- --- PROPERTY / RIGHT-OF-WAY LINE



INTERSECTION OF S. 188TH ST. AND 46TH AVE S. PLAN

SCALE: 1"=10'



Know what's below.
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CODE REQUIREMENTS			
CODE SECTION	DESCRIPTION	REQUIRED PER CODE	PROVIDED
OFF-STREET PARKING REGULATIONS			
SMC 15.455.110	1 SPACE PER 35 STUDENTS, 1 PER FACULTY MEMBER	135 STALLS	208 STALLS
	1 SPACE PER 10 PARKING STALLS	21 SPACES	56 SPACES
LANDSCAPING AND SCREENING STANDARDS			
SMC 14.27.050	STREET TREES SHALL BE DECIDUOUS AND SHOULD BE PLANTED AT A MAXIMUM OF 30 FEET ON CENTER	17 TREES	18 TREES
SMC 15.445.210	STREET FRONTAGE: TYPE IV LANDSCAPE, 10 FT. WIDTH	5,300 SF	5,915 SF
SMC 15.445.210	BUILDING FACADE: TYPE V LANDSCAPE, 5 FT. WIDTH	15,914 SF	16,023 SF
SMC 15.445.210	SIDE/REAR YARDS: TYPE IV LANDSCAPE, 5 FT. WIDTH	2741 SF	2741 SF
SMC 15.445.250	PARKING LANDSCAPING: AT LEAST 10% OF THE INTERIOR PARKING AREA SHALL HAVE LANDSCAPING WHEN THE TOTAL NUMBER EXCEEDS 20 PARKING STALLS	6354 SF	16622 SF
SMC 15.445.250	LANDSCAPE ISLANDS: AT LEAST ONE INTERIOR LANDSCAPE ISLAND FOR EVERY SEVEN (7) PARKING STALLS SHALL BE PROVIDED TO BE REASONABLY DISTRIBUTED THROUGHOUT THE PARKING LOT. LANDSCAPE ISLAND SITING AND DESIGN MAY BE ADJUSTED TO ACCOMMODATE LID BMPs, SUCH AS BIORETENTION	10 ISLANDS, 5 LARGE PLANTING AREAS INCLUDING 1 WITH BIORETENTION	
SMC 15.445.250	PARKING LOT TREES: AT LEAST ONE (1) TREE MUST BE PROVIDED IN EACH LANDSCAPE ISLAND	19 TREES	19 TREES
SMC 15.445.250	THE PERIMETER OF A PARKING LOT SHALL BE PLANTED WITH A MINIMUM OF FIVE (5) FOOT LANDSCAPING BUFFERS WITH TYPE III LANDSCAPING. ANY ABUTTING LANDSCAPED AREAS CAN BE CREDITED TOWARD MEETING THIS STANDARD	13771 SF	16316 SF

TYPICAL BIORETENTION & PARKING LOT PLANT SCHEDULE - LARGE SHRUBS (N - Native Species, DT - Drought Tolerant Species)

Amelanchier alnifolia	Serviceberry (DT) (N)	B&B	1 1/2" cal.	10' O.C.
Lavandula stoechas	Spanish Lavender (DT)	#1	18"H x 18"W	30" O.C.
Mahonia aquifolium (N)	Tall Oregon Grape (DT)	#2	15"H	4' O.C.
Potentilla fruticosa 'Goldfinger'	'Goldfinger' Shrubby Cinquefoil	#2		3' O.C.
Prunus laurocerasus 'Otto Luykens'	'Otto Luykens' English Laurel	#2	18"H x 24"W	4' O.C.
Rosa nutkana	Nootka Rose (N)	#1	15"H x 15"W	4' O.C.
Salix purpurea 'Nana'	Dwarf Arctic Willow	#1	18"H x 15"W	4' O.C.
Senecio greyi	Senecio	#2	24"H	6' O.C.
Vaccinium ovatum	Evergreen Huckleberry (N)	#2	18"H	4' O.C.

TYPICAL BIORETENTION & PARKING LOT PLANT SCHEDULE - LOW SHRUBS, PERENNIALS, GRASSES, FERNS AND GROUNDCOVERS (N - Native Species, DT - Drought Tolerant Species)

Arctostaphylos uva-ursi	Kinnikinnick (DT, N)	#1	4"H x 12"W, min. 3 runners	18" O.C.
Cornus sericea 'Kelsey'	Kelsey Red-Twig Dogwood	#1	12"H x 12"W	24" O.C.
Fragaria chiloensis	Coastal Strawberry (N)	ASPA/4" POT	3"H x 12"W, min. 3 runners	30" O.C.
Juncus patens 'Elk Blue'	Elk Blue' California Gray Rush	#1 or plug	12"H	18" O.C.
Juncus ensifolius	Dagger-Leaf Rush (N)	#1 or plug	12"H	18" O.C.
Mahonia nervosa	Low Oregon Grape (N)	#1	12"H x 12"W	30" O.C.
Polystichum munitum	Swordfern (DT, N)	#1	12"H x 12"W	36" O.C.
Scirpus microcarpus	Small-Flowered Bulrush (N)	plug		18" O.C.

TYPICAL CAMPUS PLANT SCHEDULE (N - Native Species, DT - Drought Tolerant Species)

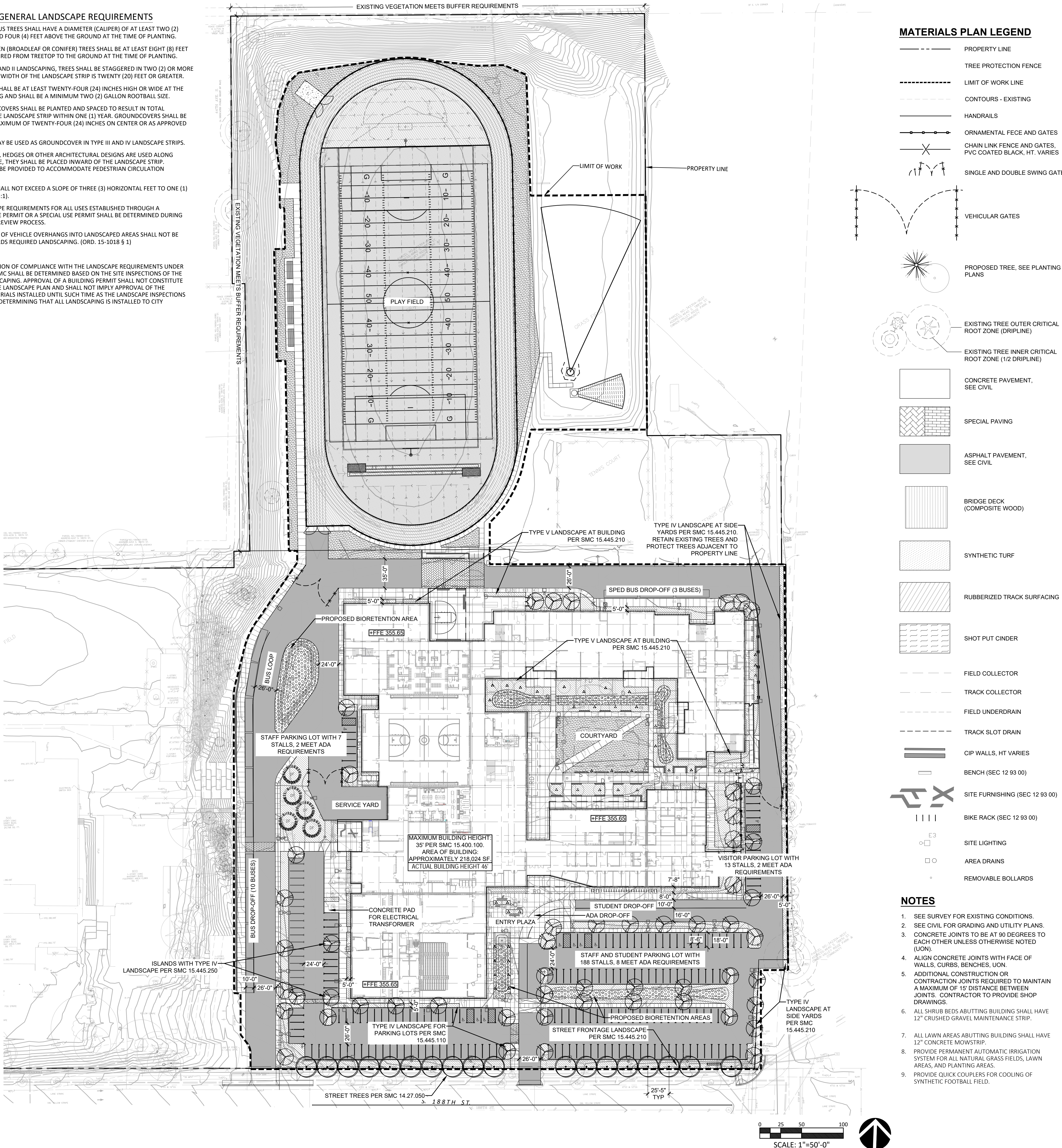
Calamagrostis x acutiflora 'Karl Foerster'	'Karl Foerster' Feather Reed Grass	#1	12"H x 12"W	18" O.C.
Cornus sericea 'Kelsey'	Kelsey Red-Twig Dogwood	#1	12"H x 12"W	24" O.C.
Festuca ovina glauca 'Elijah Blue'	'Elijah Blue' Fescue	#1		18" O.C.
Helictotrichon sempervirens	Blue Oat Grass (DT)	#1	12"H x 12"W	36" O.C.
Lavandula stoechas	Spanish Lavender (DT)	#1	18"H x 18"W	30" O.C.
Polystichum munitum	Swordfern (DT, N)	#1	12"H x 12"W	36" O.C.
Pinus mugo var. mugo	Dwarf Mugo Pine	#5	24"H	4' O.C.
Rosmarinus officinalis 'Huntington Carpet/Blue'	Huntington Carpet/Blue' Rosemary (DT)	#2	12"H x 18"W	3' O.C.
Prunus laurocerasus 'Mount Vernon'	Mount Vernon Laurel	#2	12"H x 18"W	3' O.C.
Lonicera pileata	Privet Honeysuckle	#2	12"H x 18"W	3' O.C.
Ribes sanguineum	Flowering Currant	#2	12"H x 18"W	3' O.C.

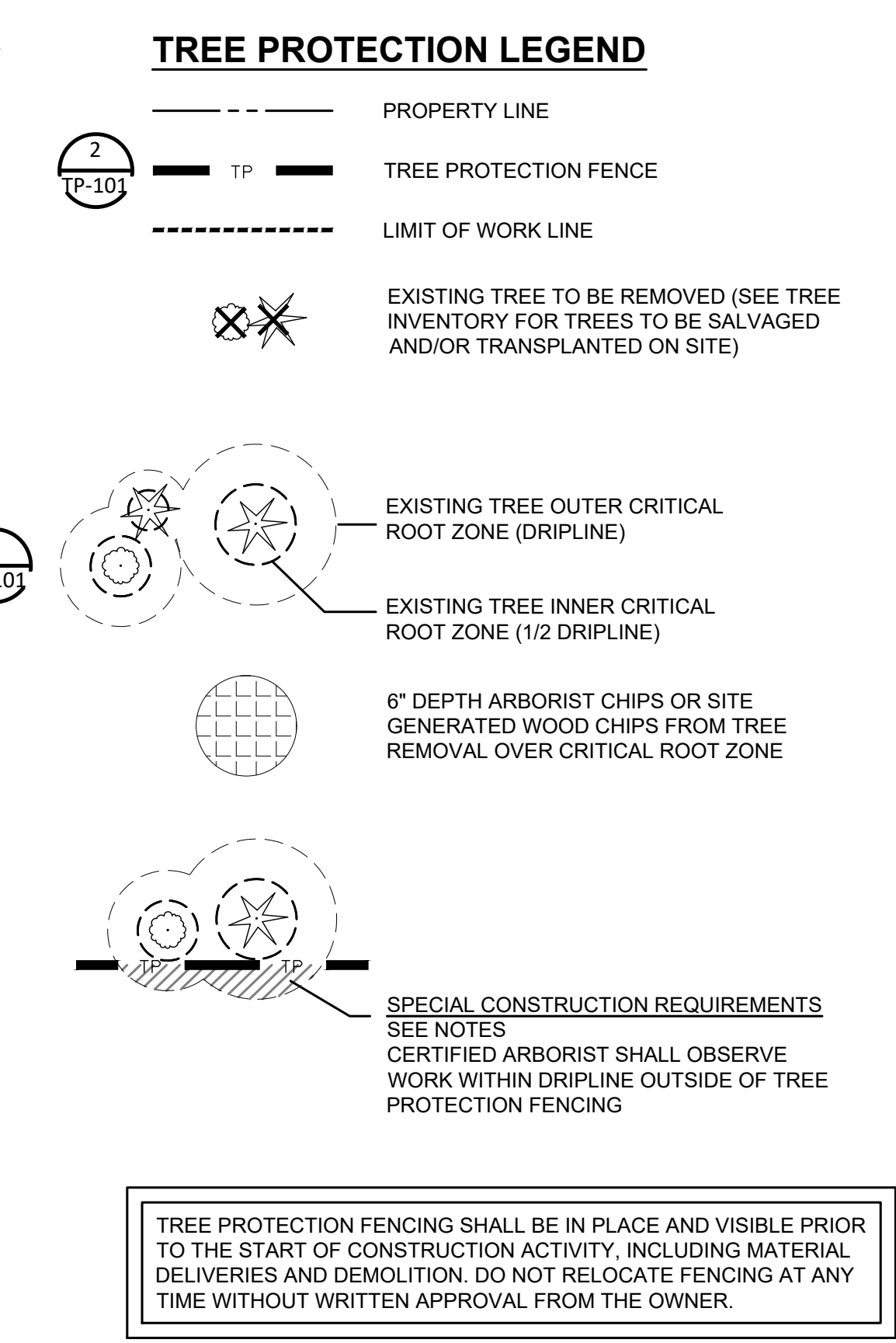
Botanical Name	Common Name	Cont.	Notes
Evergreen Trees (Options)			
Calocedrus decurrens	Incense Cedar	B&B	6' HT, Not Sheared
Cedrus deodora	Deodar Cedar	B&B	6' HT, Not Sheared
Metasequoia glyptostroboides	Dawn Redwood	B&B	6' HT, Not Sheared
Picea omorika	Serbian Spruce	B&B	6' HT, Not Sheared
Pinus contorta	Shore Pine	B&B	6' HT, Not Sheared
Pseudotsuga menziesii	Douglas Fir	B&B	6' HT, Not Sheared
Sequoiadendron giganteum	Giant Sequoia	B&B	6' HT, Not Sheared
Deciduous Trees			
Acer circinnatum	Vine Maple	B&B	6' HT, 3 STEM MIN
Acer glabrum	Paperbark Maple	B&B	2' CAL
Acer rubrum 'Bowhall'	Bowhall Maple	B&B	2' CAL
Cornus sp.	Dogwood	B&B	2' CAL
Stewartia monadelphica	Orangebark Stewartia	B&B	2' CAL
Ulmus parvifolia 'Smea II'	Alone Elm	B&B	2' CAL
Zelkova serrata 'Village Green'	Village Green Zelkova	B&B	2' CAL
Street Trees (Options)			
Carpinus caroliniana	American Hornbeam	B&B	2' CAL
Lagerstromia indica x fauriei 'Natchez'	Natchez Crape Myrtle	B&B	2' CAL
Liriodendron tulipifera	Tulip Tree	B&B	2' CAL
Stewartia pseudocamellia	Japanese Stewartia	B&B	2' CAL
Syrax japonicus 'JFS-D Snowcone'	Japanese Snowbell	B&B	2' CAL

15.445.120 GENERAL LANDSCAPE REQUIREMENTS

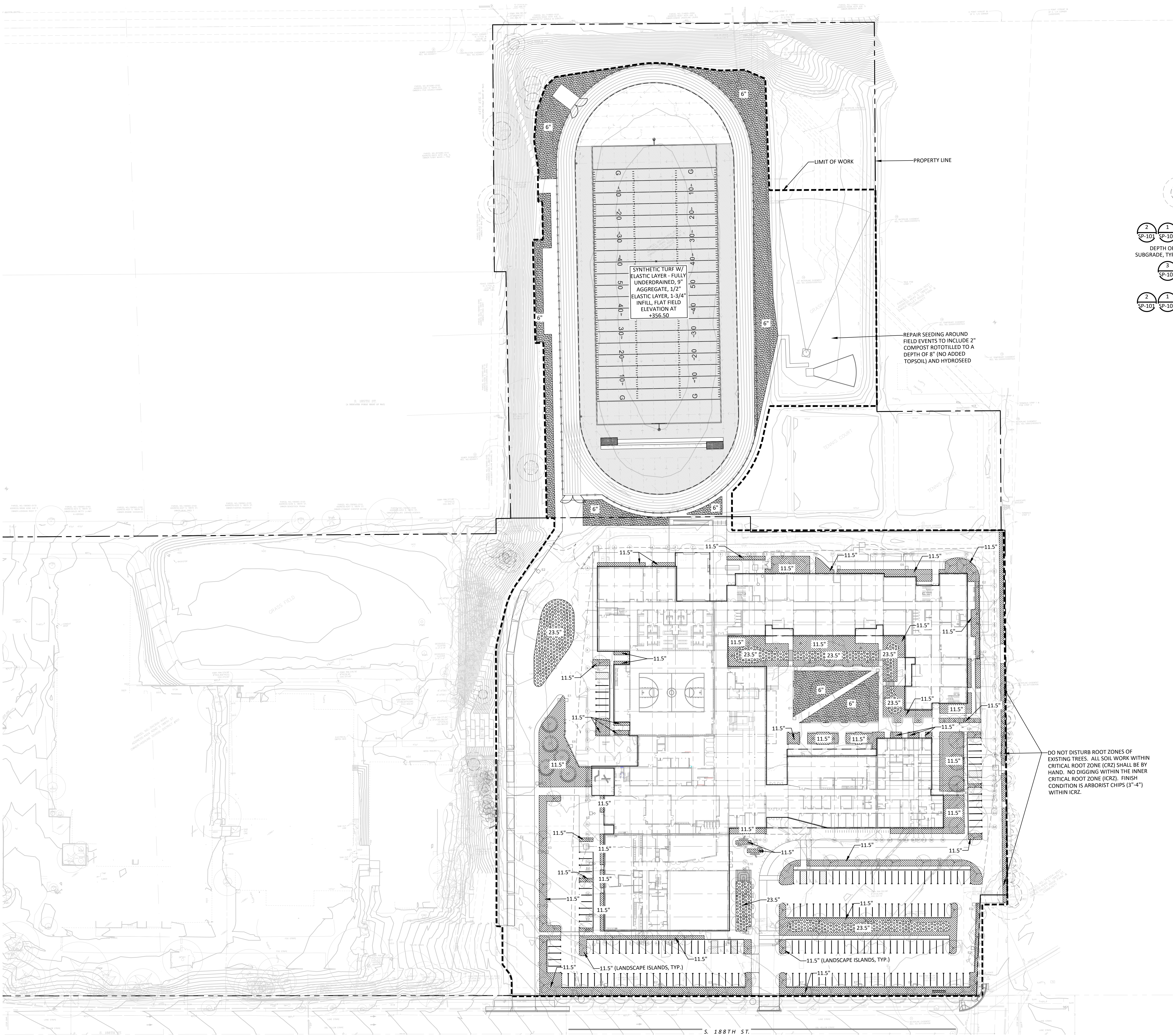
- DECIDUOUS TREES SHALL HAVE A DIAMETER (CALIPER) OF AT LEAST TWO (2) INCHES MEASURED FOUR (4) FEET ABOVE THE GROUND AT THE TIME OF PLANTING.
- EVERGREEN (BROADLEAF OR CONIFER) TREES SHALL BE AT LEAST EIGHT (8) FEET IN HEIGHT MEASURED FROM TREETOP TO THE GROUND AT THE TIME OF PLANTING.
- IN TYPE I AND II LANDSCAPING, TREES SHALL BE STAGGERED IN TWO (2) OR MORE ROWS WHEN THE WIDTH OF THE LANDSCAPE STRIP IS TWENTY (20) FEET OR GREATER.
- SHRUBS SHALL BE AT LEAST TWENTY-FOUR (24) INCHES HIGH OR WIDE AT THE TIME OF PLANTING AND SHALL BE A MINIMUM TWO (2) GALLON ROOTBALL SIZE.
- GROUNDCOVERS SHALL BE PLANTED AND SPACED TO RESULT IN TOTAL COVERAGE OF THE LANDSCAPE STRIP WITHIN ONE (1) YEAR. GROUNDCOVERS SHALL BE PLANTED AT A MAXIMUM OF TWENTY-FOUR (24) INCHES ON CENTER OR AS APPROVED BY THE CITY.
- GRASS MAY BE USED AS GROUNDCOVER IN TYPE III AND IV LANDSCAPE STRIPS.
- IF FENCES, HEDGES OR OTHER ARCHITECTURAL DESIGNS ARE USED ALONG STREET FRONTAGE, THEY SHALL BE PLACED INWARD OF THE LANDSCAPE STRIP. OPENINGS SHALL BE PROVIDED TO ACCOMMODATE PEDESTRIAN CIRCULATION REQUIREMENTS.
- BERMS SHALL NOT EXCEED A SLOPE OF THREE (3) HORIZONTAL FEET TO ONE (1) VERTICAL FOOT (3:1).
- LANDSCAPE REQUIREMENTS FOR ALL USES ESTABLISHED THROUGH A CONDITIONAL USE PERMIT OR A SPECIAL USE PERMIT SHALL BE DETERMINED DURING THE APPLICABLE REVIEW PROCESS.
- THE AREA OF VEHICLE OVERHANGS INTO LANDSCAPED AREAS SHALL NOT BE COUNTED TOWARDS REQUIRED LANDSCAPING. (ORD. 15-1018 § 1)

THE DETERMINATION OF COMPLIANCE WITH THE LANDSCAPE REQUIREMENTS UNDER CHAPTER 15.14 SMC SHALL BE DETERMINED BASED ON THE SITE INSPECTIONS OF THE INSTALLED LANDSCAPING. APPROVAL OF A BUILDING PERMIT SHALL NOT CONSTITUTE APPROVAL OF THE LANDSCAPE PLAN AND SHALL NOT IMPLY APPROVAL OF THE LANDSCAPE MATERIALS INSTALLED UNTIL SUCH TIME AS THE LANDSCAPE INSPECTIONS ARE COMPLETED DETERMINING THAT ALL LANDSCAPING IS INSTALLED TO CITY REQUIREMENTS.





2. SEE SURVEY FOR EXISTING CONDITIONS
3. NO CONSTRUCTION ACTIVITY IS ALLOWED UNTIL TREE PROTECTION FENCING AND ARBORIST CHOP MULCH HAVE BEEN INSTALLED AND ACCEPTED
4. SEE SPECIFICATION SECTION 05 36.39. SCIP EXCLUDES STUMP REMOVAL/GRINDING
5. 4. ARBORIST REPORT FOR INVENTORY OF EXISTING TREES
6. REMOVAL AND REPLACEMENT OF TREES WITHIN RIGHT-OF-WAY ACCORDING TO CITY OF SEATTLE REQUIREMENTS - SEE THE TREE REMOVAL MEMORANDUM FOR ADDITIONAL DETAILS
7. PROVIDE PROTECTION OF EXISTING TREES TO REMAIN INCLUDING, BUT NOT LIMITED TO, ARBORIST OVERSIGHT, PROTECTION FENCING, CHOP MULCH, AND ARBORIST CHOP MULCH OVER ALL ROOT ZONES, AND SPECIAL PROTECTION MEASURES WITHIN ROOT ZONES THROUGHOUT PROJECT
8. PROVIDE PROTECTION FENCING TO REMAIN IN THE RIGHT-OF-WAY PER CITY OF SEATTLE REQUIREMENTS.
9. SEE TP-101 FOR TREE PROTECTION DETAILS.
10. WHERE TREE PROTECTION FENCING AND CONSTRUCTION FENCING COINCIDE USE ONLY ONE FENCE, WHICHEVER IS MORE STABLE AND PERMANENT
11. SEE SPECIFICATION SECTION 05 36.39 FOR TREE TRUNK PROTECTION
12. 12.1. CLEAR ALL UNDERSTORY VEGETATION WITHIN TREE PROTECTION AREAS PRIOR TO INSTALLATION OF TREE PROTECTION MULCH
13. 12.2. REMOVE ALL WEEDS AND WEED SEEDS WITHIN TREE TRUNK NOT LIMITED TO BLACKBERRY, HOLLY, AND IVY. REMOVE ALL SHALLS BE BY HAND. REMOVE PROTECTION AREAS. REMOVE ALL ROOTS OF INVASIVE PLANTS.

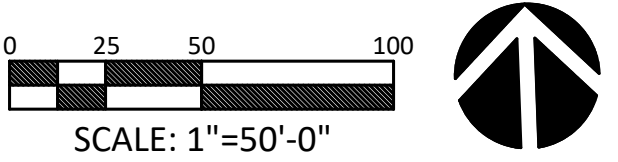


SOILS PLAN LEGEND

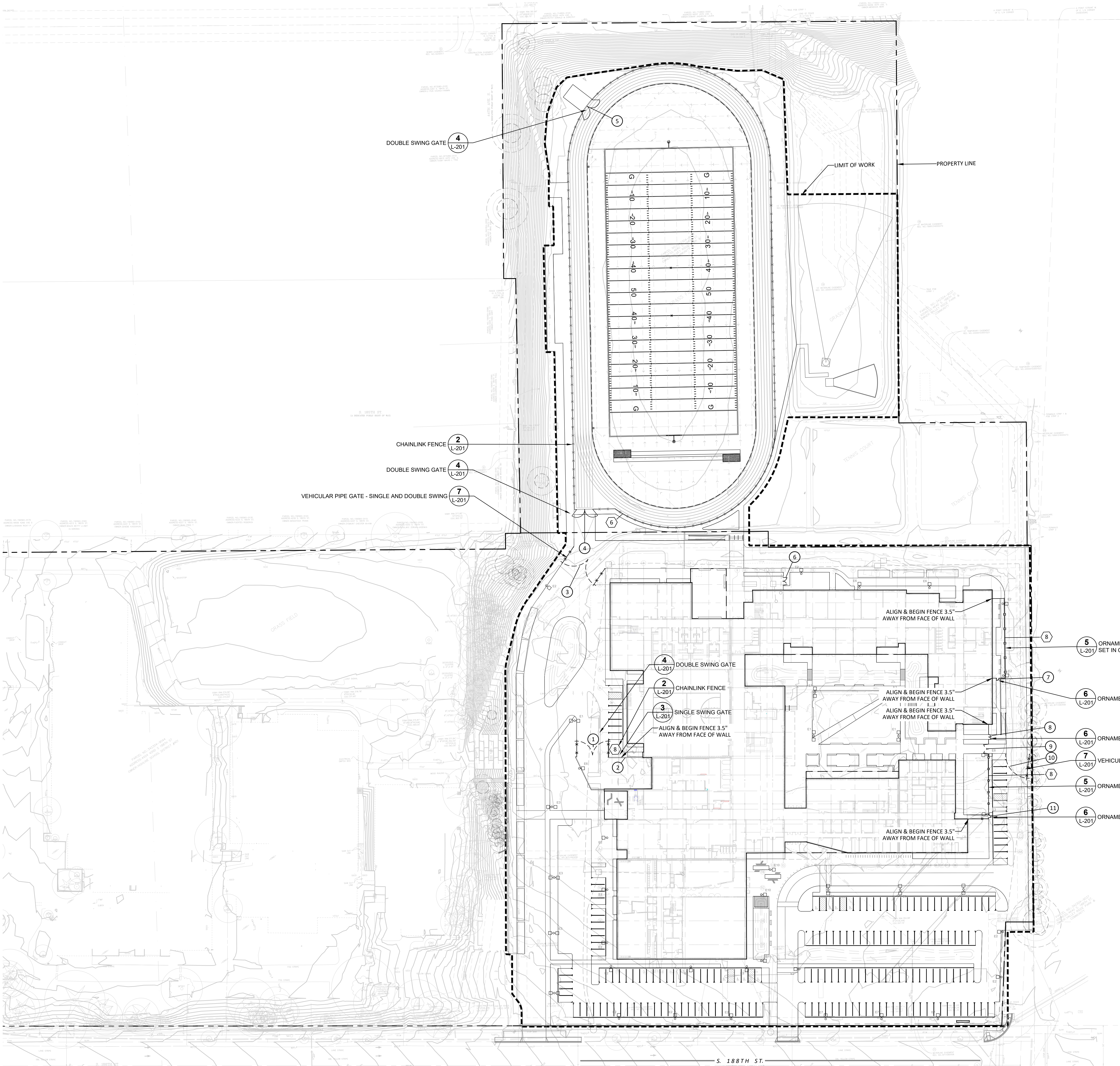
- PROPERTY LINE
- TREE PROTECTION FENCE
- LIMIT OF WORK LINE
- CONTOURS - EXISTING
- CONIFEROUS TREE*
- DECIDUOUS TREE*
- *PROVIDE SOIL PREPARATION FOR ALL NEW TREES
- EXISTING TREE OUTER CRITICAL ROOT ZONE (DRIPLINE)
- EXISTING TREE INNER CRITICAL ROOT ZONE (1/2 DRIPLINE)
- SHRUB AND GROUNDCOVER PLANTINGS: SUBGRADE PREP: 2.5\"/>
- BIORETENTION PLANTINGS - SUBGRADE PREP: 2.5\"/>
- SEEDED LAWN - SUBGRADE PREP: 2.5\"/>
- TREE PROTECTION AND RESTORATION AREA - REMOVAL OF ALL INVASIVES (INCLUDING HOLLY, SCOTCH BROOM, BLACKBERRY), RETAIN NATIVE SHRUBS OF SALAL, FERNS AND MAHONIA. 6\"/>
- ARBORIST CHIP MULCH

SOIL PLAN NOTES

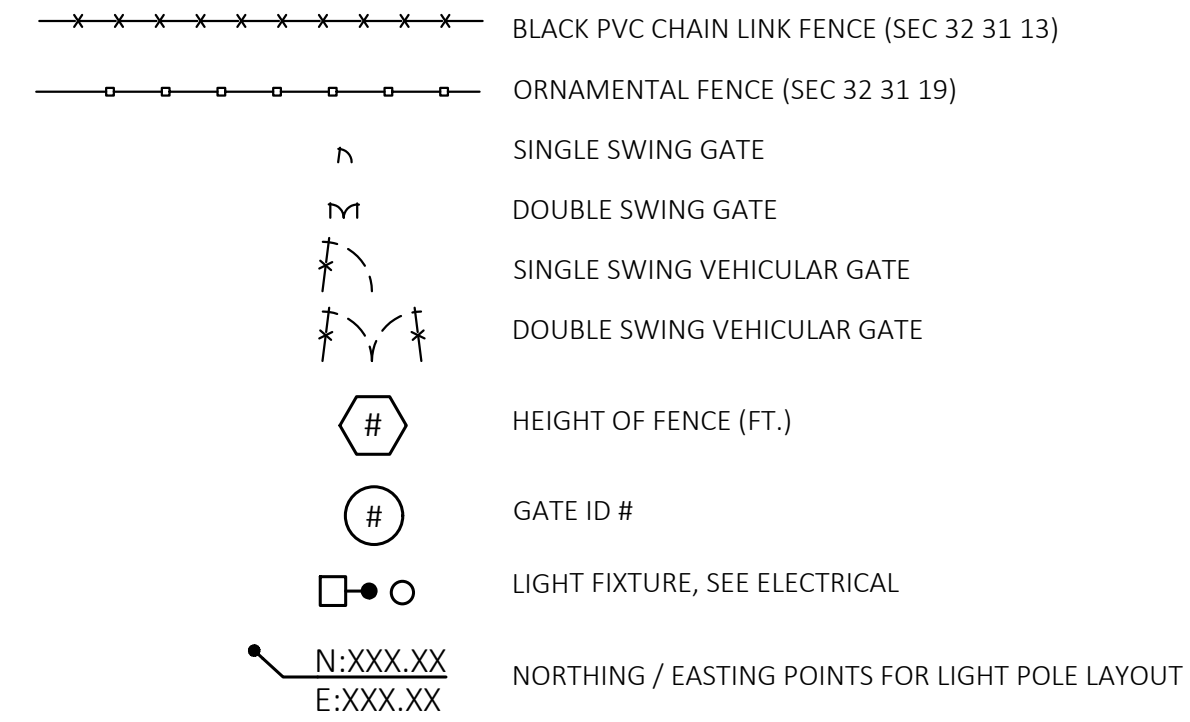
- SEE SURVEY FOR EXISTING CONDITIONS
- REFER TO SEC 32 91 00.
- ALL PLANTING AREAS INCLUDING HYDROSEEDED LAWNS AND REPAIR AREAS, SHALL RECEIVE 2.5\"/>
- ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION PER SEC. 32 91 00 INCLUDING COMPOST AND HYDROSEEDING PER SEC. 32 92 00 WHICH MEETS SWMMWW BMP 15.13.
- CONTRACTOR RESPONSIBLE FOR ACCOMMODATING ANY FLUFF FACTOR OR SETTLING. DEPTHS SHOWN ARE MINIMUMS.
- SEE SOIL PREPARATION DETAILS ON SHEET SP-101.



Date:	07/29/2022
Job No.:	21530
Drawn By:	MW
Checked by:	KK
Revisions	
#	Date Description



FENCE AND LIGHTING LEGEND

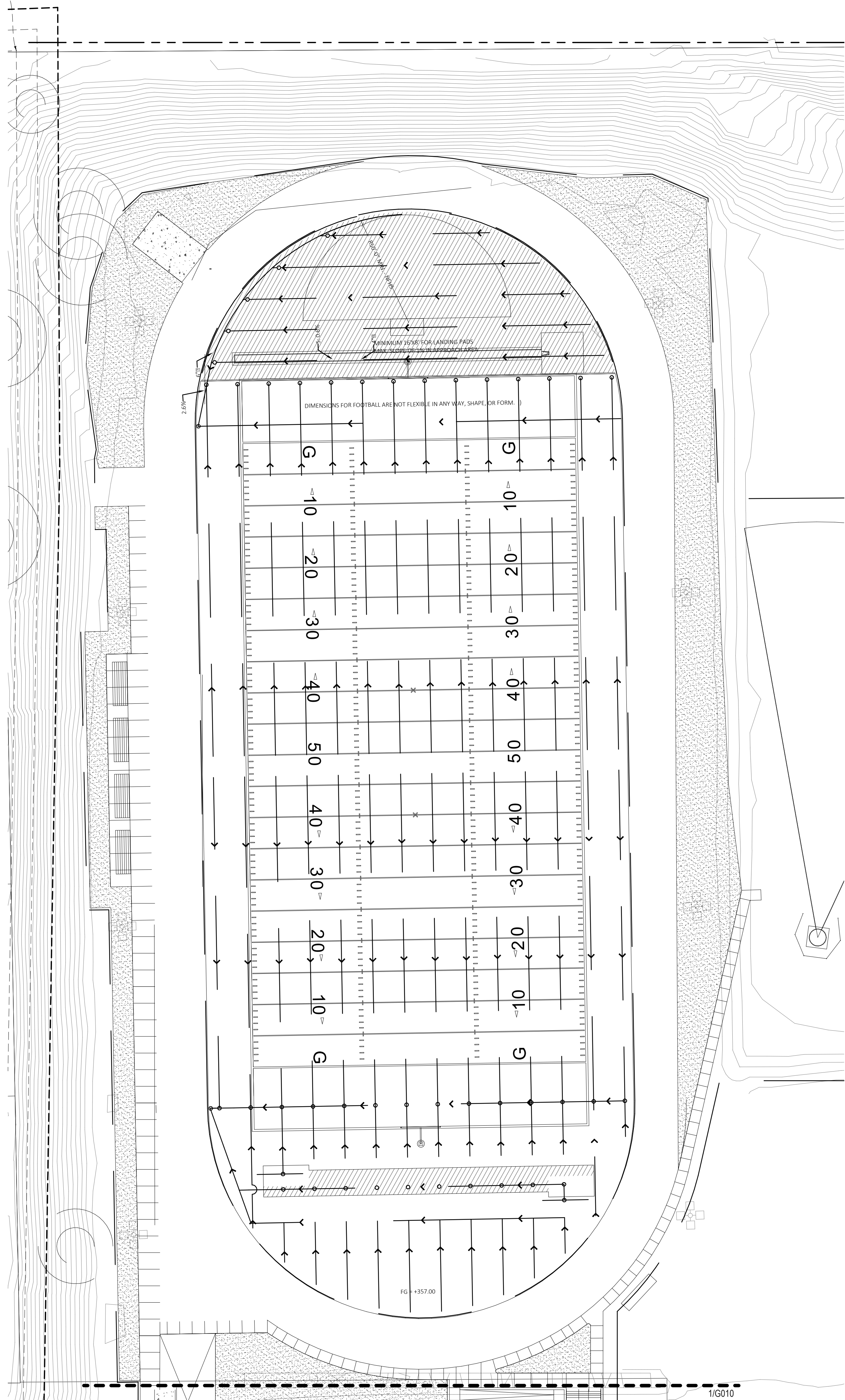


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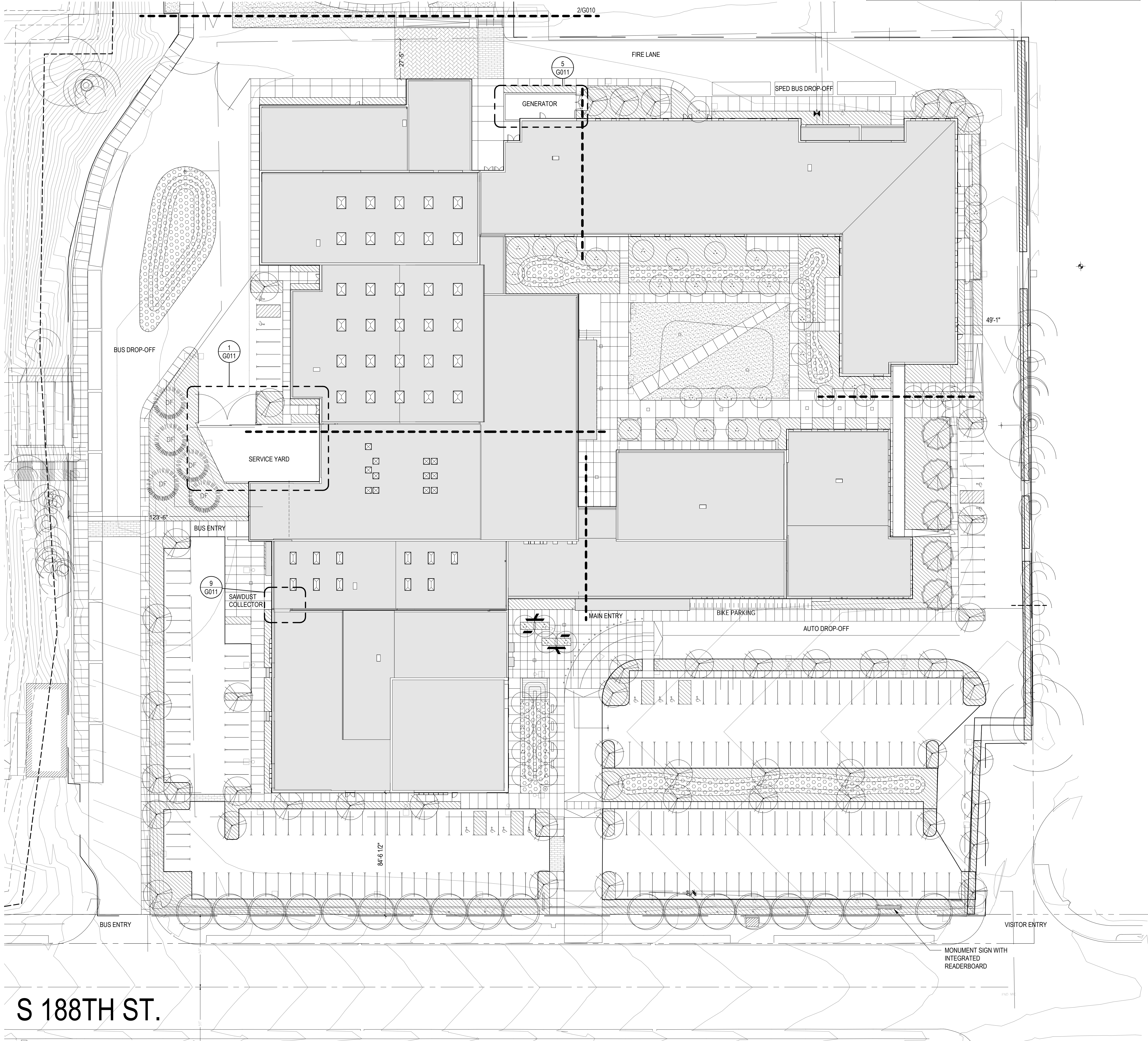
- SEE SITE SURVEY FOR EXISTING CONDITIONS.
- ALL FENCE ANGLES TO BE 90° UNLESS OTHERWISE NOTED.
- ALIGN FENCE PERPENDICULAR OR FLUSH TO FACE OF BUILDING WITH A 3.5" GAP BETWEEN BUILDING AND FENCE, TYP.
- ALIGN GATES PERPENDICULAR TO AND CENTERED ON ROUTE OF VEHICULAR OR PEDESTRIAN PAVEMENT OR ROUTE OF TRAVEL, TYP. UNLESS OTHERWISE NOTED.
- ALL GATES SHALL HAVE STANDARD LATCHES UNLESS OTHERWISE NOTED ON PLANS.
- SEE LAYOUT PLAN FOR RAMP AND STAIR RAILS.
- SEE LAYOUT PLAN FOR DIMENSIONS UNLESS OTHERWISE NOTED.

GATE SCHEDULE

GATE ID NUMBER	SWING	HEIGHT	OPENING WIDTH	MATERIAL	HARDWARE
1	DOUBLE	8'-0"	40'-0"	CHAIN LINK W/ PRIVACY SLATS	LATCH W/ LOCK
2	SINGLE	8'-0"	3'-0"	CHAIN LINK W/ PRIVACY SLATS	LATCH W/ LOCK
3	DOUBLE	6'-0"	46'-0"	VEHICULAR PIPE GATE	LATCH W/ LOCK
4	DOUBLE	6'-0"	20'-0"	CHAIN LINK	LATCH W/ LOCK
5	DOUBLE	6'-0"	20'-0"	CHAIN LINK	LATCH W/ LOCK
6	DOUBLE	6'-0"	10'-0"	CHAIN LINK	LATCH W/ LOCK
7	SINGLE	8'-0"	3'-0"	CHAIN LINK W/ PRIVACY SLATS	EXIT PANIC HARDWARE
8	DOUBLE	8'-0"	6'-0"	ORNAMENTAL	EXIT PANIC HARDWARE
9	DOUBLE	8'-0"	20'-0"	ORNAMENTAL	LATCH W/ LOCK
10	SINGLE	6'-0"	24'-0"	VEHICULAR PIPE GATE	LATCH W/ LOCK
11	SINGLE	8'-0"	3'-0"	CHAIN LINK	EXIT PANIC HARDWARE



2 ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"

ZONING DATA

(CITY OF SEATAC)

PARCEL NUMBER: 342304-9044

LOT SIZE: 814,972 GROSS SQUARE FEET

GRID:

ZONING: UL-7.200 (Urban Low Density/Residential)

GROSS SQUARE FEET OF NEW CONSTRUCTION: 218,024 SF

CLASSIFICATION	REQUIRED	ACTUAL
SETBACKS	PER SMC 15.400.100	
FRONT (SOUTH)	20'	84'-6 1/2"
SIDE (EAST)	5'	49'-1"
SIDE (WEST)	5'	123'-6"
REAR (NORTH)	15'	27'-5"
MAXIMUM BUILDING HEIGHT	PER SMC 15.400.100	
	30'	46'
MAXIMUM LOT COVERAGE BY STRUCTURES	35% MAX.	33% MAX.
IMPERVIOUS SURFACE	EXISTING	FINAL
BUILDINGS		218,024 SQ FT
DRIVEWAYS/ PARKING		148,653 SQ FT
WALKWAYS/ PATIOS		55,626 SQ FT
TOTAL IMPERVIOUS SURFACES:		422,303 SQ FT
TOTAL LOT SQUARE FOOTAGE:	PER SMC 15.400.100	814,972 SQ FT
TOTAL LOT COVERAGE:	NO MAX	52%
	REQUIRED	ACTUAL
PARKING: CAR	1 PER 35 STUDENTS, 1 PER FACULTY = 110 + 35 = 145	208
BIKE	1 SPACE PER 10 PARKING STALL	28

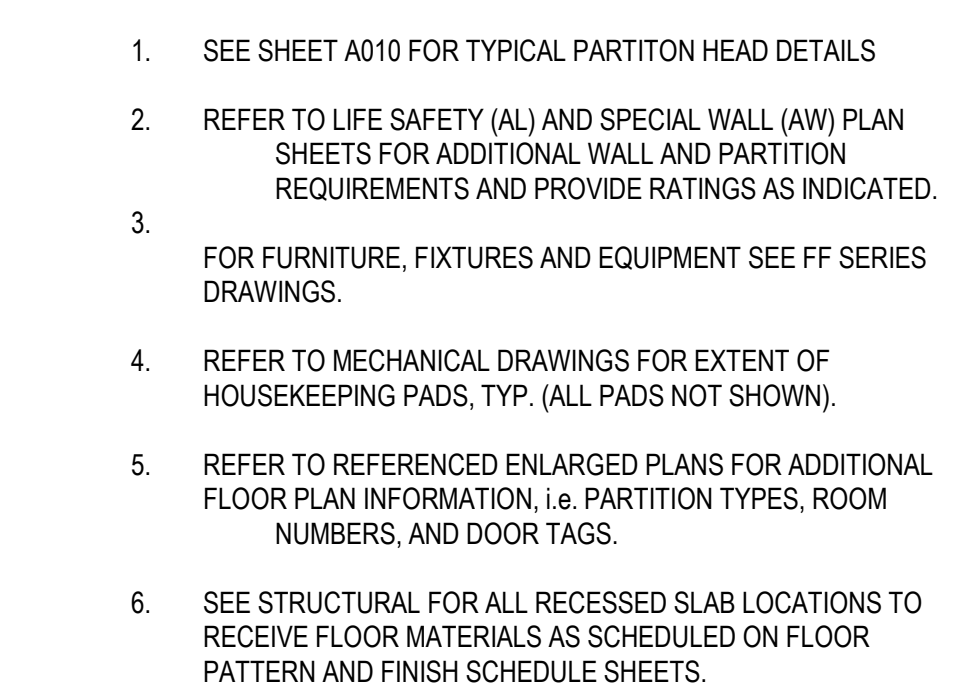
HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

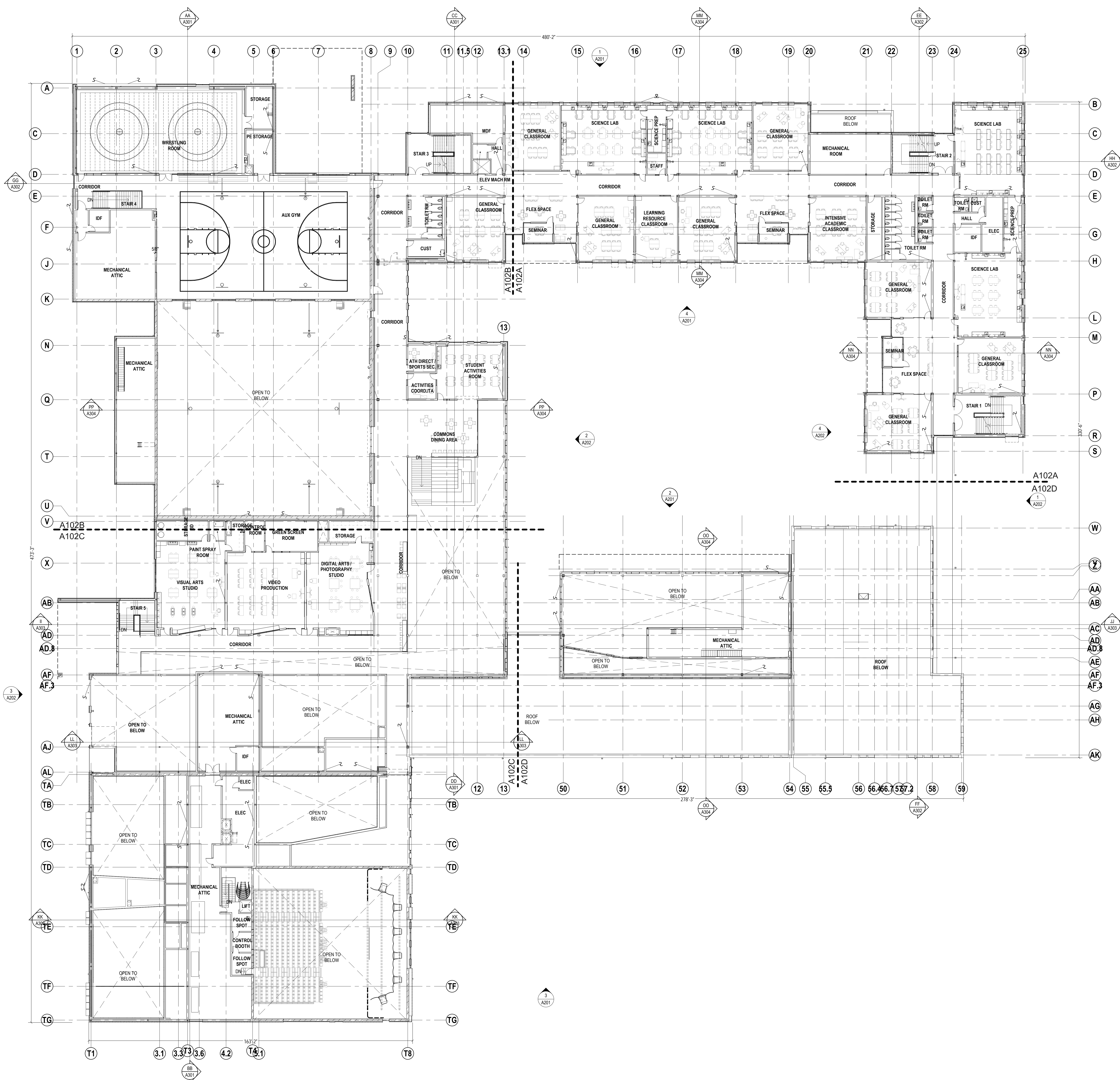
4424 S 188th St
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Revisions		
#	Date	Description

ARCHITECTURAL
SITE PLAN

G010





GENERAL PLAN NOTES

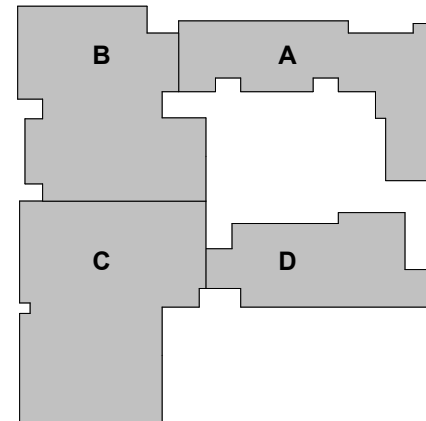
- 1. SEE SHEET A010 FOR TYPICAL PARTITION HEAD DETAILS
- 2. REFER TO LIFE SAFETY (AL) AND SPECIAL WALL (AW) PLAN SHEETS FOR ADDITIONAL WALL AND PARTITION REQUIREMENTS AND PROVIDE RATINGS AS INDICATED.
- 3. FOR FURNITURE, FIXTURES AND EQUIPMENT SEE FF SERIES DRAWINGS.
- 4. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF HOUSEKEEPING PADS, TYP. (ALL PADS NOT SHOWN).
- 5. REFER TO REFERENCED ENLARGED PLANS FOR ADDITIONAL FLOOR PLAN INFORMATION, I.E. PARTITION TYPES, ROOM NUMBERS, AND DOOR TAGS.
- 6. SEE STRUCTURAL FOR ALL RECESSED SLAB LOCATIONS TO RECEIVE FLOOR MATERIALS AS SCHEDULED ON FLOOR PATTERN AND FINISH SCHEDULE SHEETS.

integrus
ARCHITECTURE

111 SOUTH MAIN STREET, SUITE 100, BELLINGHAM, WA 98204
TEL: 360.738.4444 FAX: 360.738.4445

HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

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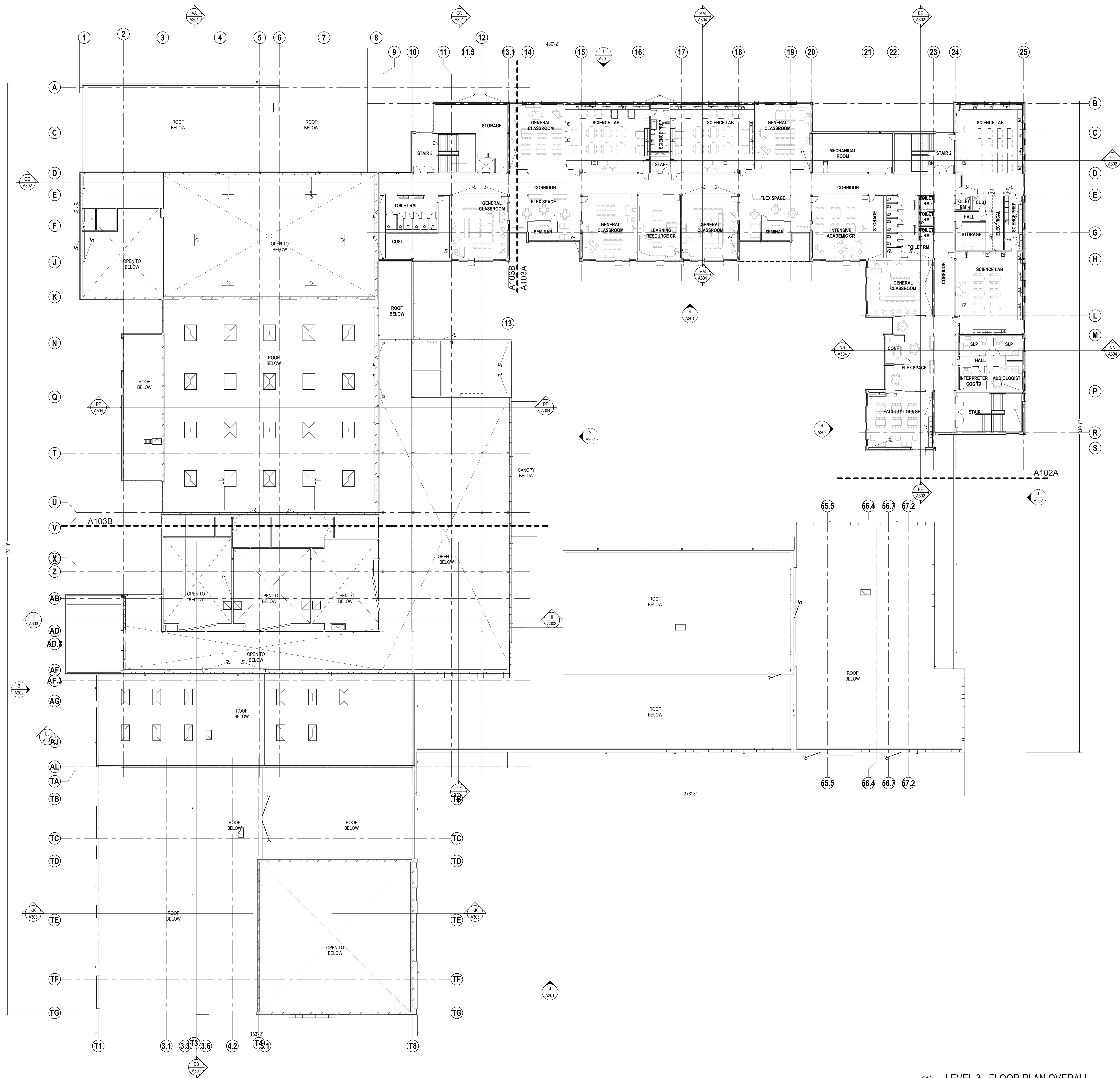
Date:	07/29/2022
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#	Date Description

LEVEL 2 FLOOR
PLAN OVERALL

A102

LEVEL 2 - FLOOR PLAN OVERALL
SCALE: 1/16" = 1'-0"

CONDITIONAL USE PERMIT



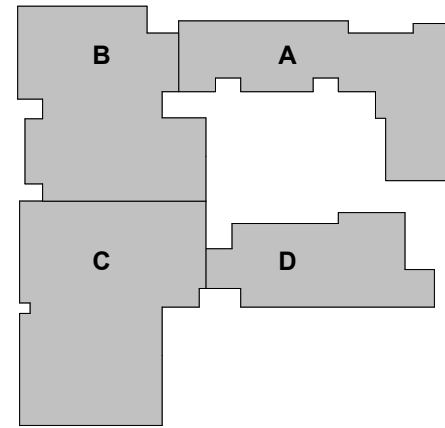
GENERAL PLAN NOTES

- SEE SHEET A010 FOR TYPICAL PARTITION HEAD DETAILS
- REFER TO LIFE SAFETY (AL) AND SPECIAL WALL (AW) PLAN SHEETS FOR ADDITIONAL WALL AND PARTITION REQUIREMENTS AND PROVIDE RATINGS AS INDICATED.
- FOR FURNITURE, FIXTURES AND EQUIPMENT SEE FF SERIES DRAWINGS.
- REFER TO MECHANICAL DRAWINGS FOR EXTENT OF HOUSEKEEPING PADS, TYP. (ALL PADS NOT SHOWN).
- REFER TO REFERENCED ENLARGED PLANS FOR ADDITIONAL FLOOR PLAN INFORMATION, I.E. PARTITION TYPES, ROOM NUMBERS, AND DOOR TAGS.
- SEE STRUCTURAL FOR ALL RECESSED SLAB LOCATIONS TO RECEIVE FLOOR MATERIALS AS SCHEDULED ON FLOOR PATTERN AND FINISH SCHEDULE SHEETS.

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HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

4424 S 188th St
SeaTac, WA 98188

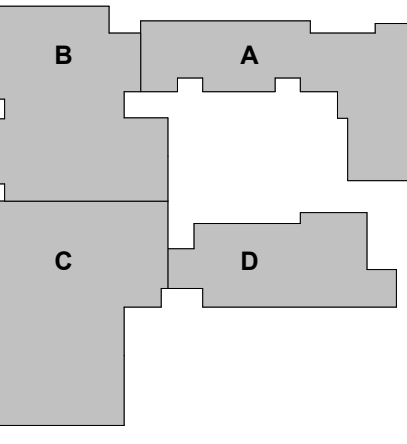


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#	Date Description

LEVEL 3 FLOOR
PLAN OVERALL

A103

LEVEL 3 - FLOOR PLAN OVERALL
SCALE: 1/16" = 1'-0"



Date: 07/29/2022
Job No.: 21930
Drawn By: TL
Checked by: DG

Revisions
Date Description

ROOF PLAN
OVERALL

A121

ROOF NOTES

- ALL ROOFING IS TYPE R-1 UNLESS NOTED OTHERWISE.
- CRICKETS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE LAYOUT PLAN FOR ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
- ROOF PENETRATIONS OF ANY KIND SHALL NOT BE LOCATED IN CRICKET VALLEYS.
- IN ADDITION TO PENETRATIONS SHOWN ON ROOF PLAN, REFER TO MECHANICAL, ELECTRICAL AND FOOD SERVICE DRAWINGS FOR ADDITIONAL LOCATIONS, TYPES, SIZES AND QUANTITIES. PROVIDE APPROPRIATE FLASHINGS REQUIRED.
- PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS RELEASING WATER ON LOWER ROOFS. TYP. PROVIDE SACRIFICIAL ROOF MEMBRANE UNDER EACH SPLASH BLOCK.
- FOR CONNECTION OF DOWNSPOUTS TO STORM DRAINAGE SYSTEM, SEE CIVIL DRAWINGS.
- SEE EXTERIOR ELEVATIONS FOR ADDITIONAL ROOFING DETAILS AND ROOF PARAPET HEIGHTS.
- MAINTAIN 1/4" PER FOOT MINIMUM SLOPE FOR ALL CRICKET VALLEYS.
- SKYLIGHT THERMAL ASSEMBLY REQUIREMENTS: MAX U-FACTOR 0.50, MAX SHGC 0.35.
- FOR PIPE PENETRATIONS, REFERENCE DETAIL.
- FOR MECHANICAL CURBS, REFERENCE MECHANICAL EQUIPMENT SCHEDULE NOTES AND DETAILS.
- FOR SAUSAGE FLASHING, REFERENCE DETAIL.
- FOR MECHANICAL UNIT CONCRETE PADS SEE STRUCTURAL TYP.

ROOF PLAN LEGEND

- R1
- R2
- GUTTER, SEE DETAILS FOR TYPE
- PIPE PENETRATIONS THROUGH ROOF
- EQUIP CURB w/ UPSLOPE CRICKET, MIN CRICKET SLOPE: 1/2" / 1'-0", MIN VALLEY SLOPE 1/4" / 1'-0"
- SKYLIGHT w/ UPSLOPE CRICKET, MIN CRICKET SLOPE: 1/2" / 1'-0", MIN VALLEY SLOPE 1/4" / 1'-0", SEE RCP FOR LOCATIONS
- CRICKET, MIN CRICKET SLOPE: 1/2" / 1'-0", MIN CRICKET VALLEY SLOPE 1/4" / 1'-0"
- ROOF LADDER
- WALKWAY PADS
- ROOF SCUPPER, CONDUCTOR HEAD, & DS
- ROOF DRAIN AND OVER FLOW
- SPLASH BLOCK, TYP
- FALL PROTECTION ANCHOR POINT

ROOF DRAIN CALCULATIONS PER SMACNA

PITCH MULTIPLIER PER ARCHITECTURAL SHEET METAL MANUAL TABLE 1.1		RAINFALL DATA AND DRAINAGE FACTORS PER ARCHITECTURAL SHEET METAL MANUAL TABLE 1.2 WASHINGTON: SEATTLE		DIMENSIONS OF STANDARD DOWNSPOUTS PER ARCHITECTURAL SHEET METAL MANUAL TABLE 1.3	
PITCH	PITCH MULTIPLIER	STORM WHICH SHOULD BE EXCEEDED ONLY ONCE IN 100 YEARS	INTENSITY LASTING 5 MINUTES	CALCULATED ROOF AREA DRAINED PER DOWNSPOUT AREA	TYPE
1/2" / 1'-0"	1.00	3.3 in./hr.	360 sq./in.	360 sq./in.	PLAIN
3/8" / 1'-0"					ROUND

CANOPY GUTTER SIZING PER ARCHITECTURAL SHEET METAL MANUAL CHART 1-1

AREA	DRAINED AREA (sq ft)	INTENSITY	INTENSITY x AREA	GUTTER LENGTH	D/W RATIO	REQUIRED WIDTH OF GUTTER	PROPOSED GUTTER SIZE
A1	20,483	3.3 in./hr.	67,594	24'	0.8	3"	4" D x 5' W
A2	10,150	3.3 in./hr.	33,495	56'	0.8	4"	4" D x 5' W
B1	10,504	3.3 in./hr.	34,729	86'	0.8	5.5"	5.5" D x 6.5' W
B2	856	3.3 in./hr.	2,825	86'	0.8	5.5"	5.5" D x 6.5' W
B3	9,183	3.3 in./hr.	30,304	149'	0.8	5.5"	5" D x 6' W
B4	7,286	3.3 in./hr.	24,044	73'	0.8	5.5"	5.5" D x 6.5' W
B5	5,791	3.3 in./hr.	19,110	108'	0.8	6"	4" D x 5' W
B6	2,558	3.3 in./hr.	8,441	40'	0.8	5.5"	4.5" D x 5.5' W
C1	9,907	3.3 in./hr.	32,693	143'	0.8	6.5"	5.5" D x 6.5' W
C2	14,809	3.3 in./hr.	49,200	168'	0.8	6.5"	5.5" D x 6.5' W
C3	857	3.3 in./hr.	2,825	86'	0.8	6"	5" D x 6' W
C4	9,998	3.3 in./hr.	32,993	86'	0.8	6"	5" D x 6' W
C5	7,287	3.3 in./hr.	24,047	86'	0.8	5.5"	5" D x 6' W
C6	9,854	3.3 in./hr.	32,518	123'	0.8	5.5"	5" D x 6' W
C7	2,905	3.3 in./hr.	9,586	88'	0.8	4.5"	4" D x 4.5' W
C8	3,483	3.3 in./hr.	11,493	45'	0.8	6.5"	5.5" D x 6.5' W
C9	5,864	3.3 in./hr.	19,351	76'	0.8	6.0"	5" D x 6' W
D1	517	3.3 in./hr.	1,706	86'	0.8	5.5"	5" D x 6' W
D2	6,910	3.3 in./hr.	22,803	115'	0.8	5.5"	5" D x 6' W
D3	4,483	3.3 in./hr.	14,793	70'	0.8	6.5"	4.5" D x 5.5' W
D4	13,167	3.3 in./hr.	43,451	190'	0.8	6.5"	5.5" D x 6.5' W
D5	4,032	3.3 in./hr.	13,306	86'	0.8	5.5"	4.5" D x 5.5' W

OVERALL ROOF PLAN

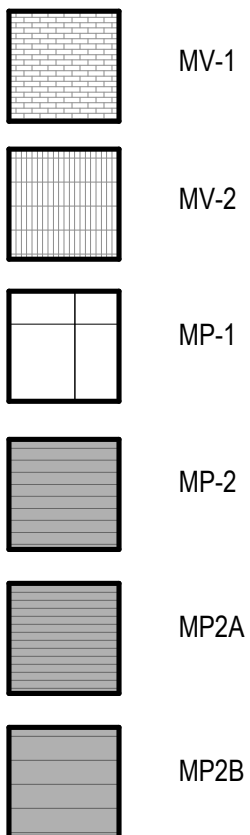
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CONDITIONAL USE PERMIT

GENERAL ELEVATION NOTES

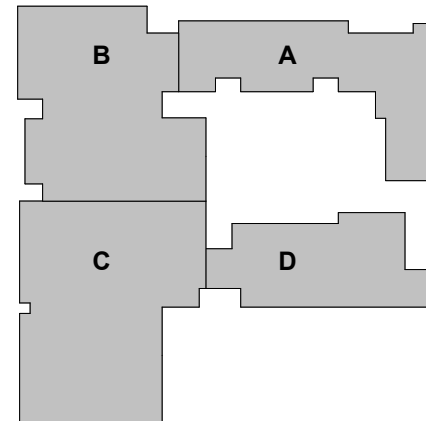
1. REFER TO WINDOW AND LOUVER TYPES FOR WINDOW & LOUVER SIZES AND DIMENSIONS RELATIVE TO FLOOR LEVELS.
2. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR FOUNDATION AND SUBGRADE INSULATION.
3. SEE CIVIL AND LANDSCAPE FOR EXTERIOR GRADE CONDITIONS.
4. MEP SHOWN FOR REFERENCE ONLY.

EXTERIOR ELEVATION
MATERIAL & FINISH LEGEND



HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

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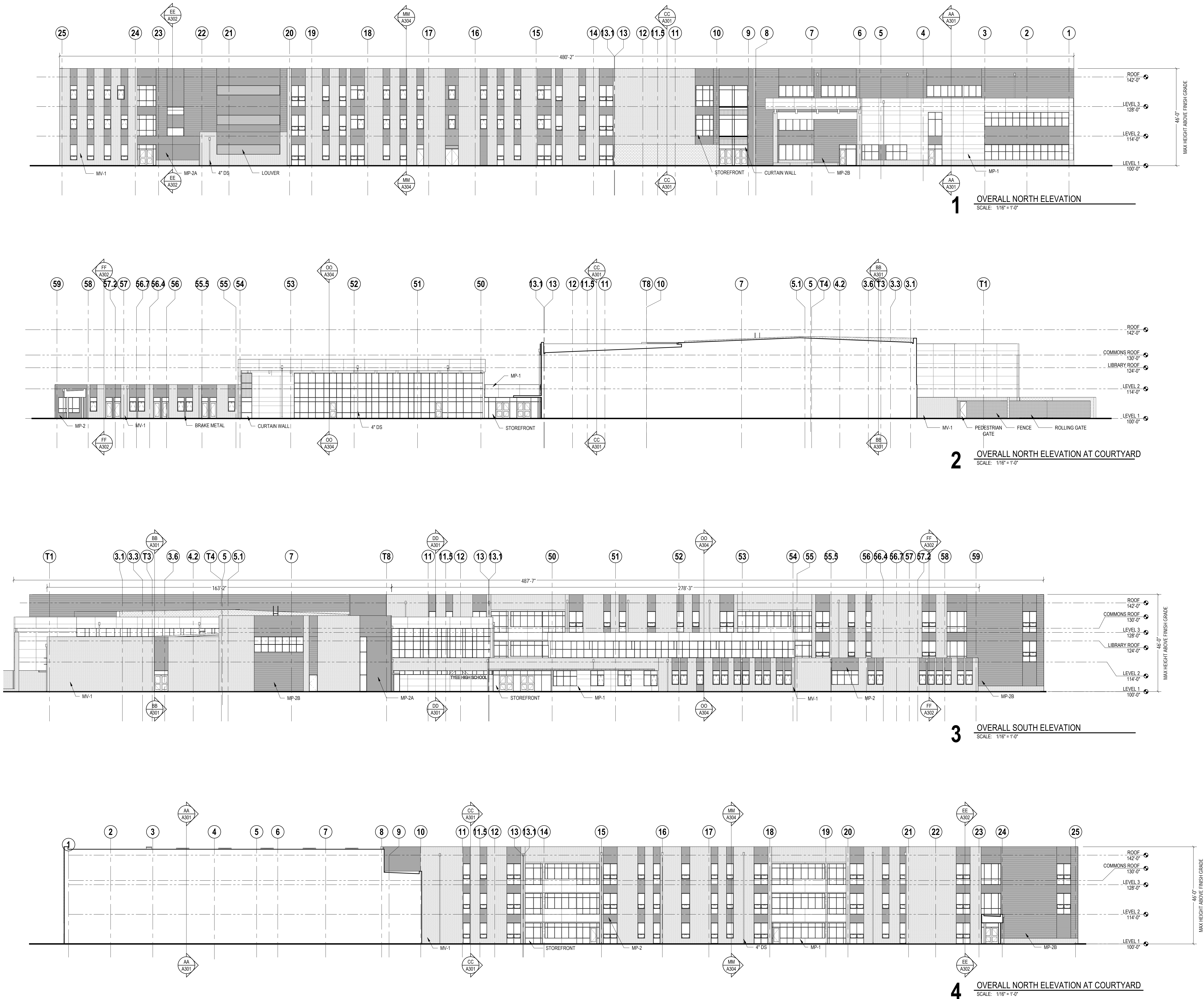


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OVERALL EXTERIOR
ELEVATIONS

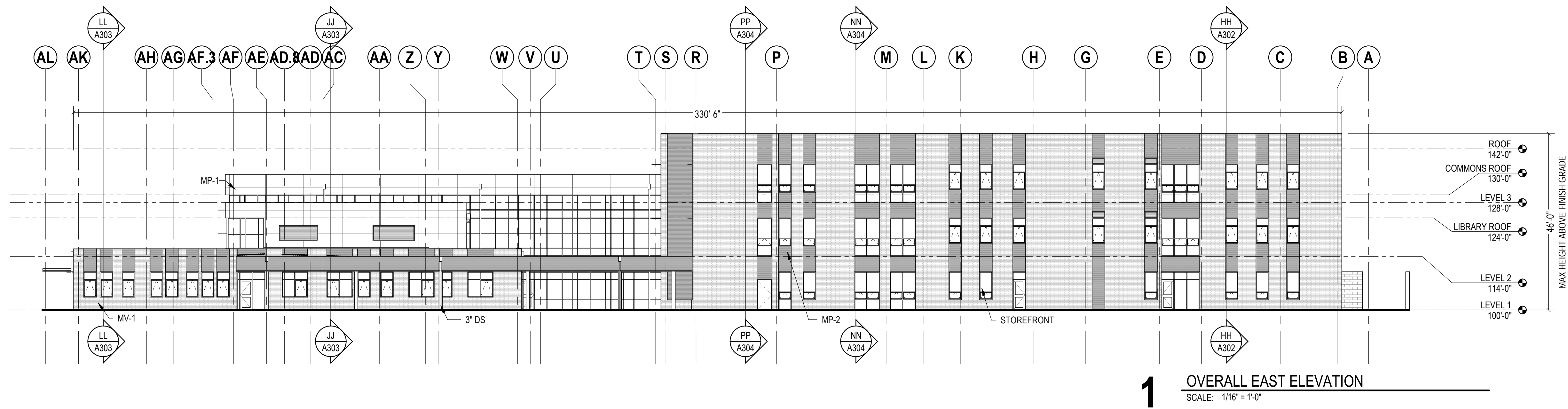
A201

CONDITIONAL USE PERMIT

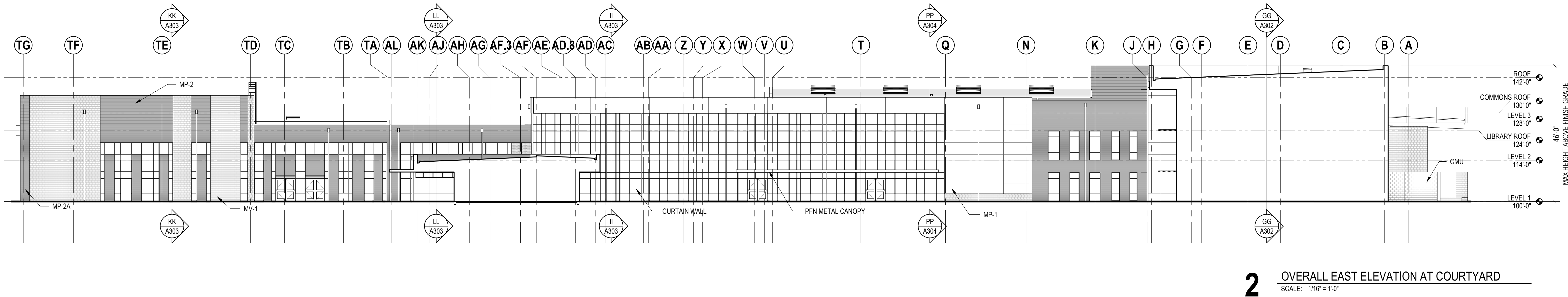


GENERAL ELEVATION NOTES

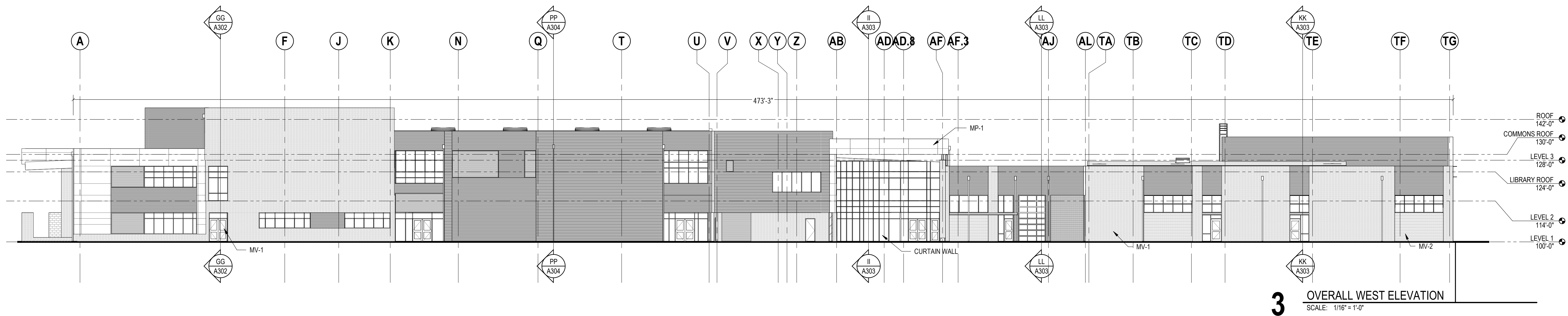
1. REFER TO WINDOW AND LOUVER TYPES FOR WINDOW & LOUVER SIZES AND DIMENSIONS RELATIVE TO FLOOR LEVELS.
2. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR FOUNDATION AND SUBGRADE INSULATION.
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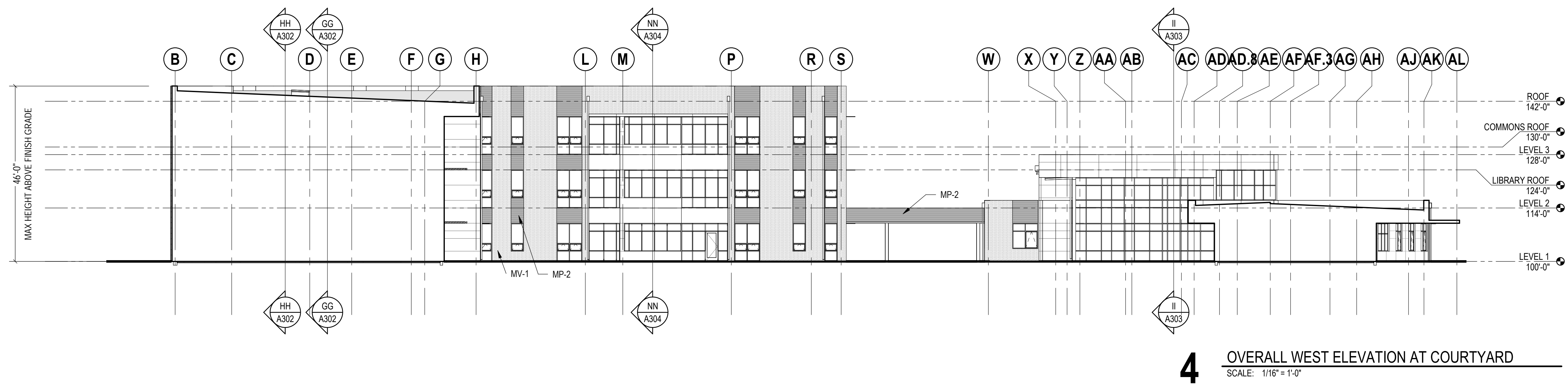
1 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 OVERALL EAST ELEVATION AT COURTYARD
SCALE: 1/16" = 1'-0"

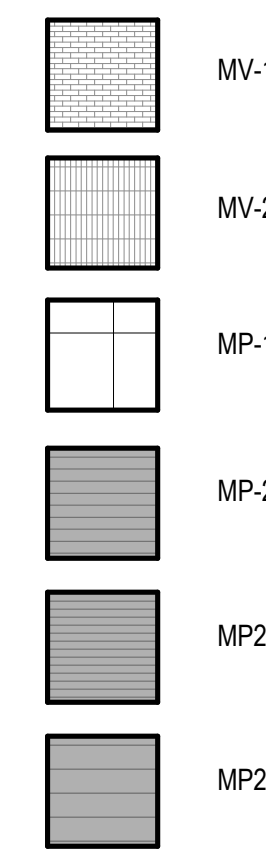


3 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"



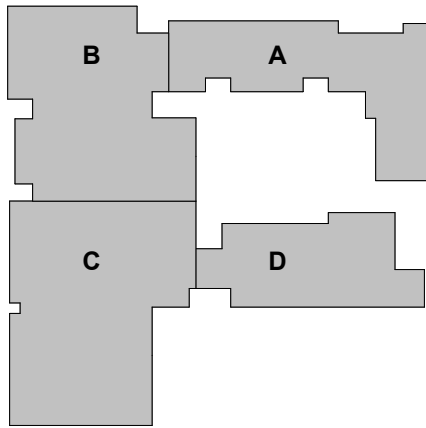
4 OVERALL WEST ELEVATION AT COURTYARD
SCALE: 1/16" = 1'-0"

EXTERIOR ELEVATION
MATERIAL & FINISH LEGEND



HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

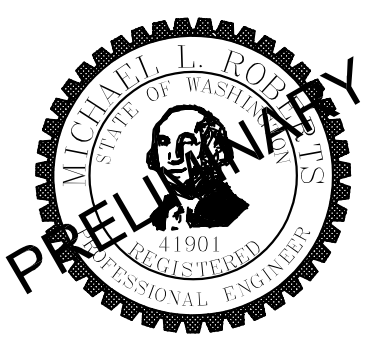
4424 S 188th St
SeaTac, WA 98188



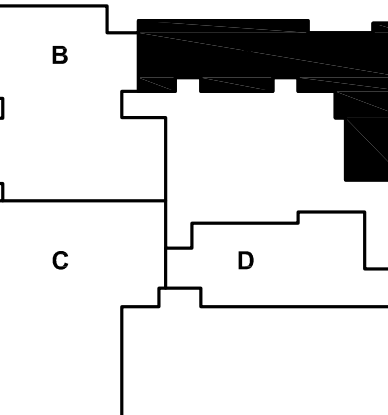
Date:	07/29/2022
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OVERALL EXTERIOR
ELEVATIONS

A202



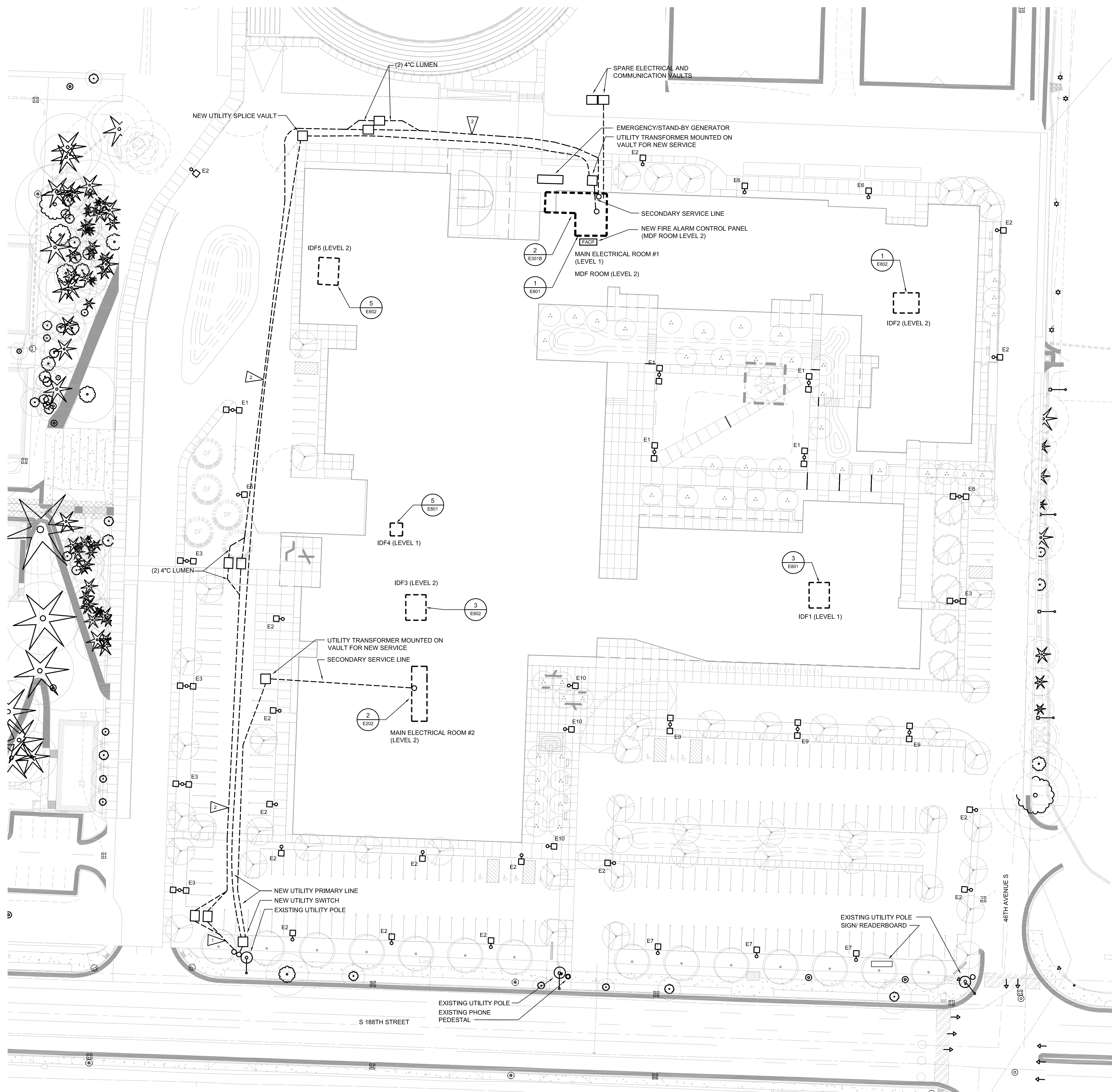
4424 S 188th St
SeaTac, WA 98188



Date:	07/29/2022
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#	Date Description

ELECTRICAL AND TELECOM SITE PLAN

E101

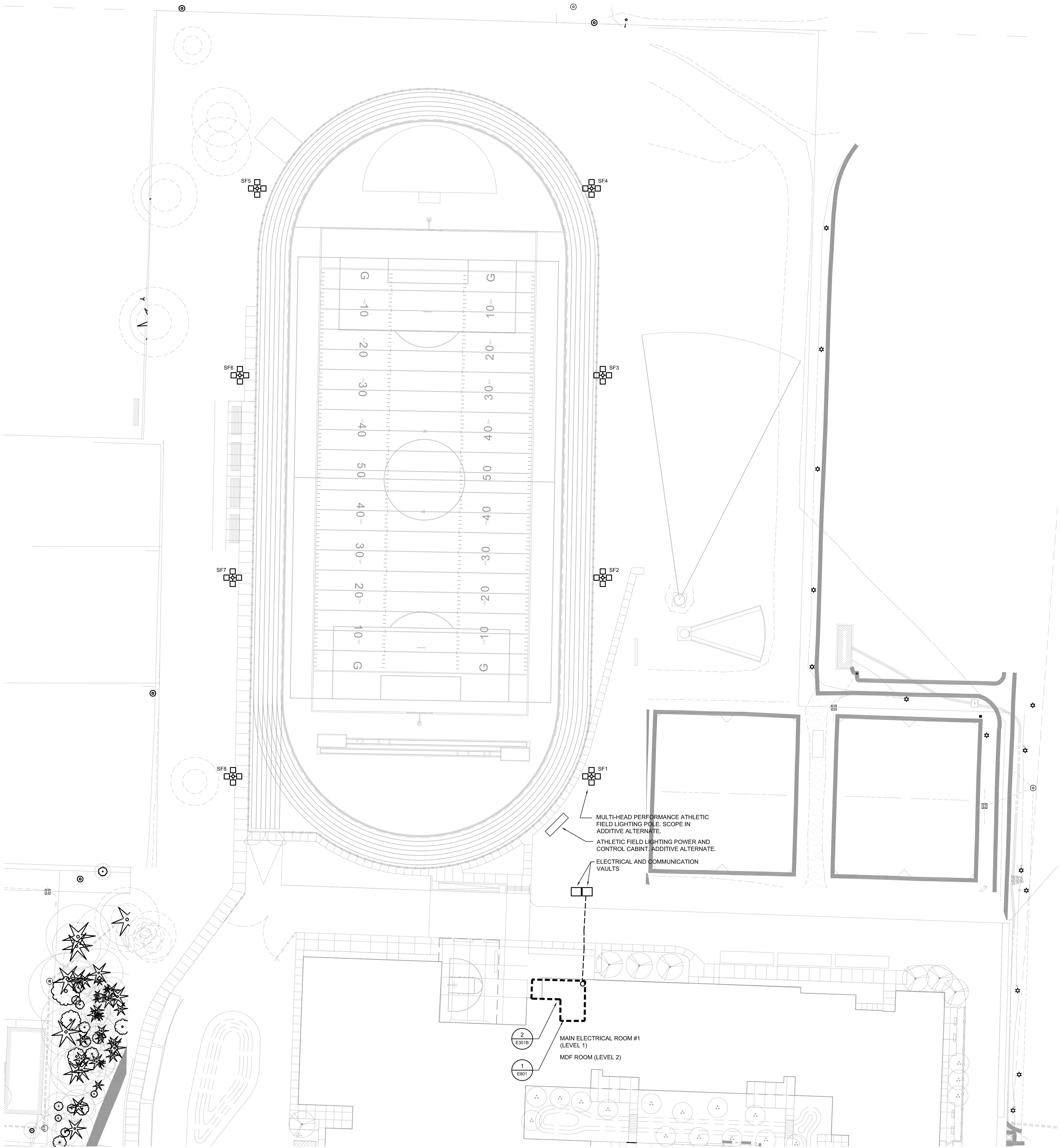


SHEET NOTES:

1. PROVIDE CONCRETE BASE FOR ALL POLE TYPE SITE LIGHTING FIXTURES. PROVIDE FLUSH CUP TYPE POLE BASE FOR ALL POLE FIXTURES DENOTED WITH 'FG'. SEE SHEET EXPX FOR POLE BASE DETAILS AND ADDITIONAL REQUIREMENTS.
2. PROVIDE #1 CONDUIT AND #8 AWG CONDUCTORS FOR SITE LIGHTING AND POWER UNLESS OTHERWISE NOTED.
3. EXPOSED CONDUIT SHALL BE RIGID STEEL TYPE.
4. INSTALL UNDERGROUND CONDUIT PER TRENCHING DETAIL. SEE DETAIL XX, SHEET EXPX.
5. ELECTRIC UTILITY COMPANY IS SEATTLE CITY LIGHT (SCL) FURTHER REFERENCED ON THIS SHEET AS 'UTILITY'. COORDINATE WITH UTILITY CUSTOMER SERVICE REPRESENTATIVE PRIOR TO INSTALLATION. CONTACT DAVE MANNERY AT 206.388.4245. UTILITY SHALL PROVIDE PRIMARY CABLEING. ELECTRICAL CONTRACTOR SHALL TRENCH AND PROVIDE TRANSFORMER PAD AND PRIMARY CABLEING AS INDICATED. PROVIDE INSTALLATION IN ACCORDANCE WITH ALL UTILITY REQUIREMENTS INCLUDING FIBR ENCASEMENT AND CDF BACKFILL PER SCL STANDARDS 7150.00 AND 0224.05. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
6. COORDINATE UNDERGROUND WORK WITH CIVIL AND LANDSCAPE. COORDINATE WITH TREE PROTECTION PLANS PER LANDSCAPE DRAWINGS AND AVOID CRITICAL ROOT ZONES OF EXISTING TREES.
7. ROUTE SITE LIGHTING CIRCUITS TO PANELS INDICATED VIA LIGHTING CONTROL PANELS.
8. REFER TO VAULT SCHEDULE ON THIS SHEET FOR VAULT SIZE AND ADDITIONAL INFORMATION.
9. SEE MECHANICAL EQUIPMENT SCHEDULE ON SHEET EXX AND ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
10. COORDINATE ALL UNDERGROUND ELECTRICAL WORK WITH CIVIL AND LANDSCAPE. REFER TO TREE PROTECTION SHEETS TPXX - TPXX AND TREE AND PLANT PROTECTION SPECIFICATION SECTIONS 015639 FOR CONSTRUCTION IMPACTS REQUIRED WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES AND UNDERGROUND PATHWAY AND TRENCHING. ROUTE CONDUITS BELOW SIDEWALKS AND NEW CURBS AS REQUIRED TO AVOID TREE PROTECTION AND CRITICAL ROOT ZONES. SEE SHEETS LXX - LXX FOR LOCATIONS/ DISTANCE/ SET BACK REQUIREMENTS OF ELECTRICAL EQUIPMENT FROM EXISTING AND PROPOSED TREES.

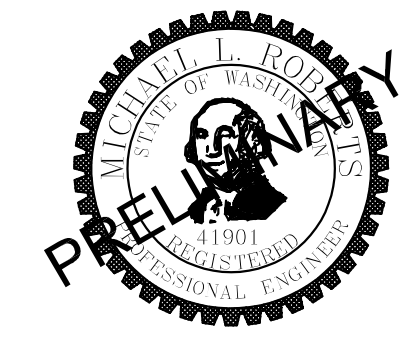
FLAG NOTES:

- PROVIDE (4) 1" SCHEDULE-40 PVC CONDUITS WITH MULE TAPE TO THE MDF AT 48" BELOW GRAB. PROVIDE (10) GALVANIZED RIGID CONDUIT RISER (1) POLE MOUNTED.
- (1) 4" COMCAST CATV SERVICE ENTRANCE
(1) 4" LUMEN SERVICE ENTRANCE
(1) 4" OWNER W/AN FIBER SERVICE ENTRANCE
CONTACT ANDY OCHS WITH COMCAST 855.283.5483 TO COORDINATE CATV SERVICE ENTRANCE CABLING.
CONTACT JASON TESDAL W/ LUMEN 206.345.3486 TO COORDINATE PHONE SERVICE ENTRANCE CABLING.
- PROVIDE (4) 1" SCHEDULE-40 PVC CONDUITS WITH MULE TAPE TO THE MDF AT 48" BELOW GRAB AS FOLLOWS:
- (1) 4" OWNER W/AN FIBER SERVICE ENTRANCE
(1) 4" LUMEN SERVICE ENTRANCE
(1) 4" COMCAST CATV SERVICE ENTRANCE
- PROVIDE (3) 2" AND (2) 1" SCHEDULE-40 PVC CONDUITS WITH MULE TAPE TO THE MDF AS FOLLOWS:
- (1) 2" TELECOMMUNICATIONS
(1) 2" INTERCOM CLOCK
(1) 2" SECURITY
(1) 2" ERRC



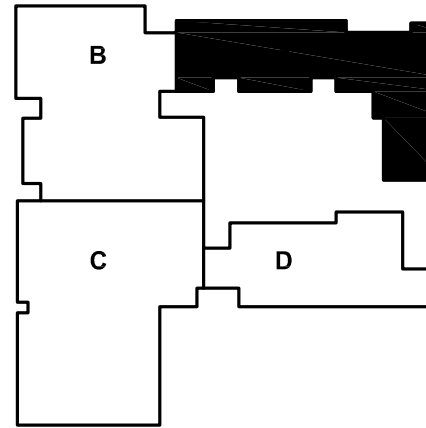
1 ELECTRICAL SPORTS FIELD SITE PLAN

SCALE: 1" = 30'-0"



**HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT**

4424 S 188th St
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ELECTRICAL
SPORTS FIELD
SITE PLAN

E102

GROUND LOOP NOTES

1. COORDINATE PHASING OF SITE WORKS SCOPES WITH GENERAL CONTRACTOR AND SCHEDULE OF SITE WORK ACTIVITIES BY OTHERS IN THIS AND FUTURE PHASES.

2. THE OUTDOOR PIPING GRID SHALL BE INSTALLED PER IGSHPA STANDARDS BY IGSHPA CERTIFIED INSTALLERS AND BE COMPRISED SOLELY OF IGSHPA APPROVED POLYBUTYLENE OR POLYETHYLENE PIPE AND FITTINGS. THE PIPE AND FITTINGS SHALL BE A MINIMUM WRITTEN 25-YEAR LIMITED WARRANTY SPECIFICALLY FOR GROUND SOURCE APPLICATIONS.

3. WATER RETURNING FROM THE HEAT PUMPS WILL FLOW THROUGH THE GROUND SOURCE PIPING GRID AND THEN THE CIRCULATING PUMP(S).

4. THE INDOOR PIPE LOOP SHALL BE SCHD. 40 BLACK STEEL, HARD COPPER, OR INTERNATIONAL GROUND SOURCE HEAT PUMP ASSOCIATION (IGSHPA) APPROVED POLYETHYLENE PIPE.

5. ALL INDOOR WATER PIPING (EXCEPT DRAIN SYSTEM) SHALL BE INSULATED IN CONFORMANCE WITH DIV 23 SPECIFICATION.

6. WATER CONNECTIONS TO EACH HEAT PUMP SHALL BE MADE USING A REINFORCED HOSE ASSEMBLY FINISHED BY THE EQUIPMENT SUPPLIER, SUITABLE FOR AT LEAST 300 PSIG WORKING PRESSURE. THE HOSE ASSEMBLIES SHALL BE INSTALLED COMPLETE WITH SHUTOFF VALVES. THE CONTRACTOR SHALL INSTALL THE HOSE ASSEMBLIES IN THE PIPE LOOP PRIOR TO INSTALLATION OF THE HEAT PUMPS. THE HOSE ASSEMBLIES ARE TO BE TEMPORARILY COUPLED DIRECTLY FROM THE SUPPLY PIPING TO THE RETURN PIPING AT EACH HEAT PUMP LOCATION IN ORDER TO ALLOW FLUID CIRCULATION THROUGH THE ENTIRE LOOP FOR SYSTEM PURGING AND FLUSHING.

7. THE CONTRACTOR SHALL FLUSH THE ENTIRE WATER LOOP TO INSURE IT IS FREE OF DIRT, WELD SLAG AND OTHER DEBRIS BEFORE INSTALLING ANY HEAT PUMPS IN FUTURE PHASES.

8. ALL PIPING SHALL BE GRADED SO THAT AIR POCKETS WILL NOT OCCUR, AND SO THAT ANY ENTRAINED AIR WILL FOLLOW THE FLOW PATH.

9. AIR TRAP CHAMBERS WITH MANUAL AIR VENTS ARE TO BE INSTALLED AT STRATEGICALLY LOCATED HIGH POINTS WHERE AIR CAN ACCUMULATE AND BE VENTED.

10. AFTER THE SYSTEM IS FILLED AND ALL AIR IS PURGED, IT SHOULD BE PRESSURIZED TO 20-50 PSI FOR NORMAL OPERATION.

11. ADDITIONAL DESIGN CONSIDERATIONS ARE:

A. THE LENGTHS OF ALL LOOPS IN A PIPING GRID SHOULD BE EQUAL WITHIN 5%.

B. MINIMUM DEPTH FOR ALL OUTDOOR PIPING IS (5) FEET.

C. WHEN BACKFILLING TRENCHES OR BOREHOLES, THERE MUST BE NO VOIDS. BACKFILL TRENCHES WITH FINE GRANULAR MATERIAL. BACKFILL BOREHOLES AS SPECIFIED BY LOCAL CODE OR THE IGSHPA GROUTING MATERIAL.

D. IF NECESSARY, PENETRATE BELOW GRADE MASONRY WALLS BY USING PVC WELL CASING CUT TO WALL THICKNESS, LENGTH AND COMPRESSION WELL SEALS.

E. BEFORE INSPECTING FOR LEAKS, FILL THE PIPING GRID WITH WATER AND PRESSURIZE TO AT LEAST 100 PSI.

F. THE PIPING GRID SHOULD BE AT LEAST (5) FEET FROM FOUNDATIONS AND PROPERTY LINES.

G. THE PIPING GRID SHOULD BE AT LEAST (10) FEET FROM DRAIN FIELDS OR UTILITY LINES.

H. THE PIPING GRID SHOULD BE AT LEAST (20) FEET FROM NON-PUBLIC WELLS.

I. THE PIPING GRID SHOULD BE AT LEAST (50) FEET FROM PUBLIC WELLS.

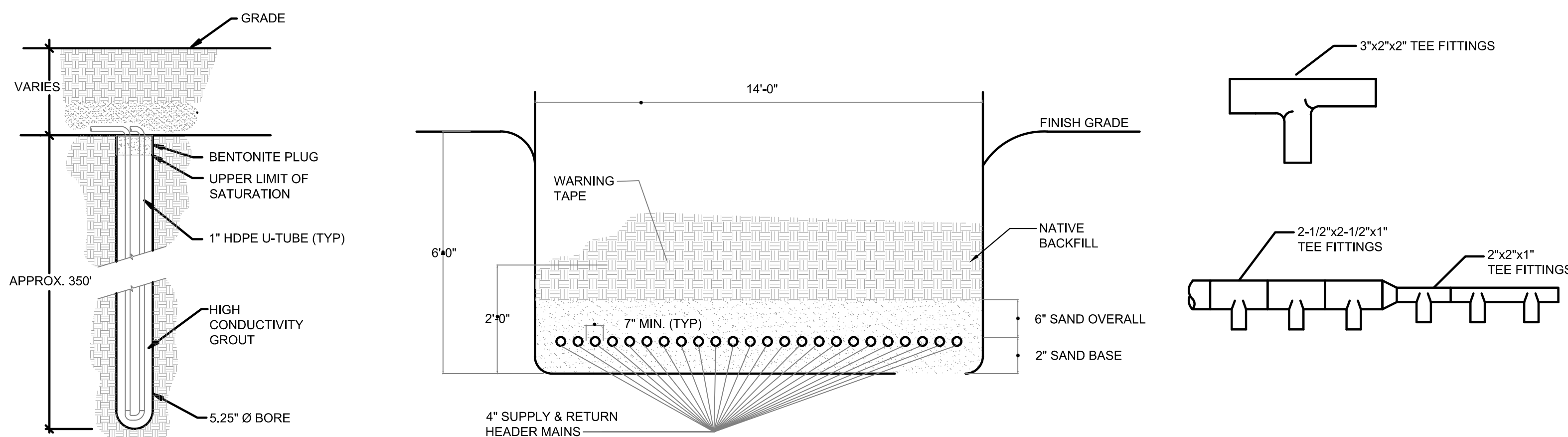
J. THE PIPING GRID SHOULD BE AT LEAST (100) FEET FROM CESSPOOLS.

12. THESE DRAWINGS/SPECIFICATION IS NOT INTENDED TO SUPERSEDE LOCAL, STATE OR NATIONAL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND ADHERE TO APPLICABLE CODES.

13. INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR GROUND LOOP MANIFOLD AND ZONE HEADER LAYOUTS ON SITE. EXERCISE CARE IN DETAILING PIPE LAYOUTS ON PROJECT AS-BUILT DRAWINGS. A DETAILED SITE SURVEY, WITH QUALITY LEVEL A SUBSURFACE UTILITY LOCATE, SHALL BE REQUIRED AS PART OF INSTALLING GROUND LOOP CONTRACTOR SCOPE.

14. COORDINATE PROPERTY LINE NOISE REQUIREMENTS WITH GC. PROVIDE TEMPORARY WALL SCREENING FOR NOISE MITIGATION WHILE DRILLING IF REQUIRED.

NOTE: DETAILS AS SHOWN BELOW FOR CONTRACTOR REFERENCE ONLY.



GROUND LOOP BORE
350' DEEP, 20\"/>

GREASE
INTERCEPTOR

4\"/>

FIRE SERVICE, SEE
CIVIL FOR CONT.

FIRE TO PIV, SEE
CIVIL FOR CONT.

FIRE TO PDC, SEE
CIVIL FOR CONT.

DOMESTIC WATER,
SEE CIVIL FOR CONT.

4\"/>

6\"/>

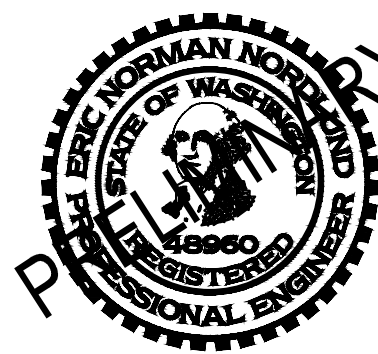
4\"/>

4\"/>



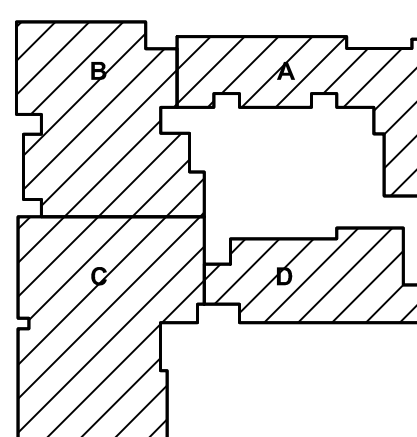
MECHANICAL SITE PLAN

SCALE: 1/4\"/>



HIGHLINE SCHOOL DISTRICT
TYEE HIGH SCHOOL REPLACEMENT

4424 S 118th St
SeaTac, WA 98188



Date:	7/22/2022
Job No.:	21930
Drawn By:	AS
Checked by:	EN
Revisions	
#	Date Description

MECHANICAL
SITE PLAN

M100