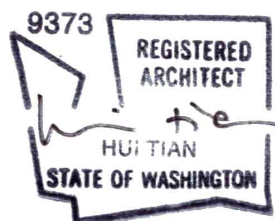


SEATAC HOTEL & APARTMENTS

17300 INTERNATIONAL BLVD, SEATAC, WA 98188

CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

SHEET ISSUE

	DATE	DESCRIPTION
1	01/28/2021	SITE PLAN REVIEW
1	11/19/2021	1ST COMMENT LETTER RESPONSES
2	05/04/2022	2ND COMMENT LETTER RESPONSES

MUNICIPALITY REVIEW

PROJECT #

SHEET TITLE

COVER SHEET

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER

G0.00

PROJECT DIRECTORY

OWNER:
98188 PLACE LLC
150 NICKERSON STREET, SUITE 108
SEATTLE, WA 98109

ARCHITECT:
STUDIO19 ARCHITECTS
207 1/2 FIRST AVENUE S., SUITE 300
SEATTLE, WA 98104
CONTACT: HUI TIAN (206) 466-1225

SURVEY:
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE S
KENT, WA 98032
CONTACT: HAL GRUBB 425-251-6222

CIVIL ENGINEER:
AHBL
1200 6TH AVENUE, SUITE #1620
SEATTLE, WA 98101
CONTACT: DAN OSIER 253-383-2422

LANDSCAPE ARCHITECT:
AHBL
1200 6TH AVENUE, SUITE #1620
SEATTLE, WA 98101
CONTACT: CAROLINE TEMPLETON 253-383-2422

PROJECT DESCRIPTION

MASS EXCAVATION ACTIVITIES; INSTALL TEMPORARY & PERMANENT SHORING AND GRADING ACTIVITIES IN ORDER TO CONSTRUCT A SEVEN STORY MULTI-FAMILY DEVELOPMENT AND A SIX STORY HOTEL. THE PROPOSED HOTEL INCLUDES STRUCTURED PARKING AT GRADE, 2 COMMERCIAL TENANT SPACES (RETAIL AND/OR SERVICES) AT STREET LEVEL, PLUS 5 FLOORS OF UNITS (ROOM COUNT: 198). THE PROPOSED SEVEN STORY APARTMENT INCLUDES 2 LEVELS OF STRUCTURED PARKING IN THE NORTH TOWER AND 1 IN THE SOUTH, TOTAL UNIT COUNT OF 182.

PROJECT DATA

ADDRESS: 17300 INTERNATIONAL BLVD,
SEATAC WA 98188

PARCEL NO. 609423-0000

LOT SIZE: 124,146 SF

ZONING: CB-C

OVERLAYS: CITY CENTER DISTRICT

GROSS BUILDING AREA: 125,623 SF - HOTEL
169,237 SF - APARTMENTS

LEGAL DESCRIPTION

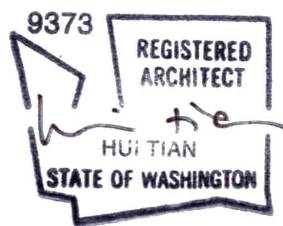
UNITS A AND B, 98188 BASE CONDOMINIUM, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 301 OF PLATS, PAGE 32 AND RECORDED JULY 1, 2019 AS RECORDING NO. 20181224000398, RECORDS OF KING COUNTY, WASHINGTON, TOGETHER WITH THE COMMON ELEMENTS SET FORTH IN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED DECEMBER 24, 2018 AS RECORDING NO. 20181224000399.

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A2.99_A	APARTMENTS - LEVEL 50	
A3.00_A	NORTH AND SOUTH TOWER PLANS	

CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

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MARK DATE DESCRIPTION

MUNICIPALITY REVIEW

PROJECT #

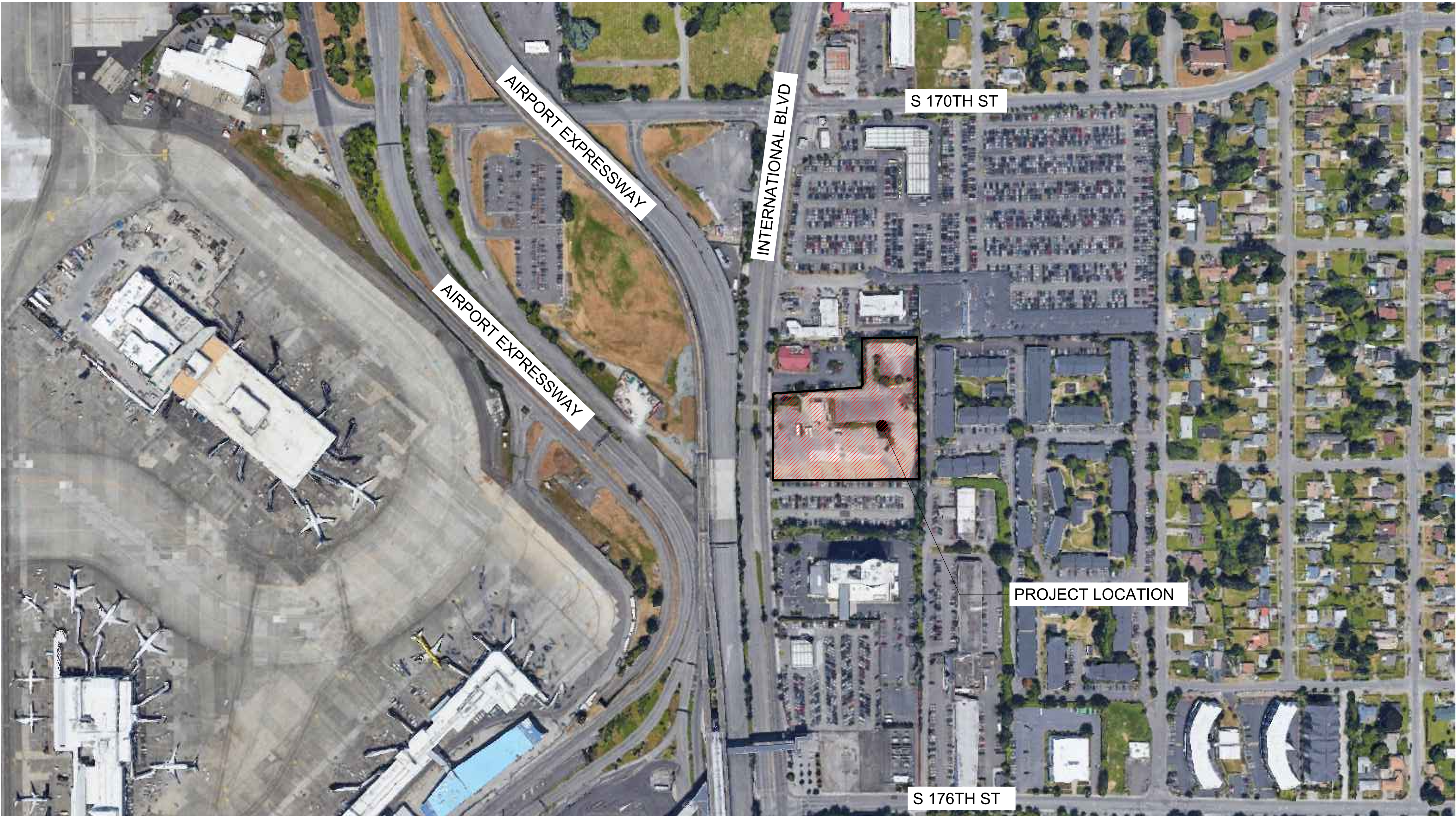
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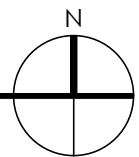
PROJECT NO. 20201113
DATE ISSUED 01/28/2021

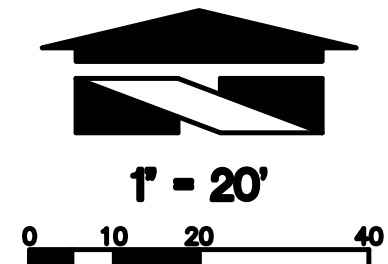
SHEET NUMBER

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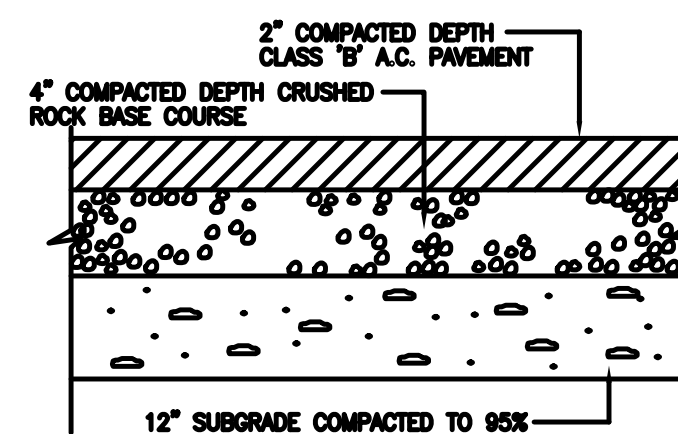
VICINITY MAP
N.T.S.





CITY OF SEATAC DRAINAGE NOTES

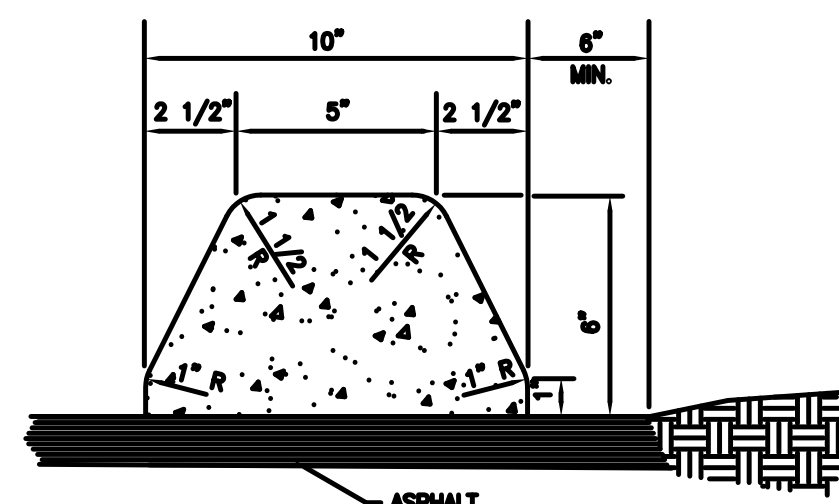
- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY OF SEATAC PRIOR TO THE PRE-CONSTRUCTION MEETING.
- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT 7-02.3(1). THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL, AND ANY REQUIRED PIPE BEDDING TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- STEEL PIPE SHALL BE GALVANIZED AND HAVE ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUTSIDE (KORS 7.03).
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK SHALL HAVE LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS (KORS 7.03).
- ALL CATCH BASIN GRATES SHALL CONFORM TO KORS DRAWING NUMBERS 41, 46, 47, OR 48, WHICH INCLUDES THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS."
- ALL DRIVEWAY CULVERTS LOCATED WITHIN THE CITY RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE (KORS 7.03(j)).
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1 FOOT AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4-INCH - 8-INCH/40 PERCENT - 70 PERCENT PASSING; 2-INCH - 4-INCH ROCK/30 PERCENT - 40 PERCENT PASSING; AND -2-INCH ROCK/10 PERCENT - 20 PERCENT PASSING. INSTALLATION SHALL BE IN ACCORDANCE WITH KORS DRAWING NUMBER 51.
- ALL STORM DRAINAGE CONVEYANCE PIPE SHOWN AS "SD" ON THE PLAN SHALL BE ONE OF THE FOLLOWING DESIGNATED:
 - CONCRETE STORM SEWER PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 76-85 CLASS IV REINFORCED CONCRETE PIPE.
 - SMOOTH WALL SPIRAL RIB METAL PIPE (ALUMINUM, ALUMINIZED STEEL, OR ASPHALT-TREATED STEEL), 16 GAUGE WITH 3/4-INCH 5/8-INCH RIBS ON 12-INCH CENTER.
 - ADS TYPE N-12 (OR EQUIVALENT) HIGH-DENSITY POLYETHYLENE CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH INTERIOR TO THE REQUIREMENTS OF ASTM M-294.
 - MINIMUM PIPE COVER SHALL BE 2.0 FEET (UNLESS OTHERWISE SPECIFIED).
 - PIPE MAY BE ANY OF THE ABOVE PROVIDED:
 - PIPE JOINTS MUST BE OF THE SAME MATERIALS, AND
 - WHERE A PIPE MATERIAL IS SPECIFICALLY SHOWN ON THE PLAN, THAT MATERIAL MUST BE USED.
- PVC PIPE SHALL BE ASTM 3034 SDR 35.



NOTE:
CONTRACTOR SHALL VERIFY PAVING SECTION WITH
GEOTECH PRIOR TO CONSTRUCTION.

TYPICAL ONSITE PAVING SECTION

NOT TO SCALE



EXTRUDED CONCRETE CURB DETAIL

NOT TO SCALE

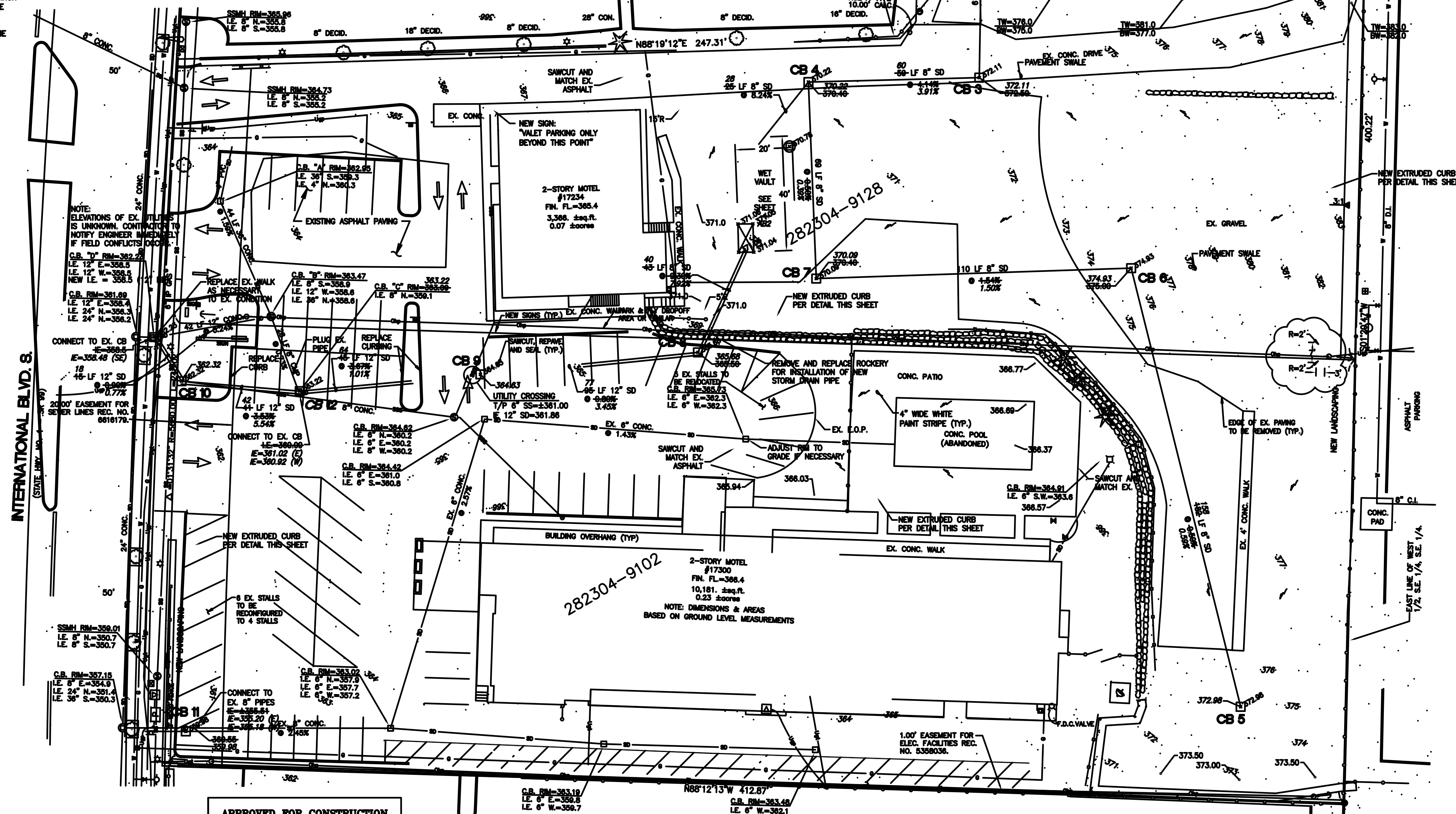
SUPPLEMENTAL DRAWING NO. 1 ASBUILT PAVING AND DRAINAGE PLAN FOR

JET MOTEL - VALET LOT

A PORTION OF THE SE 1/4 OF THE SE 1/4, SECTION 28, TOWNSHIP 23 N, RANGE 4 E, W.M.
SEA TAC, WASHINGTON

CATCH BASIN TABLE

CB#1, TYPE I RM=381.02 E=376.60	CB#7, TYPE I RM=370.09 E=367.29
CB#2, TYPE I RM=375.99 E=373.24	CB#8, TYPE I W/ SOLID LID RM=385.50 E=382.80
CB#3, TYPE I RM=372.11 E=368.36	CB#9, TYPE I W/ SOLID LID RM=384.53 E=381.74
CB#4, TYPE I RM=370.22 E=367.02	CB#10, TYPE I W/ SOLID LID RM=382.32 E=388.64
CB#5, TYPE I RM=372.98 E=368.98	CB#11, TYPE I RM=389.98 E=386.54
CB#6, TYPE I RM=374.93 E=369.04	CB#12, TYPE I RM=383.22 E=380.02

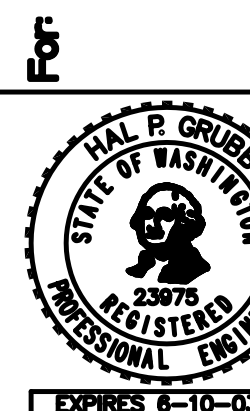


APPROVED FOR CONSTRUCTION SEATAC PUBLIC WORKS DEPT.

BY: _____ DATE: _____
APPROVAL OF THIS PROJECT DESIGN DOES NOT
APPROVE THE PART OF CONSTRUCTION. BEFORE
CONSTRUCTION MAY BEGIN ALL APPROPRIATE
PERMITS SHALL BE OBTAINED. ALL NOTES SHALL
BE POSTED, AND ALL FEES SHALL BE PAID.

Supplemental Drawing No. 1
ASBUILT PAVING AND DRAINAGE PLAN
FOR
JET MOTEL VALET PARKING

GORDON TANG
17300 INTERNATIONAL BLVD. S.
SEA TAC, WA 98188



Scale:
Horizontal 1"=20'
Vertical N/A

Designed: JMT
Drawn: JMT
Checked: JMT
Approved: JMT
Date: 1/20/05

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-6782 FAX
CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES



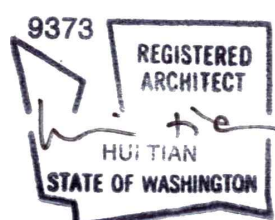
Job Number
10791
Sheet
AB2 of 3

GENERAL NOTES:

- ALL EXISTING STRUCTURES DEPICTED HAVE BEEN DEMOLISHED, INCLUDING BUT NOT LIMITED TO FENCES, TEMPORARY STRUCTURES, RETAINING WALLS, AND ACCESSORY BUILDINGS.
- REFER TO CIVIL PLANS FOR LOCATION OF EXISTING EASEMENTS.
- NO TREES EXISTING ON CURRENT SITE.

CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL
& APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

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MUNICIPALITY REVIEW

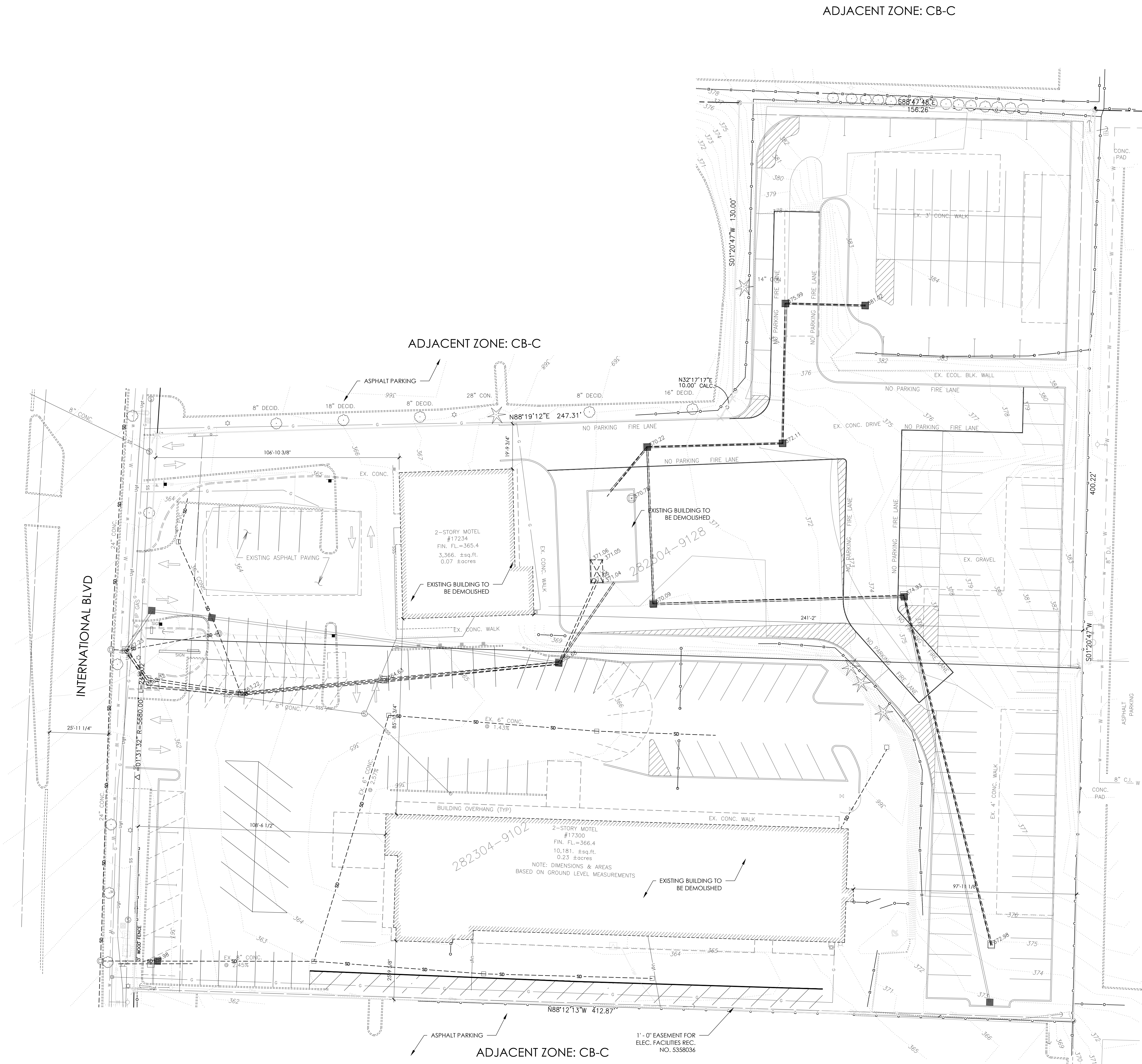
PROJECT #

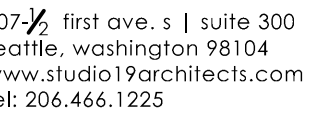
SHEET TITLE

EXISTING SITE PLAN

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER E1.01





Civil Engineers
Structural Engineers
Landscape Architects
Community Planners
Land Surveyors
Neighbors

Civil Engineers
Structural Engineers
Landscape Architects
Community Planners
Land Surveyors
Neighbors

253.383.2422 TEL
206.267.2425 TEL

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

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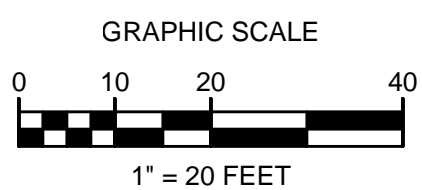
05/04/2022	SITE PLAN REVIEW RESUBMITTAL
11/19/2021	SITE PLAN REVIEW RESUBMITTAL
01/20/2021	SITE PLAN REVIEW

MUNICIPALITY REVIEW

PROJECT # XXXXXXXX

PROJECT NO.	20201113
DATE ISSUED	05/04/2022

SHEET NUMBER C1.00



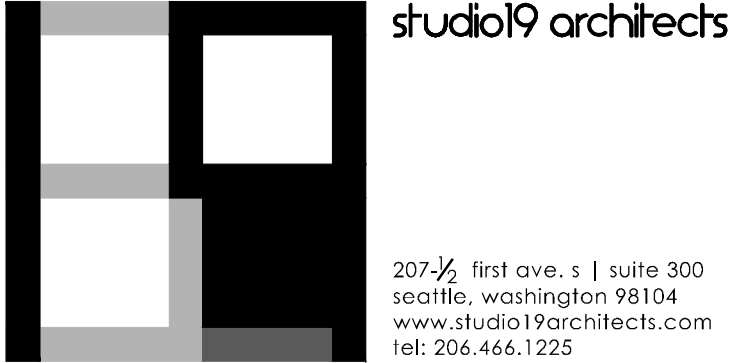
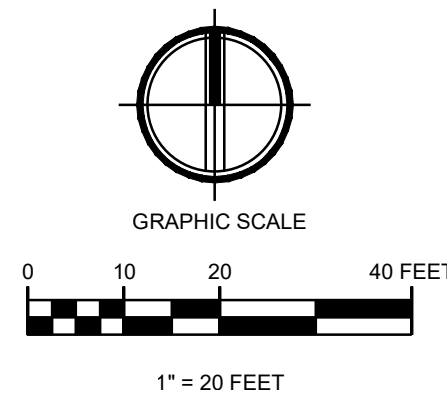
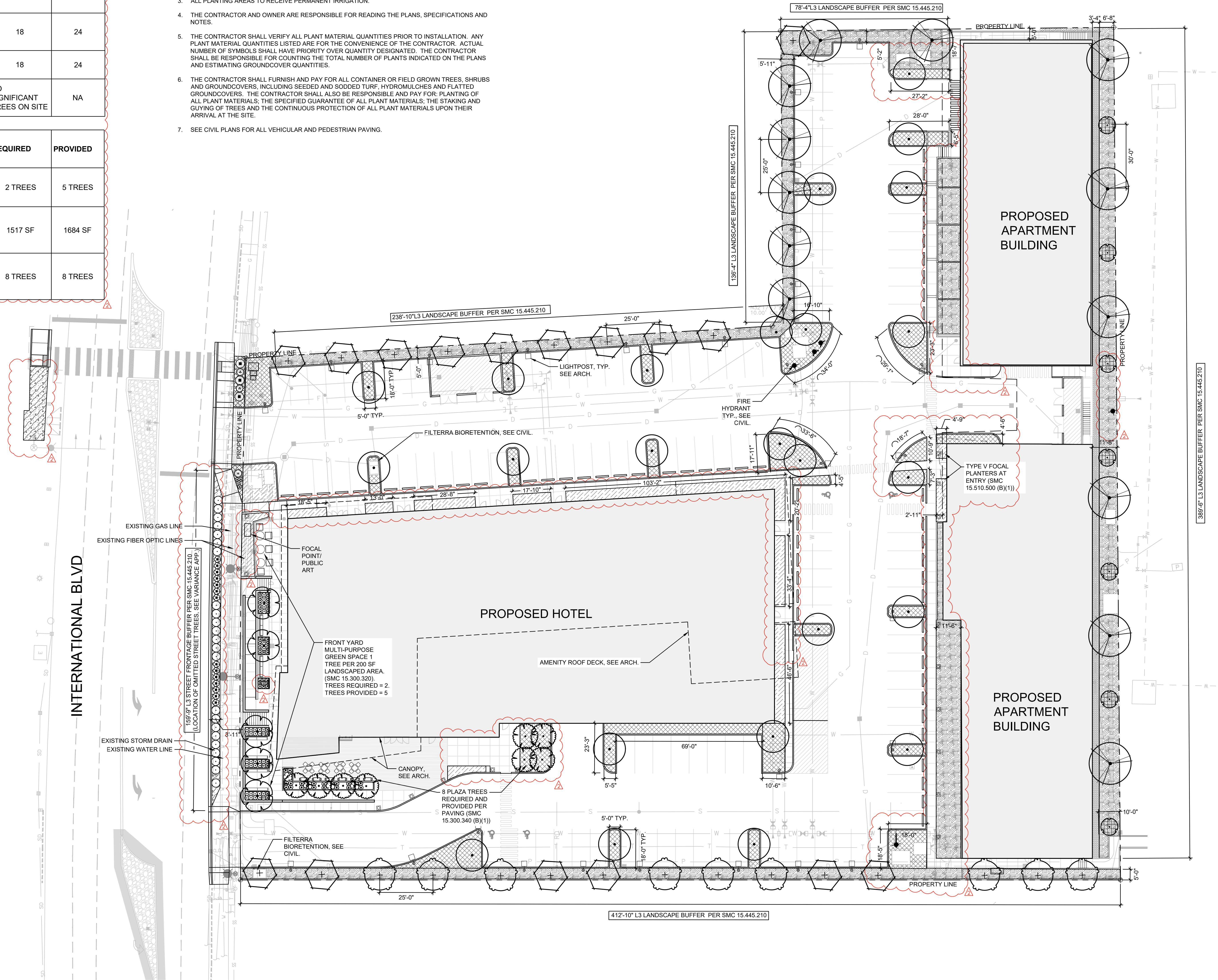
CODE CALCULATIONS

SEATAC MUNICIPAL CODE	CALCULATIONS	REQUIRED	PROVIDED
SMC 15.445.250 (A) AT LEAST 10% INTERIOR PARKING LANDSCAPE AREA	49,511 SF INTERIOR PARKING AREA X .1 = 4951 SF	4,951 SF	5,471 SF
SMC 15.445.250 (B) LANDSCAPE ISLANDS	1 ISLAND PER 7 VEHICLE STALLS. 121 SURFACE PARKING STALLS / 7 = 18	18	24
SMC 15.445.250 (C) TREES PER ISLAND	1 TREE PER ISLAND	18	24
SMC 15.445.450 PROTECTION OF SIGNIFICANT TREES	1 TREE REMOVED= TWO NEW DEC. 2" CAL OR TWO NEW CON. 8" H MIN TREES	NO SIGNIFICANT TREES ON SITE	NA

OPEN SPACE REQUIREMENTS	CALCULATIONS	REQUIRED	PROVIDED
FRONT YARD MULTI-PURPOSE GREEN SPACE (SMC 15.300.320)	1 TREE PER 200 SF LANDSCAPED AREA. 439 SF / 200 = 2	2 TREES	5 TREES
PLAZA DECORATIVE PAVING (SMC 15.300.340 (B)(1))	50% DECORATIVE PAVING. 3033 SF X .5 = 1517	1517 SF	1684 SF
PLAZA TREE PER PAVING (SMC 15.300.340 (B)(1))	1 TREE PER 200 SF OF DECORATIVE PAVING. 1566 SF / 200 = 8	8 TREES	8 TREES

GENERAL LANDSCAPE NOTES

- PLANTING SHALL CONFORM TO ALL CITY OF SEATAC CODE REQUIREMENTS, INCLUDING PRESERVATION OF ADEQUATE INTERSECTION SIGHT DISTANCE LINES/ TRIANGULAR AREAS.
- CONTRACTOR SHALL VERIFY ON-SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- ALL PLANTING AREAS TO RECEIVE PERMANENT IRRIGATION.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR READING THE PLANS, SPECIFICATIONS AND NOTES.
- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. ANY PLANT MATERIAL QUANTITIES LISTED ARE FOR THE CONVENIENCE OF THE CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTING THE TOTAL NUMBER OF PLANTS INDICATED ON THE PLANS AND ESTIMATING GROUND COVER QUANTITIES.
- THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER OR FIELD GROWN TREES, SHRUBS AND GROUNDCOVERS, INCLUDING SEEDED AND SODDED TURF, HYDROMULCHES AND FLATTED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FOR: PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
- SEE CIVIL PLANS FOR ALL VEHICULAR AND PEDESTRIAN PAVING.



CONSULTANT



PROFESSIONAL SEAL



PROJECT

CLIENT NAME

SEATAC HOTEL & APARTMENTS

17300 INTERNATIONAL BLVD
SEATAC, WA 98188

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PROJECT # XXXXXXXX

SHEET TITLE

LANDSCAPE SITE PLAN

PROJECT NO.

2100051

DATE ISSUED

01/28/2021

SHEET NUMBER

L1.00



Know what's below.
Call before you dig.

GROUND FLOOR PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	APARTMENTS	HOTEL	RIGHT OF WAY	
	AC	ACER CIRCINATUM	VINE MAPLE	2" CAL	8		8		
	AB	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" CAL	13	13			
	AP	AMELANCHIER X GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA APPLE SERVICEBERRY	2" CAL	24	8	16		
	NB	NYSSA SYLVATICA 'BLACK TUPELO'	SOUR GUM	2" CAL	9	3	6		
	PB	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	2" CAL	16	2	14		
	SO	STYRAX OBASSIA	FRAGRANT SNOWBELL	2" CAL	5		5		
	TH	THUJA PLICATA 'HOGAN'	HOGAN WESTERN RED CEDAR	8' HT. MIN.	7	7			
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY	APARTMENTS	HOTEL	RIGHT OF WAY	
	AH	ANEMONE X HYBRIDA 'HONORINE JOBERT'	HONORINE JOBERT JAPANESE ANEMONE	1 GAL	13		13		
	BP	BERBERIS THUNBERGII 'PYGRUZAM'	PYGYM RUBY JAPANESE BARBERRY	2 GAL	14			14	
	ER	EPIMEDIUM X RUBRUM	RED BARRENWORT	2 GAL	24		24		
	HO2	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	18		18		
	HO3	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	2 GAL	4		4		
	MC	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL	2			2	
	ML	MISCANTHUS SINENSIS 'LITTLE KITTEN'	LITTLE KITTEN EULALIA GRASS	2 GAL	38		34	4	
	NG	NANDINA DOMESTICA 'GULF STREAM' TM	GULF STREAM HEAVENLY BAMBOO	2 GAL	23			23	
	VO	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	1			1	
	VD	VIBURNUM DAVIDII	DAVID VIBURNUM	5 GAL	3			3	
SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY	APARTMENTS	HOTEL	RIGHT OF WAY
	AH	FOCAL PLANTINGS- TYPE 5 ANEMONE X HYBRIDA 'HONORINE JOBERT'	HONORINE JOBERT JAPANESE ANEMONE	1 GAL	16% @ 24" o.c.	1,961 SF	135 SF	1,826 SF	
	HO2	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	16% @ 24" o.c.	82	6	76	
	HO3	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	2 GAL	17% @ 24" o.c.	87	6	81	
	MS	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO EULALIA GRASS	5 GAL	17% @ 24" o.c.	87	6	81	
	ML	MISCANTHUS SINENSIS 'LITTLE KITTEN'	LITTLE KITTEN EULALIA GRASS	2 GAL	17% @ 24" o.c.	87	6	81	
	VO	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	17% @ 26" o.c.	75	6	69	
	AV	SITE PERIMETER- TYPE 3 ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	VANCOUVER JADE KINNIKINNICK	1 GAL	11% @ 24" o.c.	10,108 SF	8,098 SF	2,010 SF	
	LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	2 GAL	11% @ 24" o.c.	290	232	58	
	LP	LONICERA PILEATA	PRIVET HONEYSUCKLE	2 GAL	11% @ 24" o.c.	290	232	58	
	MC	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL	11% @ 24" o.c.	290	232	58	
	MC2	MORELLA CALIFORNICA	CALIFORNIA WAX MYRTLE	2 GAL	11% @ 36" o.c.	129	103	26	
	PM2	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	2 GAL	11% @ 36" o.c.	129	103	26	
	RM	RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDA HAWTHORN	2 GAL	11% @ 24" o.c.	290	232	58	
	VO	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	12% @ 24" o.c.	316	253	63	
	VD	VIBURNUM DAVIDII	DAVID VIBURNUM	5 GAL	11% @ 48" o.c.	73	58	15	
	AV	PARKING LOT- TYPE 3 ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	VANCOUVER JADE KINNIKINNICK	1 GAL	25% @ 24" o.c.	4,676 SF	1,499 SF	3,176 SF	
	LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	2 GAL	25% @ 24" o.c.	305	98	207	
	MC	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL	25% @ 24" o.c.	305	98	207	
	VD	VIBURNUM DAVIDII	DAVID VIBURNUM	5 GAL	25% @ 36" o.c.	136	44	92	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY	APARTMENTS	HOTEL	RIGHT OF WAY
	AV	ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	VANCOUVER JADE KINNIKINNICK	1 GAL	24" o.c.	24			24
	FC	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	18" o.c.	240		143	97

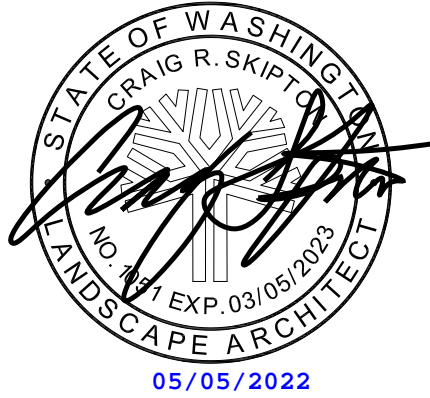


CONSULTANT



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PROFESSIONAL SEAL



PROJECT

CLIENT NAME

SEATAC HOTEL
& APARTMENTS

17300 INTERNATIONAL BLVD
SEATAC, WA 98188

SHEET ISSUE

	DATE	DESCRIPTION
1	01/28/2021	SITE PLAN REVIEW
1	11/19/2021	1ST COMMENT LETTER RESPONSES
2	05/05/2022	2ND COMMENT LETTER RESPONSES

MARK

DATE

DESCRIPTION

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PROJECT # XXXXXXXX

SHEET TITLE

LANDSCAPE SCHEDULE

PROJECT NO.

2100051

DATE ISSUED

01/28/2021

SHEET NUMBER

L1.01

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PROJECT # XXXXXXXX

SHEET TITLE

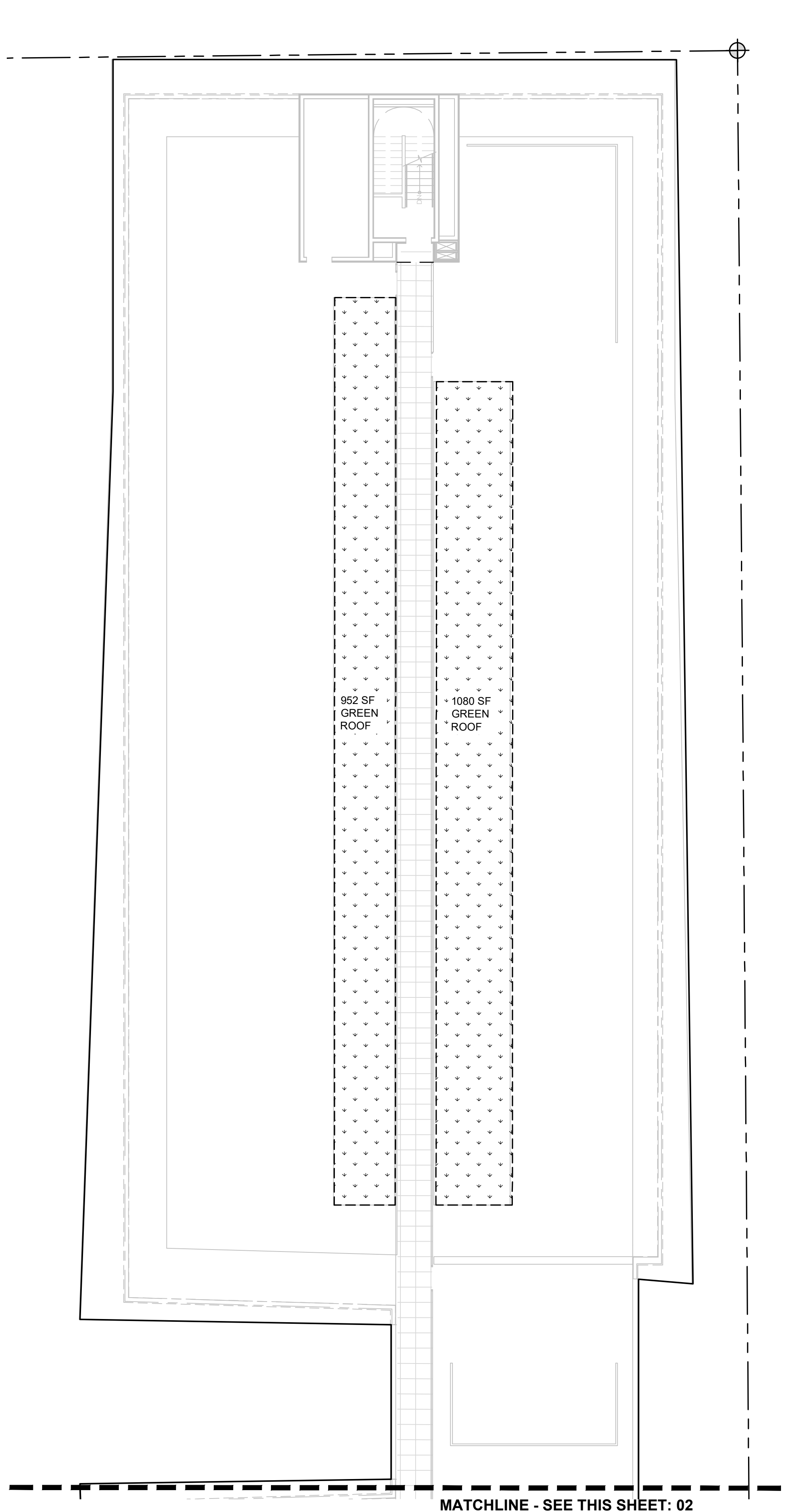
APARTMENT ROOF PLANTING PLAN

PROJECT NO. 2100051

DATE ISSUED 01/28/2021

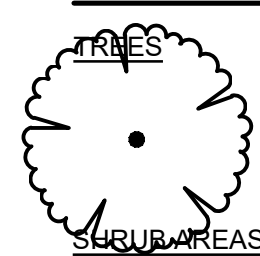
SHEET NUMBER

L1.02

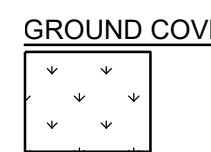


01 APARTMENT ROOF - NORTH
1" = 10'

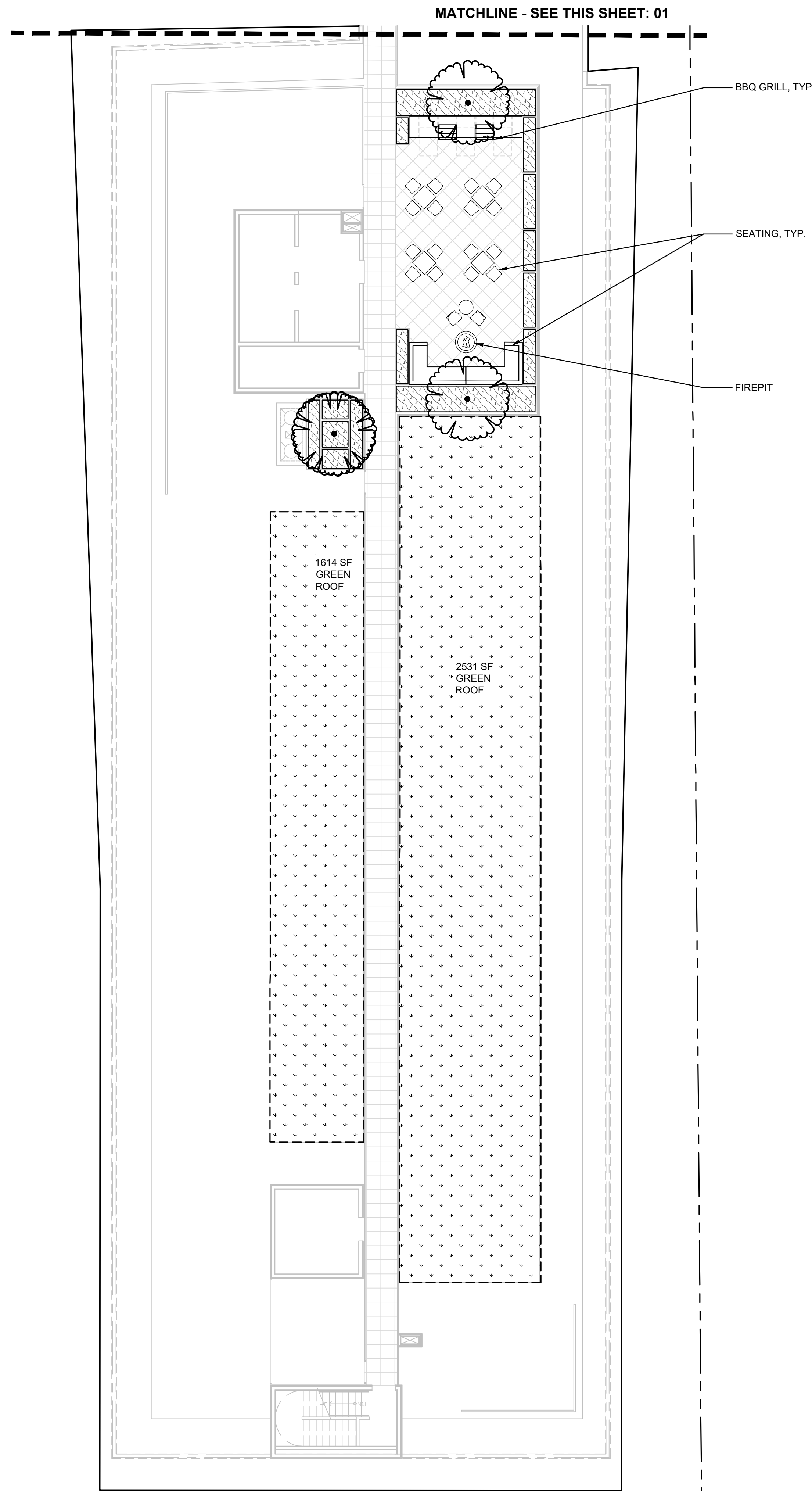
PLANT SCHEDULE ROOF



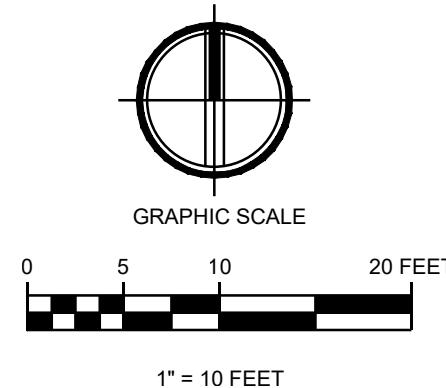
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AC	ACER CIRCINATUM	VINE MAPLE	2" CAL	3
AV	ROOF PLANTERS			
FJ	ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	VANCOUVER JADE KINNIKINNICK	1 GAL	289 SF
LB	FATSIA JAPONICA	JAPANESE FATSIA	2 GAL	13
ML	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	2 GAL	23
PD	MISCANTHUS SINENSIS 'LITTLE KITTEN'	LITTLE KITTEN EULALIA GRASS	2 GAL	13
RH	POLYSTICHUM SETIFERUM 'DIVISILOBUM'	DIVIDED SOFT SHIELD FERN	2 GAL	13
	RHODODENDRON X 'HERBERT'	HERBERT GABLE AZALEA	2 GAL	6



CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY
GP	GREEN ROOF				
	SEDUM GREEN ROOF TRAYS				
		PREGROWN MAT			5,666 SF



02 APARTMENT ROOF - SOUTH
1" = 10'



NOTES

- SEE SHEET A1.01 - A1.02 FOR ADDITIONAL LANDSCAPE CALCULATIONS
- ALL PLANTING AREAS TO RECEIVE 3" DEPTH MULCH

BBQ GRILL, TYP.

SEATING, TYP.

FIREPIT

1614 SF
GREEN
ROOF

2531 SF
GREEN
ROOF



Know what's below.
Call before you dig.

SITE DATA	
ADDRESS:	17300 INTERNATIONAL BLVD
PARCEL NO.	6094230000
LOT SIZE:	124,146 SF
LEGAL DESCR:	UNITS A AND B, 98188 BASE CONDOMINIUM, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 301 OF PLATS, PAGE 32 AND RECORDED JULY 1, 2019 AS RECORDING NO. 2018122400398, RECORDS OF KING COUNTY, WASHINGTON, TOGETHER WITH THE COMMON ELEMENTS SET FORTH IN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED DECEMBER 24, 2018 AS RECORDING NO. 2018122400933.

- GENERAL NOTES
- MECHANICAL/UTILITY EQUIPMENT LOCATED IN BUILDING OR ON ROOF, REFER TO PLANS FOR PROPOSED LOCATIONS
 - REFER TO A1.02 FOR CALCULATIONS PERTAINING TO REQUIRED OPEN SPACE, RECREATION SPACE, AND LANDSCAPING
 - ALL EXISTING EASEMENTS TO BE REMOVED FROM SITE
 - REFER TO SURVEY FOR EXISTING SITE CONDITIONS
 - REFER TO CIVIL FOR PROPOSED GRADING AND DRAINAGE PLANS
 - REFER TO CIVIL FOR LOCATION OF EXISTING AND PROPOSED UTILITIES
 - REFER TO CIVIL FOR LOCATION OF EXISTING AND PROPOSED FIRE HYDRANTS
 - REFER TO LANDSCAPE PLANS FOR PLANTING INFORMATION
 - REFER TO LIGHTING PLANS FOR LUMINAIRE SCHEDULE
 - ALL EXTERIOR ACCESSIBLE ROUTES SHALL BE A MINIMUM WIDTH OF 44" PER WASHINGTON STATE AMENDMENT 1101.2.1

PAVING LEGEND	
	ASPHALT
	CONCRETE
	DECORATIVE PAVING 01
	DECORATIVE PAVING 02
	LANDSCAPED AREA
	GRAVEL PATH

PROJECT AREA	
SMC 15,400,200 - MAXIMUM BUILDING LOT COVERAGE	
CB-C ZONE: 75% LOT SIZE: 124,146 SF	
BUILDING COVERAGE:	
• APARTMENT: 22,110 SF	
• HOTEL: 24,548 SF	
• TOTAL: 46,658 SF	
BUILDING LOT COVERAGE: 46,658 SF / 124,146 SF = .3758	
.3758 X 100 = 37.58% < 75% MAX.	

PARKING CALCULATIONS	
PARKING REQUIRED:	
HOTEL USE:	
198 ROOMS (0.75 STALLS PER ROOM)	= 149 STALLS WITH SHUTTLE SERVICE
HOTEL REST/MTC RM: 1,270 SF (1 STALLS PER 1,500 GSF)	= 9 STALLS
RETAIL (COFFEE SHOP): 900 SF (1 STALLS PER 1,000 GSF)	= 1 STALL
RESTAURANT: 420 SF (1 STALLS PER 150 GSF)	= 3 STALLS
SUBTOTAL:	162 STALLS
PARKING REDUCTIONS:	
PER SEATAC ZONING CODE 15.455.140A	
MAX 35% REDUCTION FOR ACCESS TO REGIONAL MASS TRANSIT (METRO & LINK)	
TOTAL HOTEL STALLS REQUIRED:	162 - (162 X .35) = 106 STALLS

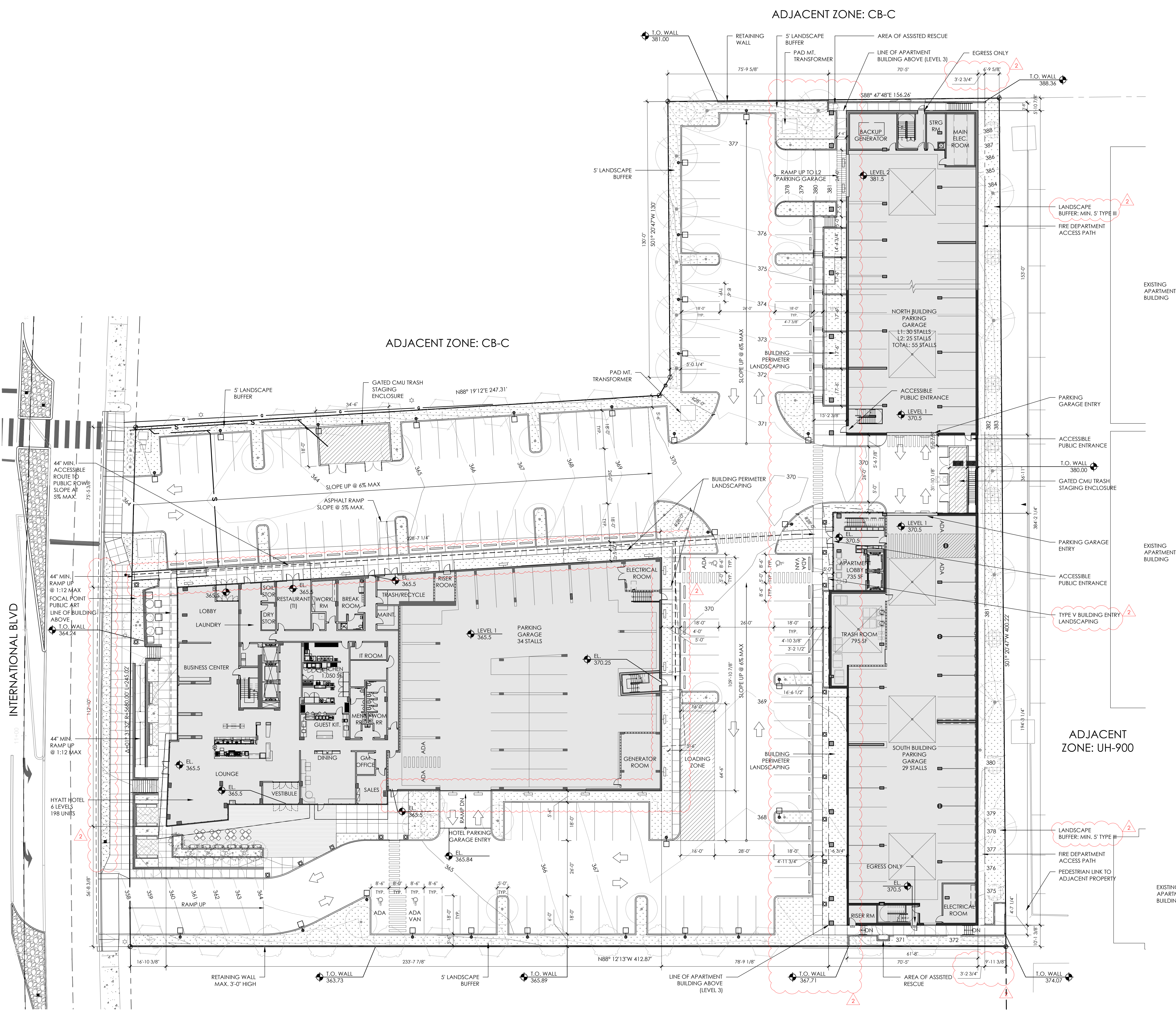
APARTMENT BUILDING:			
2-3 BR UNITS	2 STALLS PER UNIT	27 UNITS	= 54 STALLS
1 BR UNITS	1 STALLS PER UNIT	77 UNITS	= 77 STALLS
STUDIO	0 STALLS PER UNIT	78 UNITS	= 0 STALLS

TOTAL APARTMENT STALLS REQUIRED:	131 STALLS
----------------------------------	------------

PARKING STALLS PROVIDED:	
STRUCTURE PARKING (HOTEL):	34 STALLS PROVIDED
SURFACE PARKING (HOTEL):	72 STALLS PROVIDED
TOTAL PARKING STALLS PROVIDED (HOTEL):	106 STALLS
STRUCTURED PARKING (APARTMENT):	LEVEL 1: 59 STALLS PROVIDED
	LEVEL 2: 25 STALLS PROVIDED
	TOTAL: 84 STALLS PROVIDED
SURFACE PARKING (APARTMENT):	49 STALLS SURFACE STALLS PROVIDED
TOTAL STALLS PROVIDED (APARTMENT):	133 STALLS

ACCESSIBLE STALLS REQUIRED:	
HOTEL PARKING STRUCTURE (PER IBC TABLE 1106.1):	
26 TO 50 STALLS PROVIDED = 2 REQUIRED; 2 PROVIDED (1 VAN, 1 STANDARD)	
SURFACE PARKING (PER IBC TABLE 1106.1):	
51 TO 75 STALLS PROVIDED = 3 REQUIRED; 3 PROVIDED (1 VAN, 2 STANDARD)	
TOTAL ACCESSIBLE STALLS PROVIDED (HOTEL):	5 STALLS
APARTMENT PARKING STRUCTURED (PER IBC 1106.2):	
84 STALLS PROVIDED X (.02) = 1.68 REQUIRED; 2 PROVIDED (1 VAN, 1 STANDARD)	
APARTMENT PARKING SURFACE (PER IBC 1106.2):	
49 STALLS PROVIDED X (.02) = .98 REQUIRED; 1 STALL PROVIDED	
TOTAL ACCESSIBLE STALLS PROVIDED (APARTMENT):	3 STALLS

ELECTRIC VEHICLE CHARGING INFRASTRUCTURE PER [IBC SECTION 427]	
5% OF PARKING SPACES SHALL BE PROVIDED WITH ELECTRIC VEHICLE CHARGING INFRASTRUCTURE.	
HOTEL CALCULATION: 106 TOTAL STALLS PROVIDED X (.05) = 5.3 EV STALLS REQUIRED	
TOTAL EV STALLS PROVIDED (HOTEL):	6 EV STALLS (IN STRUCTURED PARKING)
APARTMENT CALCULATION: 133 TOTAL PARKING STALLS PROVIDED X (.05) = 6.65 EV STALLS REQUIRED	
TOTAL EV STALLS PROVIDED (APARTMENT):	7 EV STALLS (IN STRUCTURED PARKING)



1 SITE PLAN
1" = 20' - 0"

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PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

SHEET ISSUE

	DATE	DESCRIPTION
1	01/28/2021	SITE PLAN REVIEW
2	11/19/2021	1ST COMMENT LETTER RESPONSES
3	05/04/2022	2ND COMMENT LETTER RESPONSES

MUNICIPALITY REVIEW

PROJECT #

SHEET TITLE

SITE PLAN

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER
A1.01



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SEATAC, WA 98188

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SEATAC, WA 98188

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	01/28/2021	SITE PLAN REVIEW
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MARK	DATE	DESCRIPTION
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PROJECT

OPEN SPACE DIAGRAMS

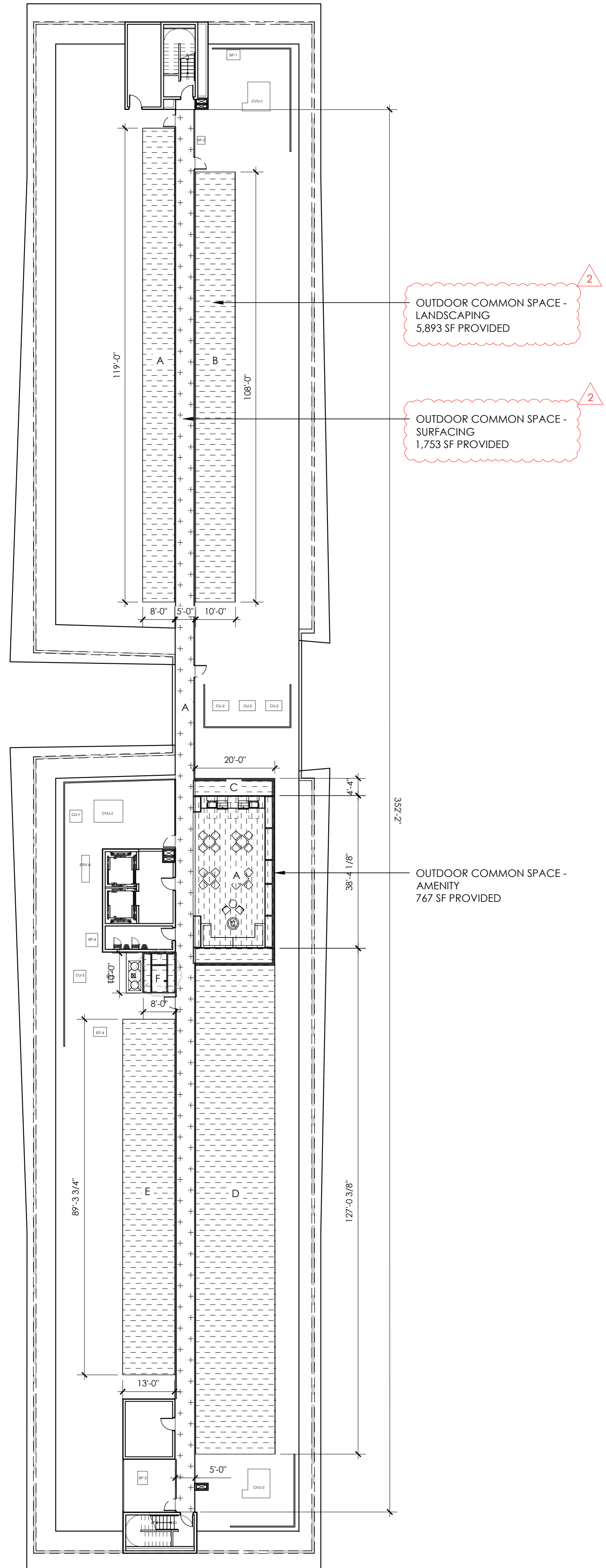
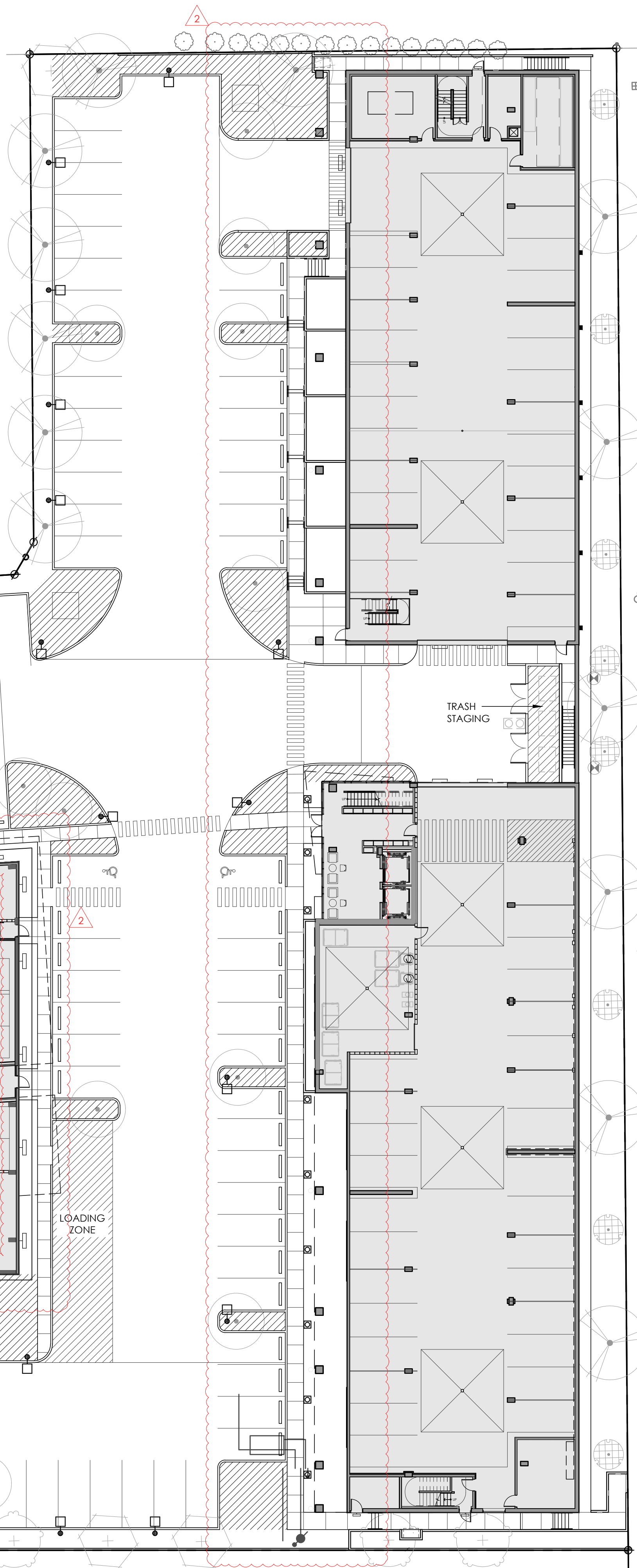
DATE ISSUED

11/19/202

A1.02

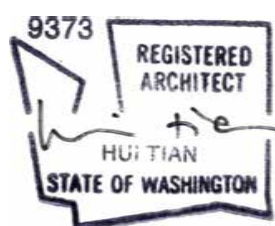
OPEN SPACE - PLAZA
33 SF PROVIDED

ADDITIONAL INFORMATION

 SURFACE PARKING LANDSCAPING

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SEATAC HOTEL & APARTMENTS

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LEVEL 1 PLAN

PROJECT NO.

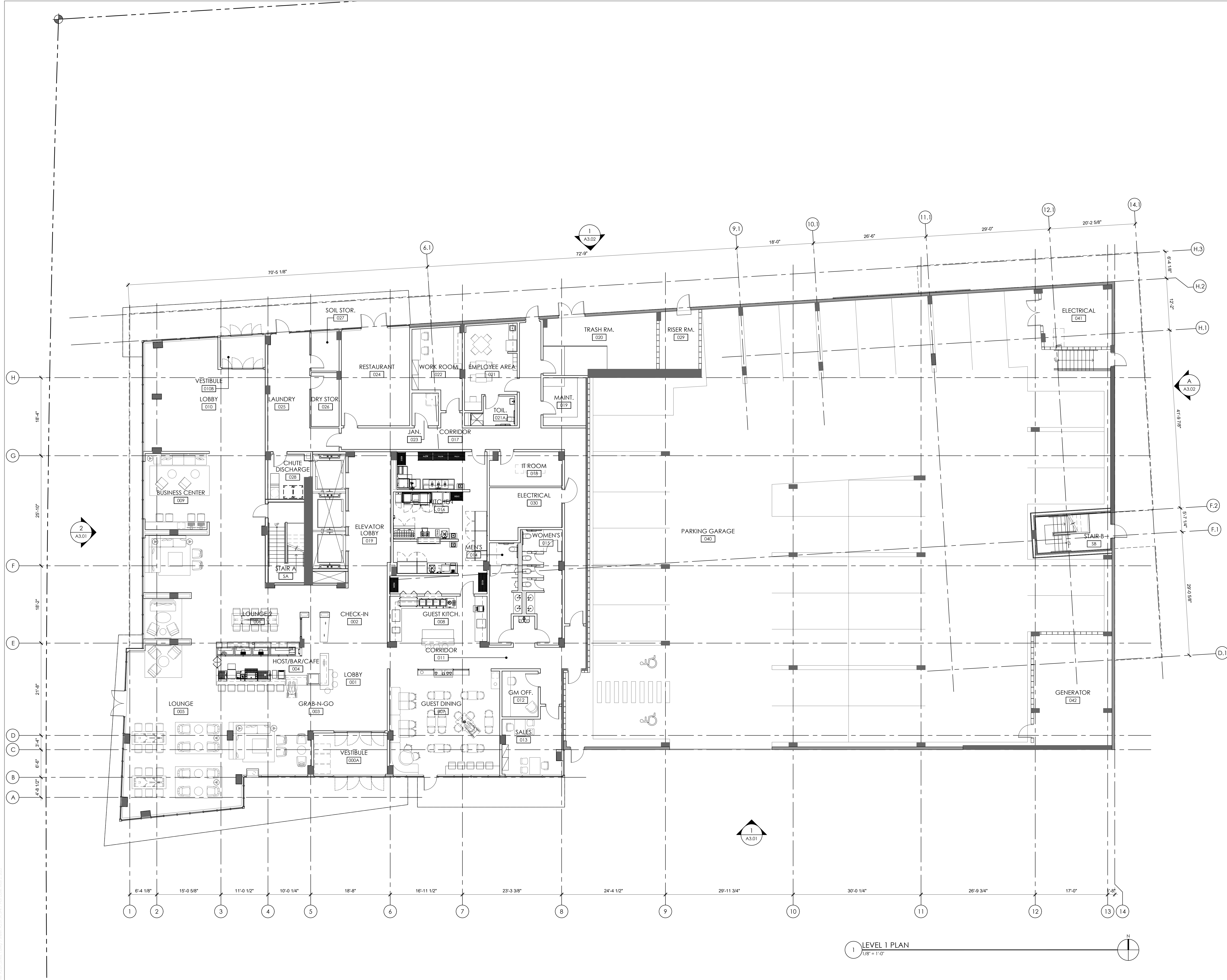
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SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

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MARK DATE DESCRIPTION

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PROJECT #

SHEET TITLE

LEVEL 2 PLAN

PROJECT NO.

20201113

DATE ISSUED

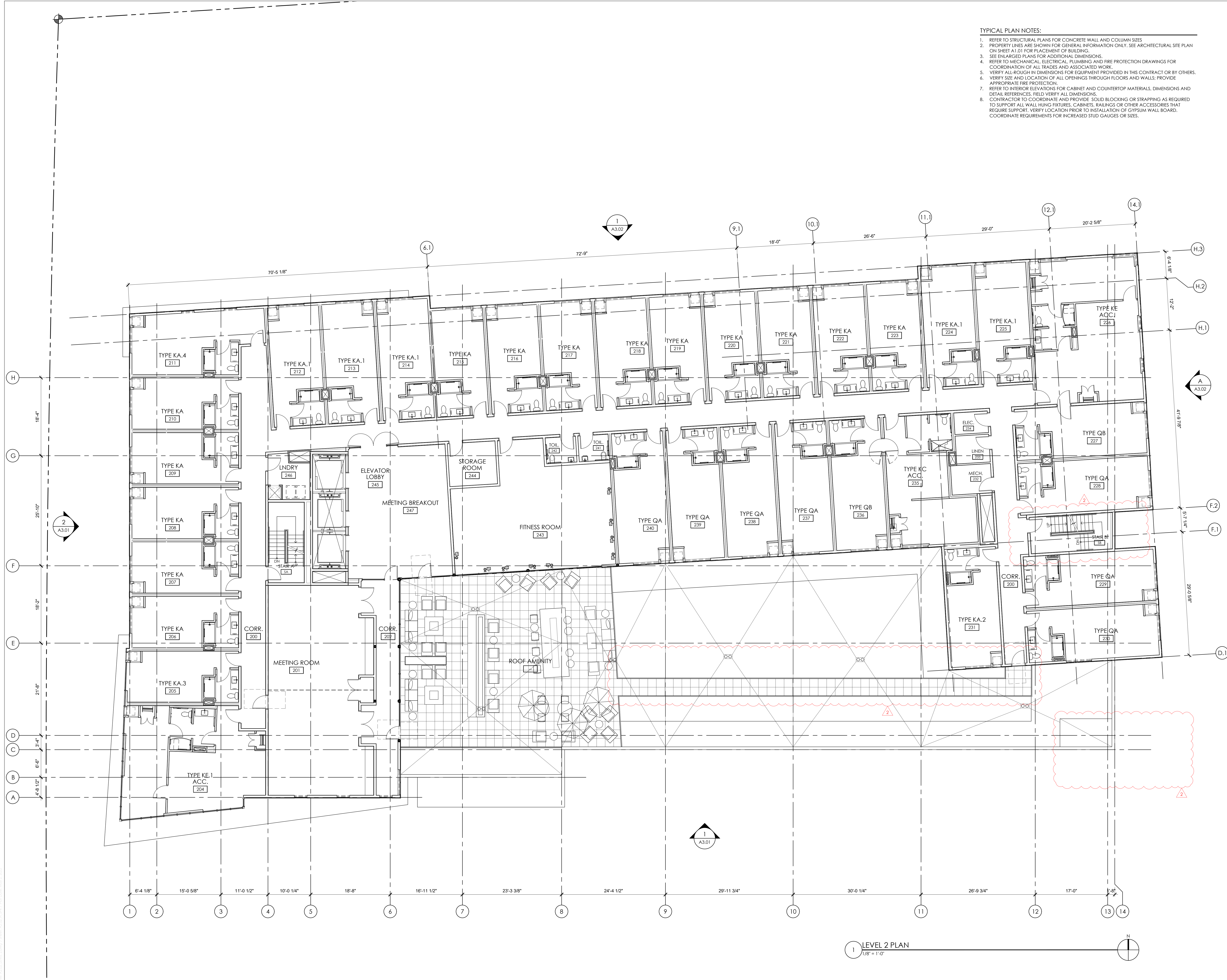
01/15/2021

SHEET NUMBER

A2.02_H

TYPICAL PLAN NOTES:

1. REFER TO STRUCTURAL PLANS FOR CONCRETE WALL AND COLUMN SIZES
2. PROPERTY LINES ARE SHOWN FOR GENERAL INFORMATION ONLY. SEE ARCHITECTURAL SITE PLAN ON SHEET A1.01 FOR PLACEMENT OF BUILDING.
3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
4. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR COORDINATION OF ALL TRADES AND ASSOCIATED WORK.
5. VERIFY ALL ROUGH IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT OR BY OTHERS.
6. VERIFY SIZE AND LOCATION OF ALL OPENINGS THROUGH FLOORS AND WALLS. PROVIDE APPROPRIATE FIRE PROTECTION.
7. REFER TO INTERIOR ELEVATIONS FOR CABINET AND COUNTERTOP MATERIALS, DIMENSIONS AND DETAIL REFERENCES. FIELD VERIFY ALL DIMENSIONS.
8. CONTRACTOR TO COORDINATE AND PROVIDE SOLID BLOCKING OR STRAPPING AS REQUIRED TO SUPPORT ALL WALL HUNG FIXTURES, CABINETS, RAILINGS OR OTHER ACCESSORIES THAT REQUIRE SUPPORT. VERIFY LOCATION PRIOR TO INSTALLATION OF GYPSUM WALL BOARD. COORDINATE REQUIREMENTS FOR INCREASED STUD GAUGES OR SIZES.



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LEVEL 3 PLAN

PROJECT NO.

20201113

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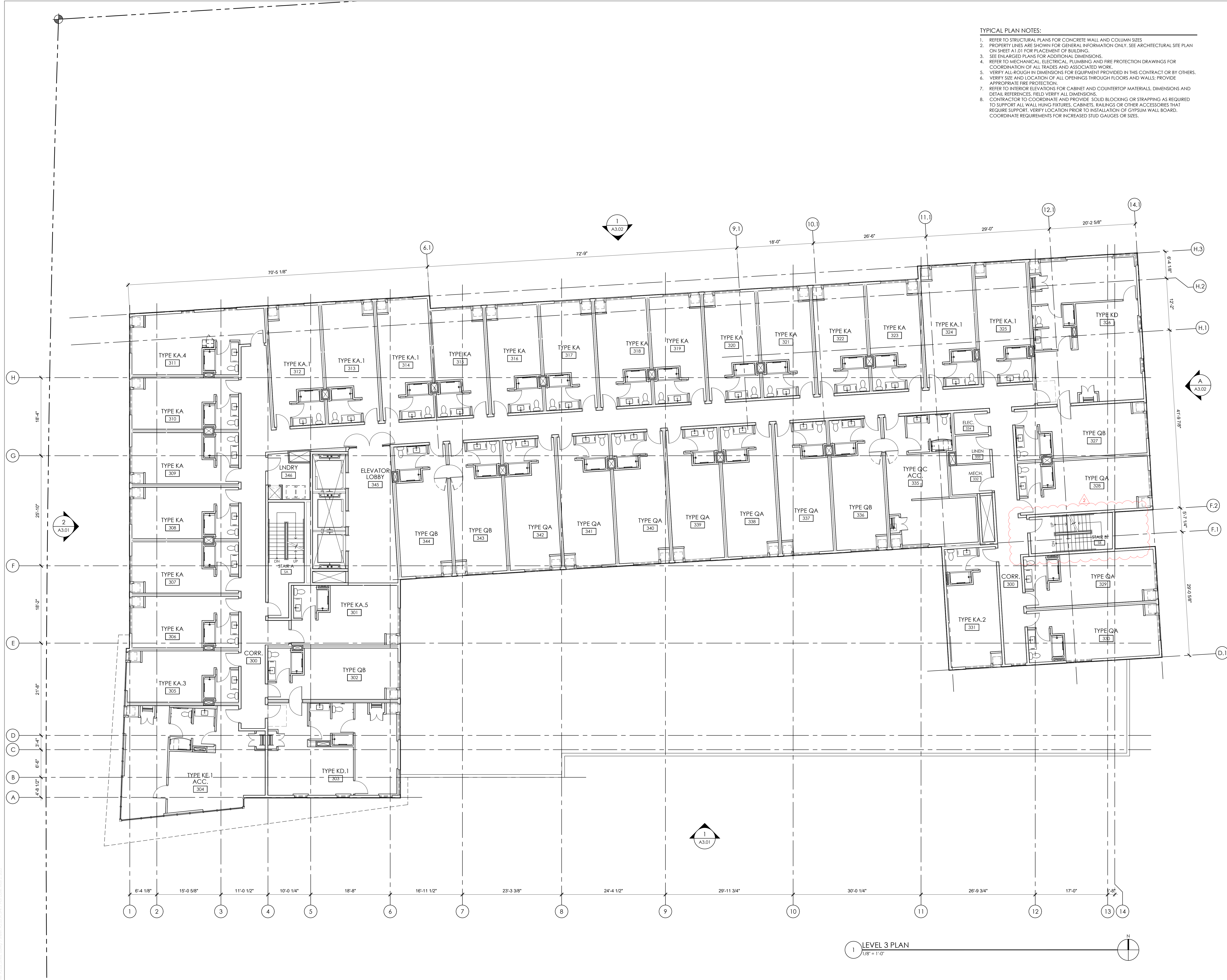
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A2.03_H

TYPICAL PLAN NOTES:

1. REFER TO STRUCTURAL PLANS FOR CONCRETE WALL AND COLUMN SIZES
2. PROPERTY LINES ARE SHOWN FOR GENERAL INFORMATION ONLY. SEE ARCHITECTURAL SITE PLAN ON SHEET A1.01 FOR PLACEMENT OF BUILDING.
3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
4. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR COORDINATION OF ALL TRADES AND ASSOCIATED WORK.
5. VERIFY ALL ROUGH IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT OR BY OTHERS.
6. VERIFY SIZE AND LOCATION OF ALL OPENINGS THROUGH FLOORS AND WALLS; PROVIDE APPROPRIATE FIRE PROTECTION.
7. REFER TO INTERIOR ELEVATIONS FOR CABINET AND COUNTERTOP MATERIALS, DIMENSIONS AND DETAIL REFERENCES; FIELD VERIFY ALL DIMENSIONS.
8. CONTRACTOR TO COORDINATE AND PROVIDE SOLID BLOCKING OR STRAPPING AS REQUIRED TO SUPPORT ALL WALL HUNG FIXTURES, CABINETS, RAILINGS OR OTHER ACCESSORIES THAT REQUIRE SUPPORT. VERIFY LOCATION PRIOR TO INSTALLATION OF GYPSUM WALL BOARD. COORDINATE REQUIREMENTS FOR INCREASED STUD GAUGES OR SIZES.



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SEATAC HOTEL & APARTMENTS

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LEVEL 4 PLAN

PROJECT NO.

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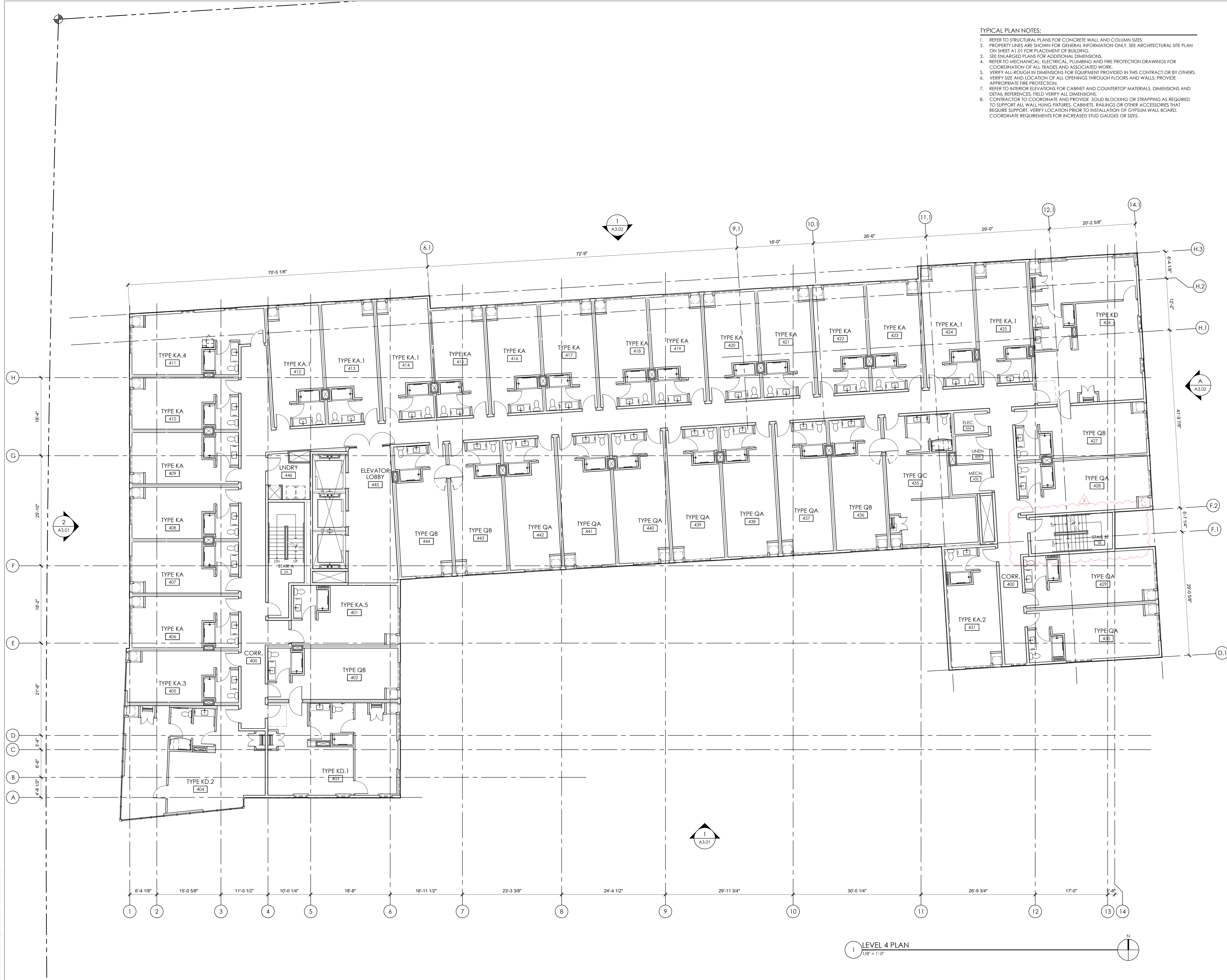
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SHEET NUMBER

A2.04_H

TYPICAL PLAN NOTES:

1. REFER TO STRUCTURAL PLANS FOR CONCRETE WALL AND COLUMN SIZES
2. PROPERTY LINES ARE SHOWN FOR GENERAL INFORMATION ONLY. SEE ARCHITECTURAL SITE PLAN ON SHEET A1.01 FOR PLACEMENT OF BUILDING.
3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
4. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR COORDINATION OF ALL TRADES AND ASSOCIATED WORK.
5. VERIFY ALL ROUGH IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT OR BY OTHERS.
6. VERIFY SIZE AND LOCATION OF ALL OPENINGS THROUGH FLOORS AND WALLS; PROVIDE APPROPRIATE FIRE PROTECTION.
7. REFER TO INTERIOR ELEVATIONS FOR CABINET AND COUNTERTOP MATERIALS, DIMENSIONS AND DETAIL REFERENCES. FIELD VERIFY ALL DIMENSIONS.
8. CONTRACTOR TO COORDINATE AND PROVIDE SOLID BLOCKING OR STRAPPING AS REQUIRED TO SUPPORT ALL WALL HUNG FIXTURES, CABINETS, RAILINGS OR OTHER ACCESSORIES THAT REQUIRE SUPPORT. VERIFY LOCATION PRIOR TO INSTALLATION OF GYPSUM WALL BOARD. COORDINATE REQUIREMENTS FOR INCREASED STUD GAUGES OR SIZES.



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SEATAC HOTEL & APARTMENTS

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SHEET ISSUE

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LEVEL 5 PLAN

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20201113

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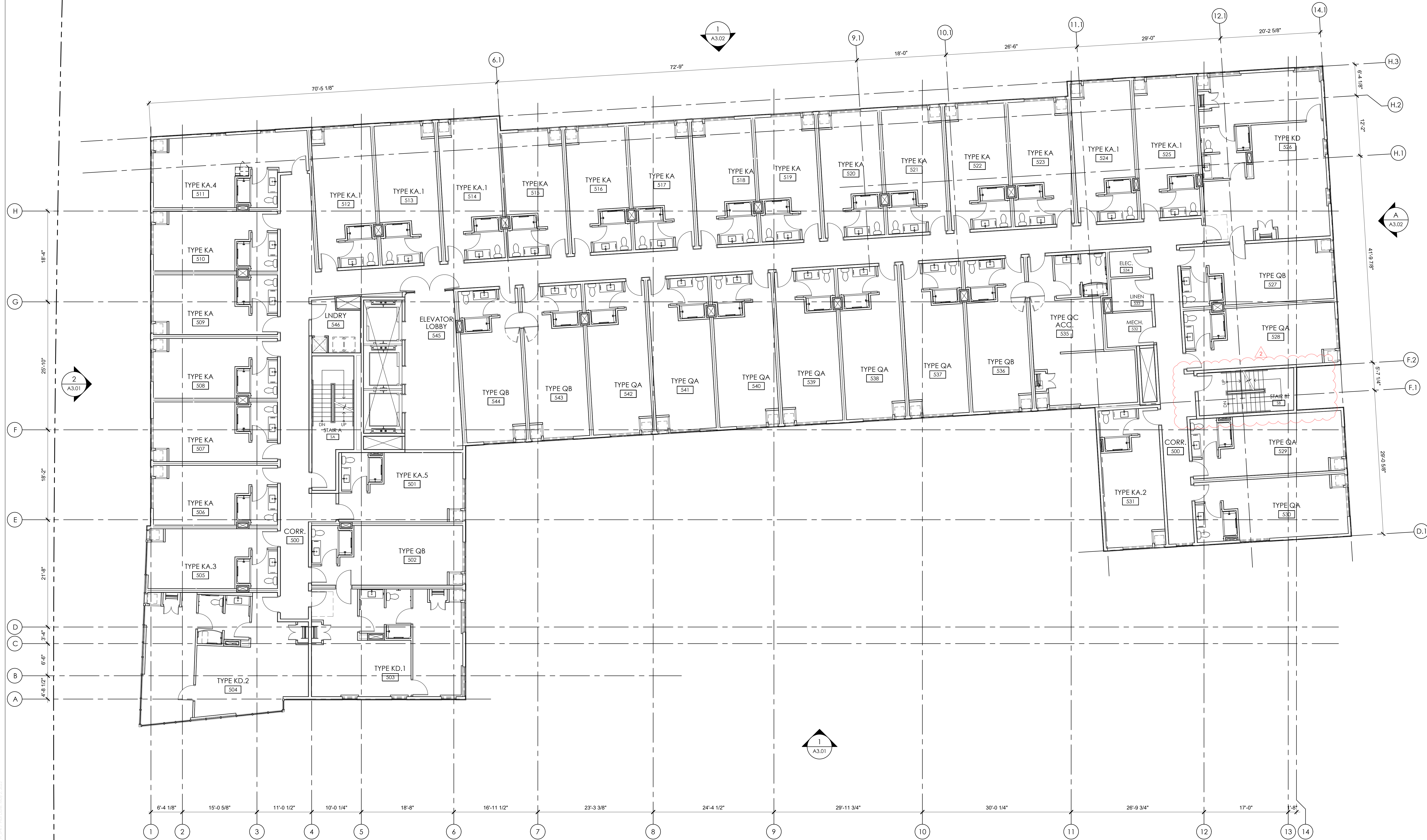
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A2.05_H

TYPICAL PLAN NOTES:

1. REFER TO STRUCTURAL PLANS FOR CONCRETE WALL AND COLUMN SIZES
2. PROPERTY LINES ARE SHOWN FOR GENERAL INFORMATION ONLY. SEE ARCHITECTURAL SITE PLAN ON SHEET A1.01 FOR PLACEMENT OF BUILDING.
3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
4. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR COORDINATION OF ALL TRADES AND ASSOCIATED WORK.
5. VERIFY ALL ROUGH IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT OR BY OTHERS.
6. VERIFY SIZE AND LOCATION OF ALL OPENINGS THROUGH FLOORS AND WALLS. PROVIDE APPROPRIATE FIRE PROTECTION.
7. REFER TO INTERIOR ELEVATIONS FOR CABINET AND COUNTERTOP MATERIALS, DIMENSIONS AND DETAIL REFERENCES. FIELD VERIFY ALL DIMENSIONS.
8. CONTRACTOR TO COORDINATE AND PROVIDE SOLID BLOCKING OR STRAPPING AS REQUIRED TO SUPPORT ALL WALL HUNG FIXTURES, CABINETS, RAILINGS OR OTHER ACCESSORIES THAT REQUIRE SUPPORT. VERIFY LOCATION PRIOR TO INSTALLATION OF GYPSUM WALL BOARD. COORDINATE REQUIREMENTS FOR INCREASED STUD GAUGES OR SIZES.



1 LEVEL 5 PLAN
1/8" = 1'-0"

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PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
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PROJECT #

SHEET TITLE

LEVEL 6 PLAN

PROJECT NO.

20201113

DATE ISSUED

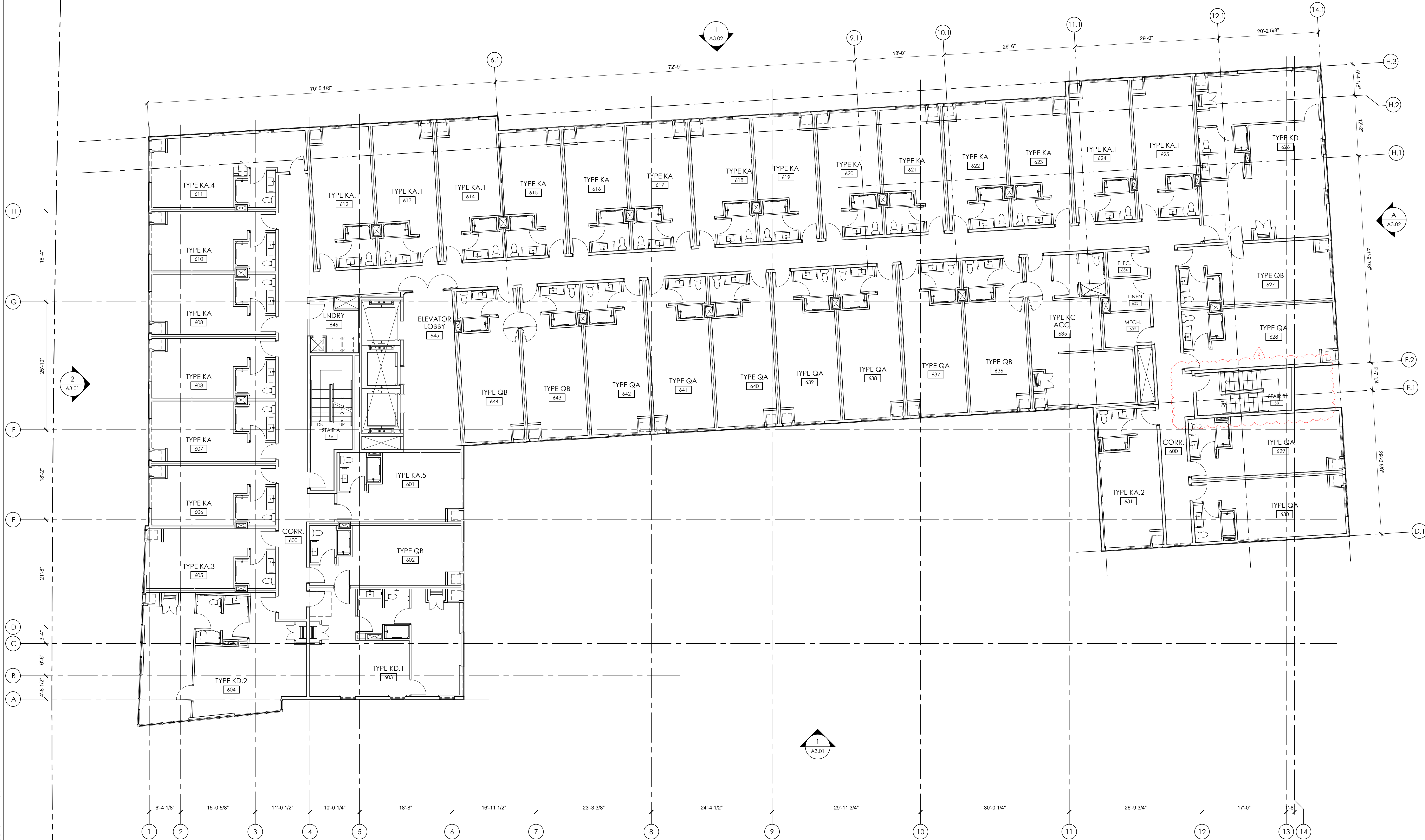
01/28/2021

SHEET NUMBER

A2.06_H

TYPICAL PLAN NOTES:

1. REFER TO STRUCTURAL PLANS FOR CONCRETE WALL AND COLUMN SIZES
2. PROPERTY LINES ARE SHOWN FOR GENERAL INFORMATION ONLY. SEE ARCHITECTURAL SITE PLAN ON SHEET A1.01 FOR PLACEMENT OF BUILDING.
3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
4. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR COORDINATION OF ALL TRADES AND ASSOCIATED WORK.
5. VERIFY ALL ROUGH IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT OR BY OTHERS.
6. VERIFY SIZE AND LOCATION OF ALL OPENINGS THROUGH FLOORS AND WALLS; PROVIDE APPROPRIATE FIRE PROTECTION.
7. REFER TO INTERIOR ELEVATIONS FOR CABINET AND COUNTERTOP MATERIALS, DIMENSIONS AND DETAIL REFERENCES. FIELD VERIFY ALL DIMENSIONS.
8. CONTRACTOR TO COORDINATE AND PROVIDE SOLID BLOCKING OR STRAPPING AS REQUIRED TO SUPPORT ALL WALL HUNG FIXTURES, CABINETS, RAILINGS OR OTHER ACCESSORIES THAT REQUIRE SUPPORT. VERIFY LOCATION PRIOR TO INSTALLATION OF GYPSUM WALL BOARD. COORDINATE REQUIREMENTS FOR INCREASED STUD GAUGES OR SIZES.



1 LEVEL 6 PLAN
1/8" = 1'-0"

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98188 PLACE LLC

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PROJECT #

SHEET TITLE

ROOF PLAN

PROJECT NO.

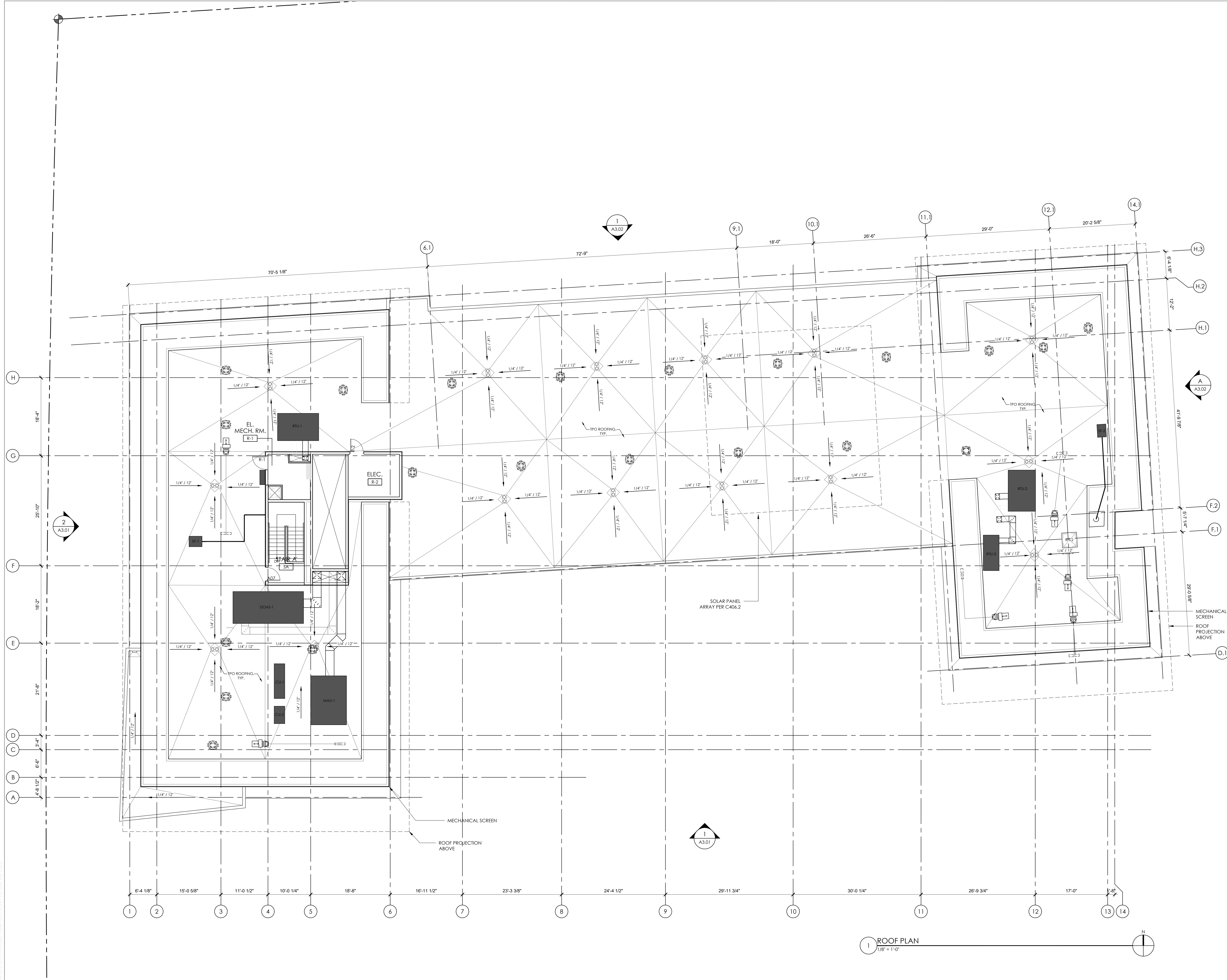
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SHEET NUMBER

A2.07_H

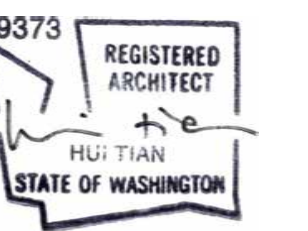




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PROJECT #

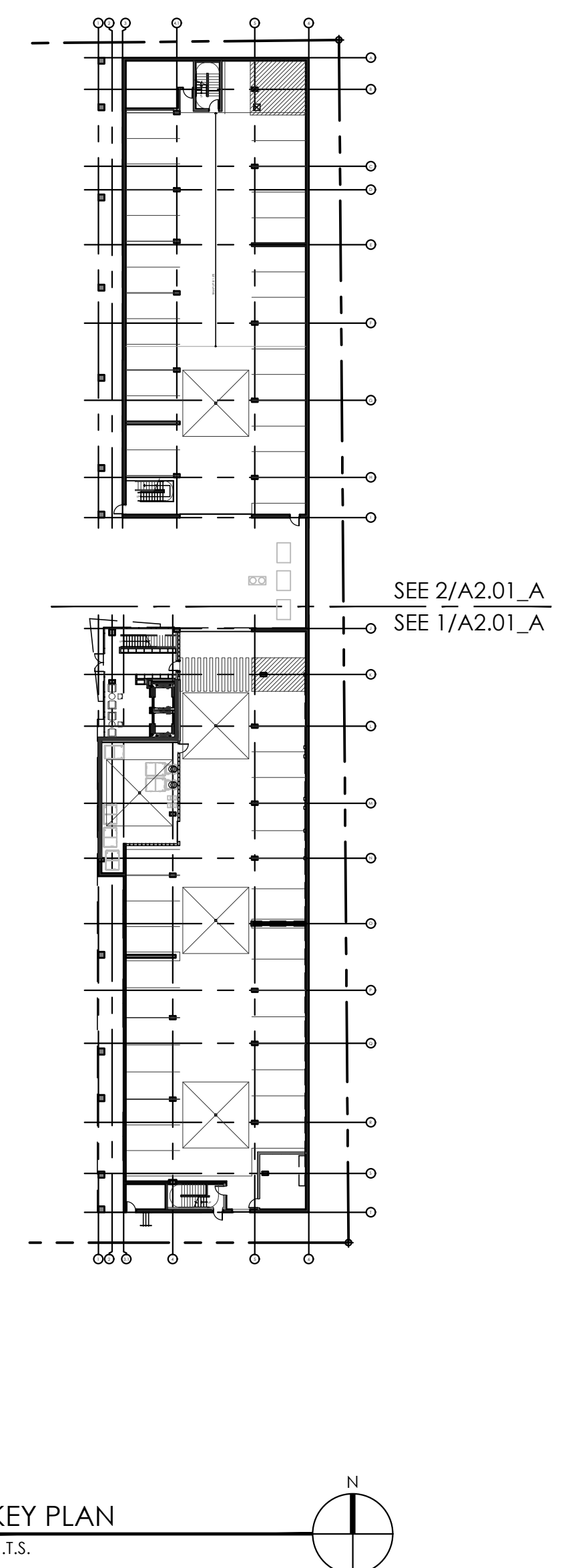
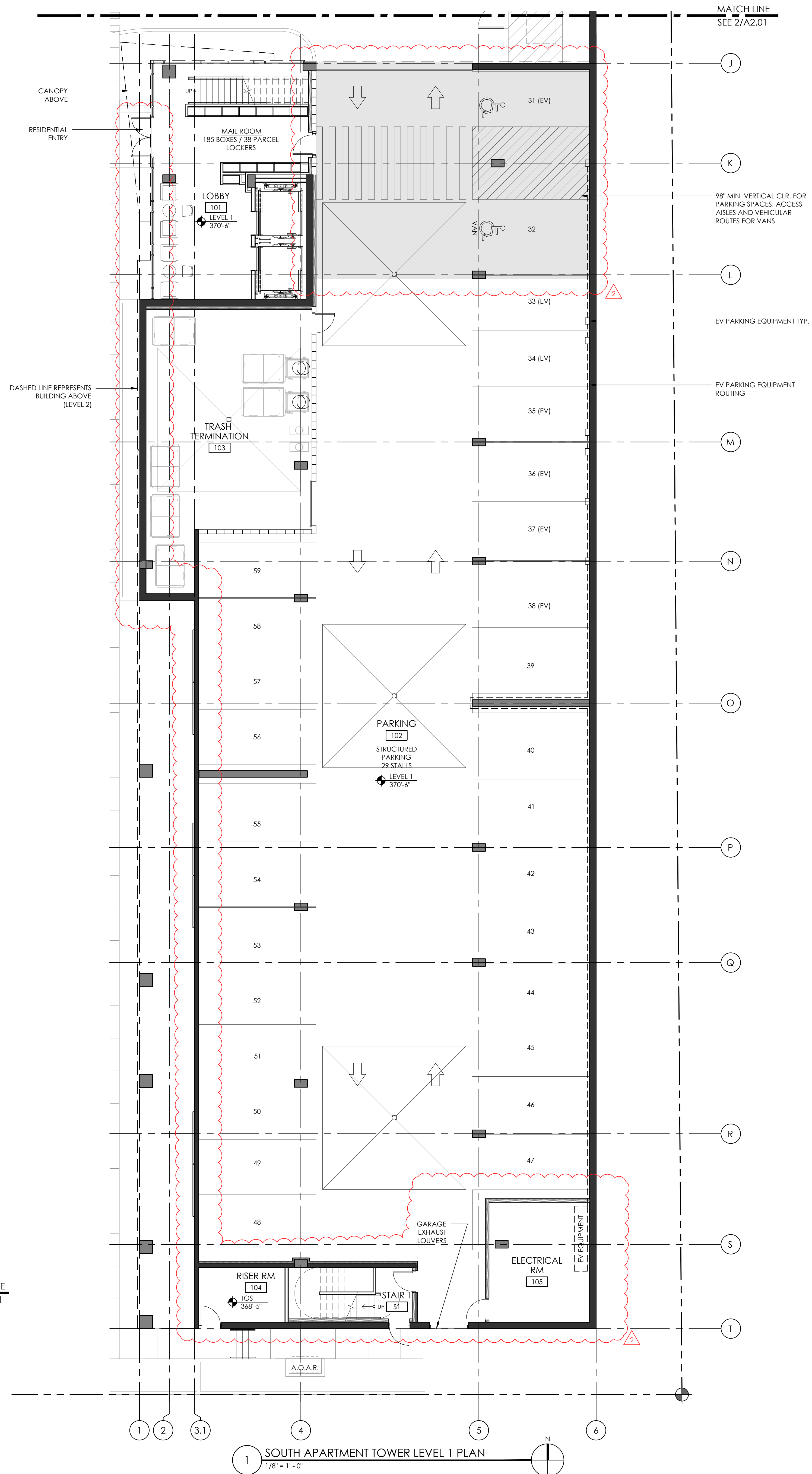
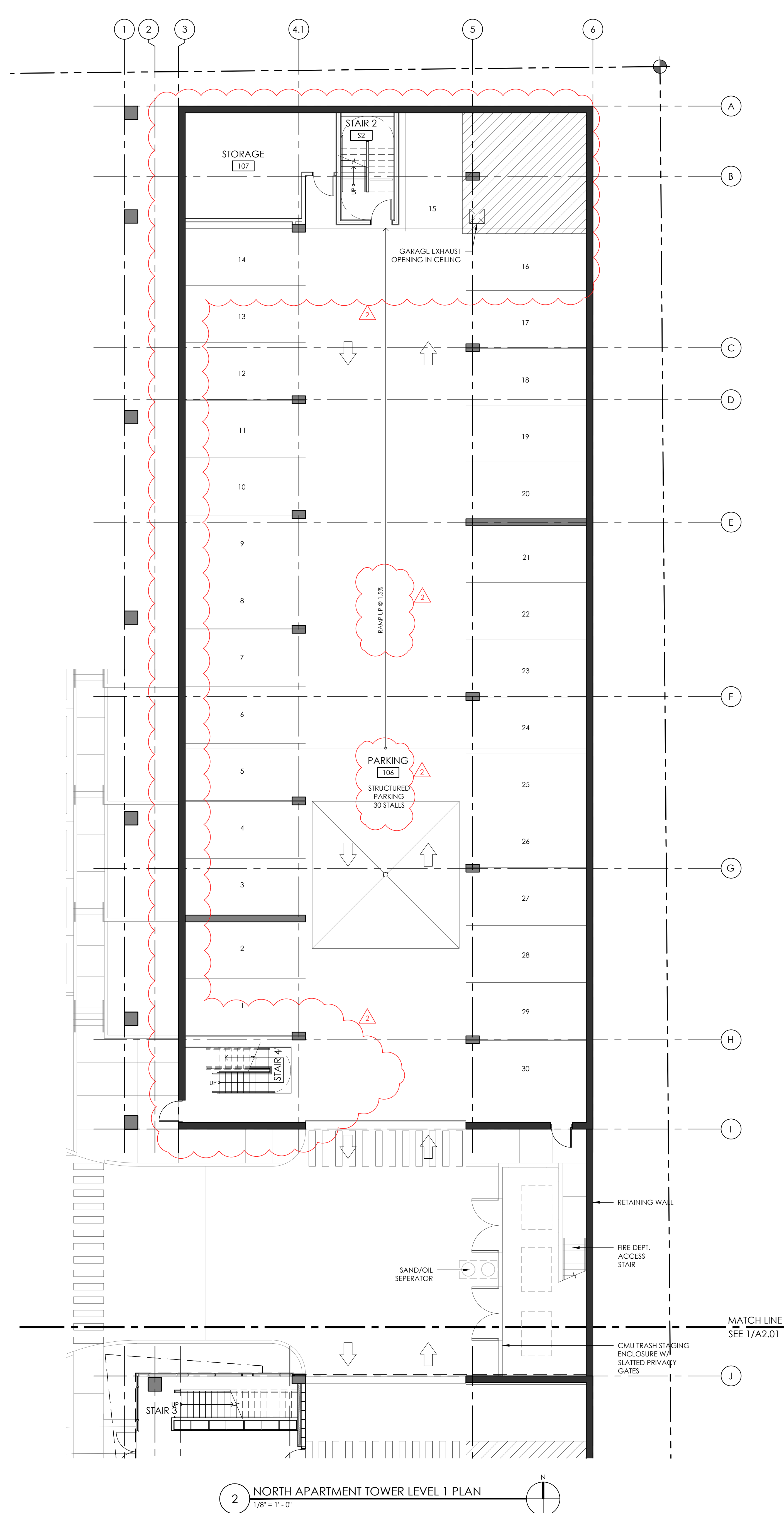
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APARTMENT - LEVEL 1
NORTH AND SOUTH TOWER PLANS

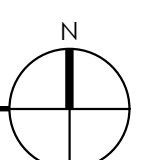
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SHEET NUMBER

A2.01_A



KEY PLAN



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PROJECT #

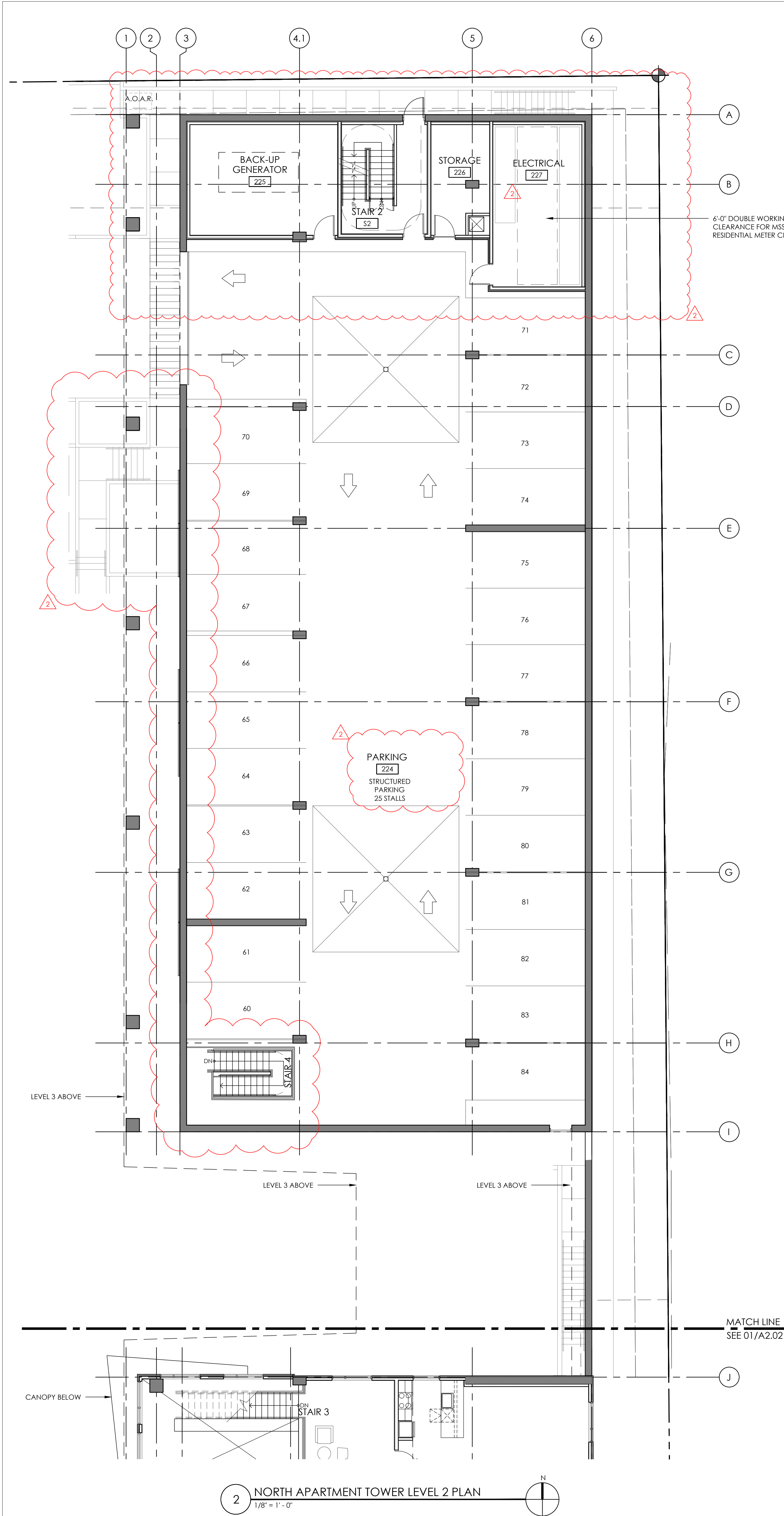
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APARTMENT - LEVEL 2
NORTH AND SOUTH TOWER PLANS

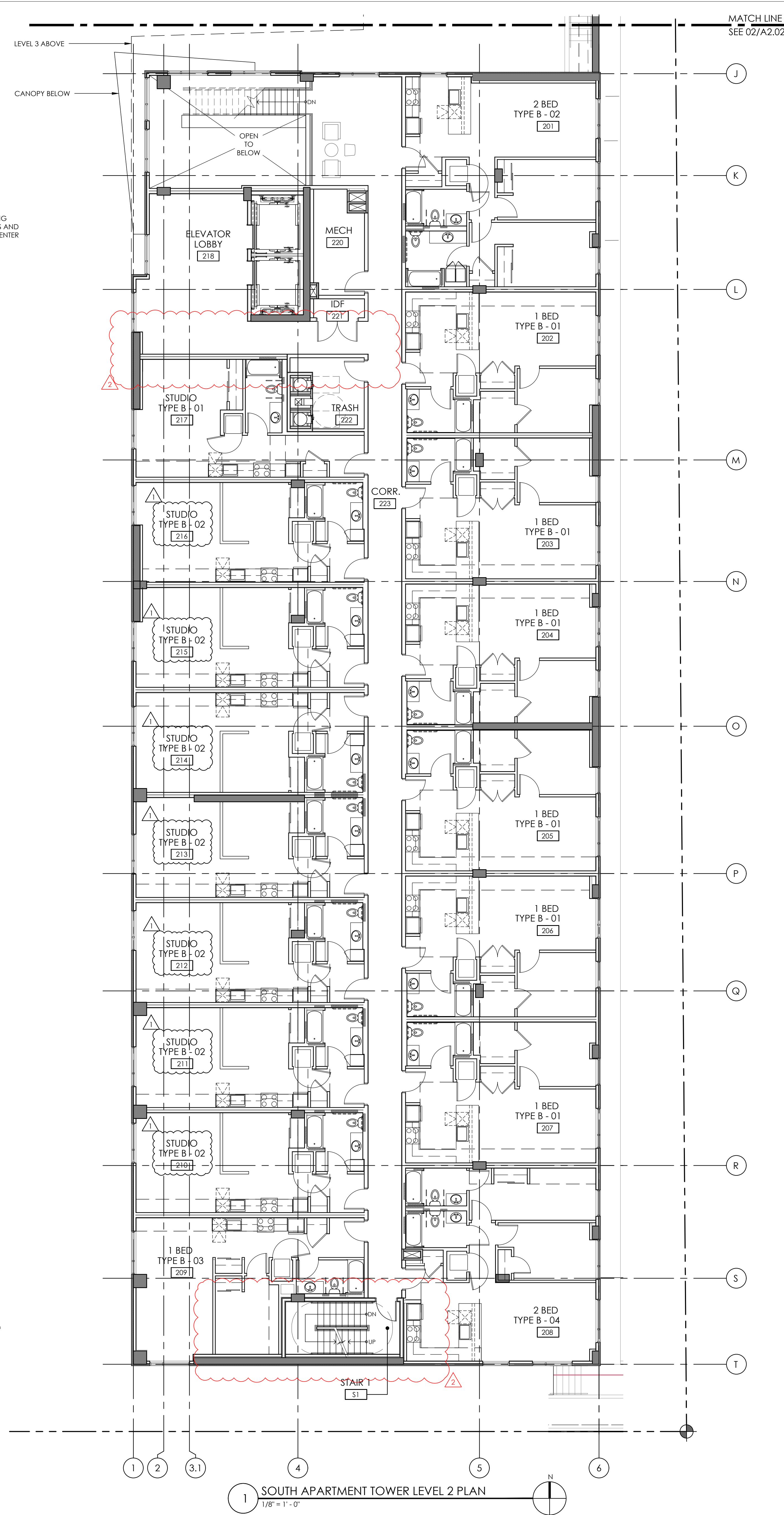
PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER

A2.02_A



2 NORTH APARTMENT TOWER LEVEL 2 PLAN
1/8" = 1'-0"



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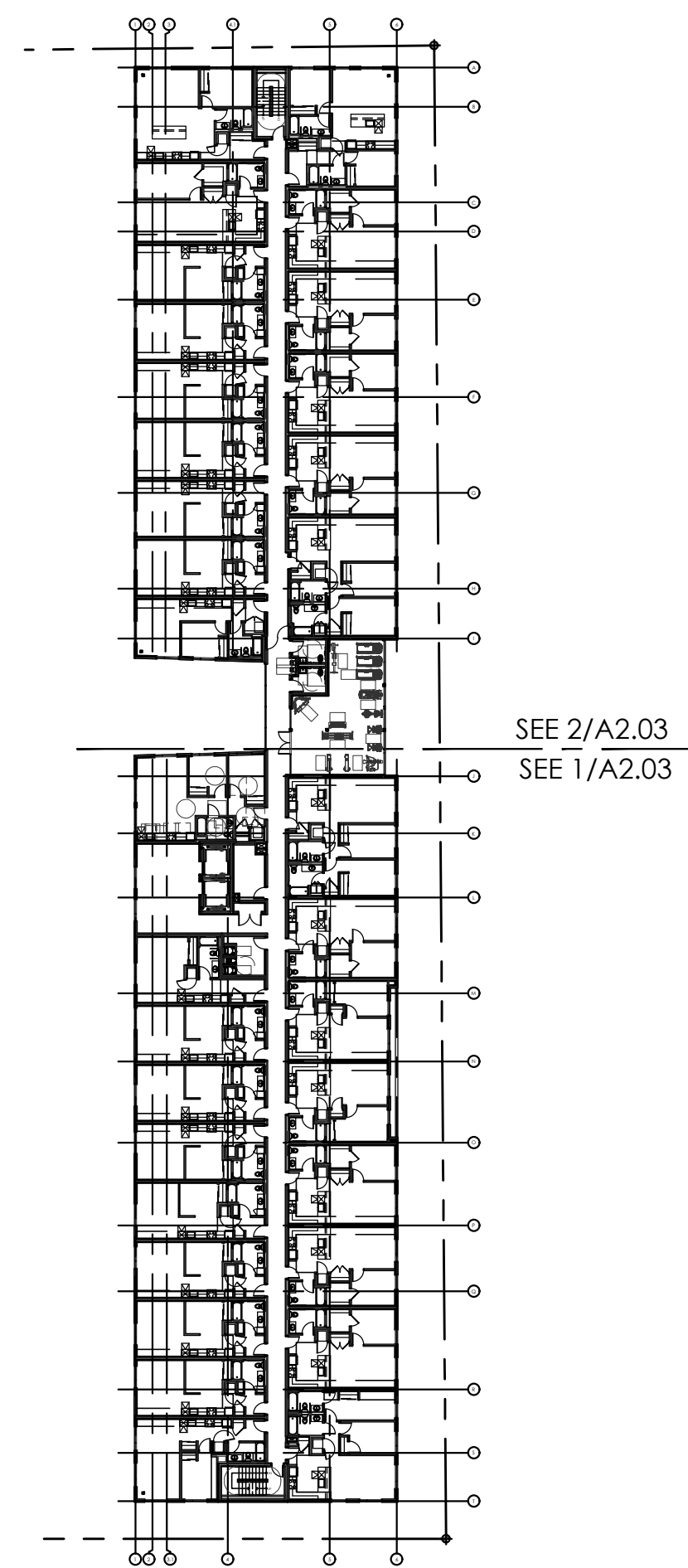
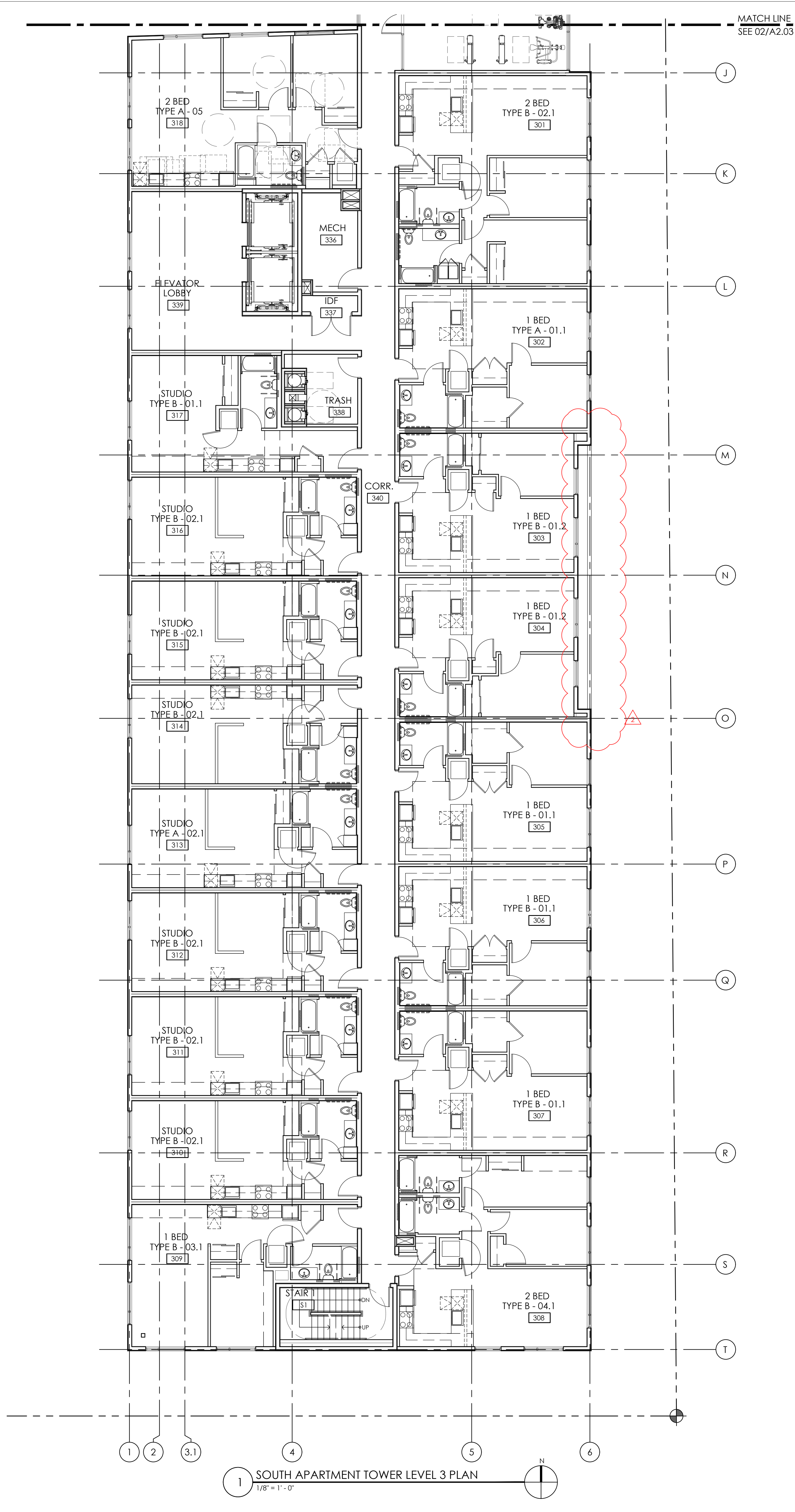
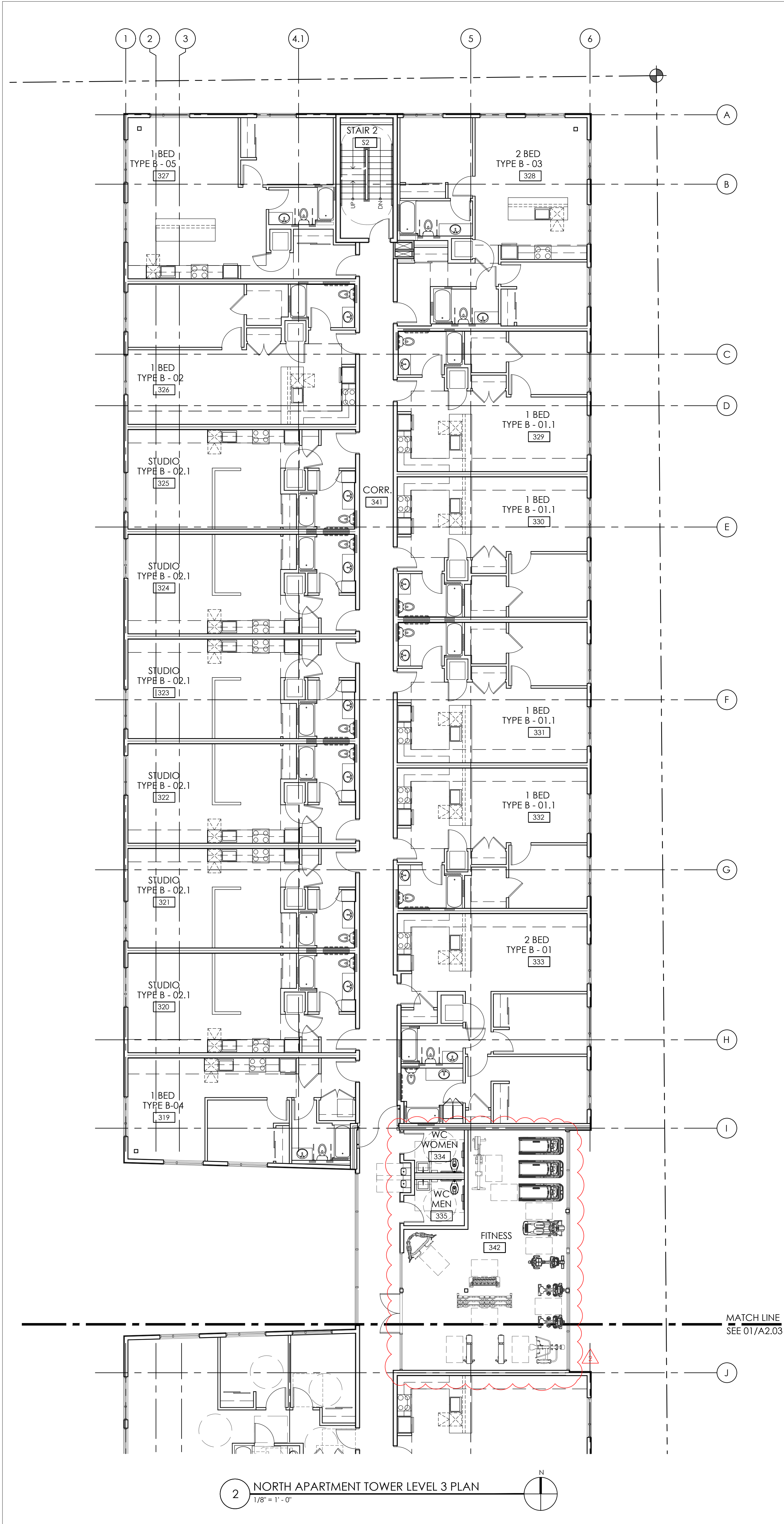
SHEET TITLE

APARTMENT - LEVEL 3
NORTH AND SOUTH TOWER PLANS

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER

A2.03_A



KEY PLAN
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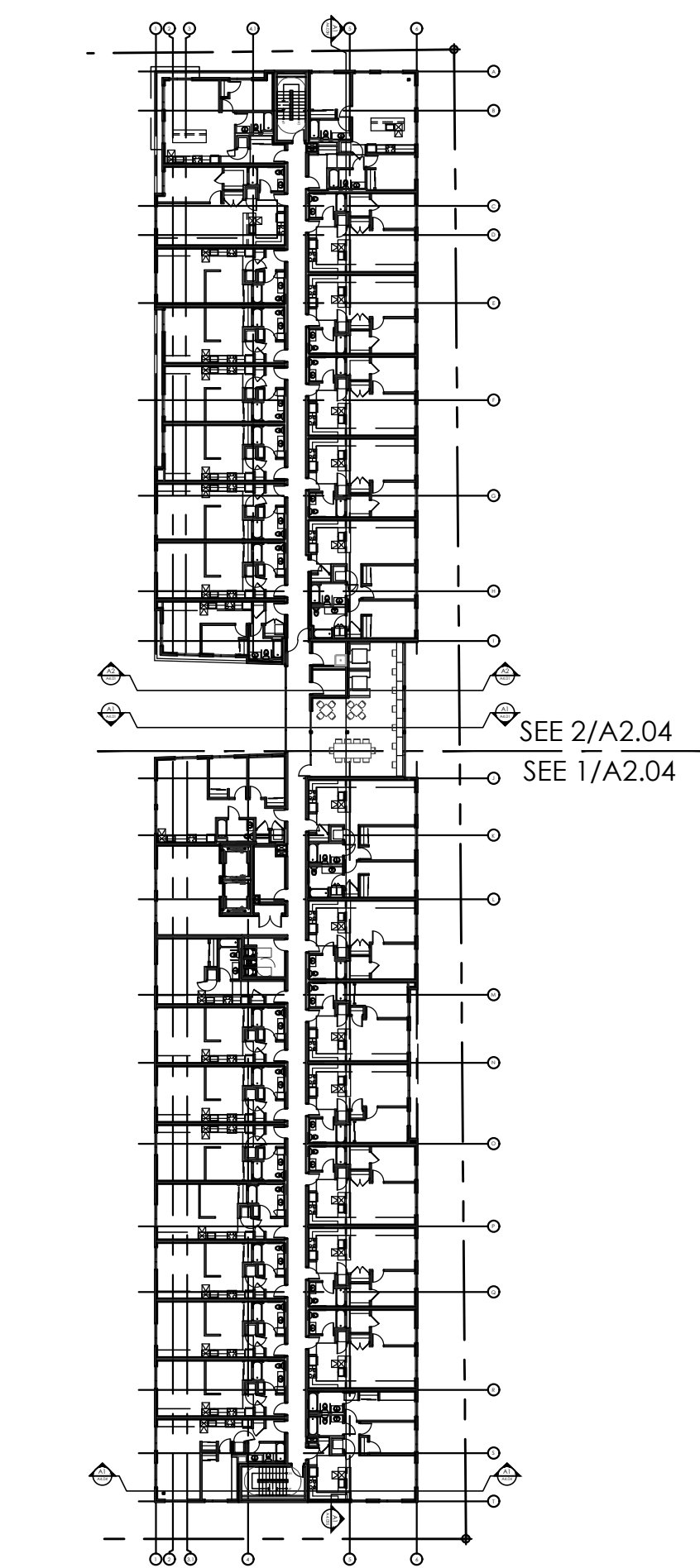
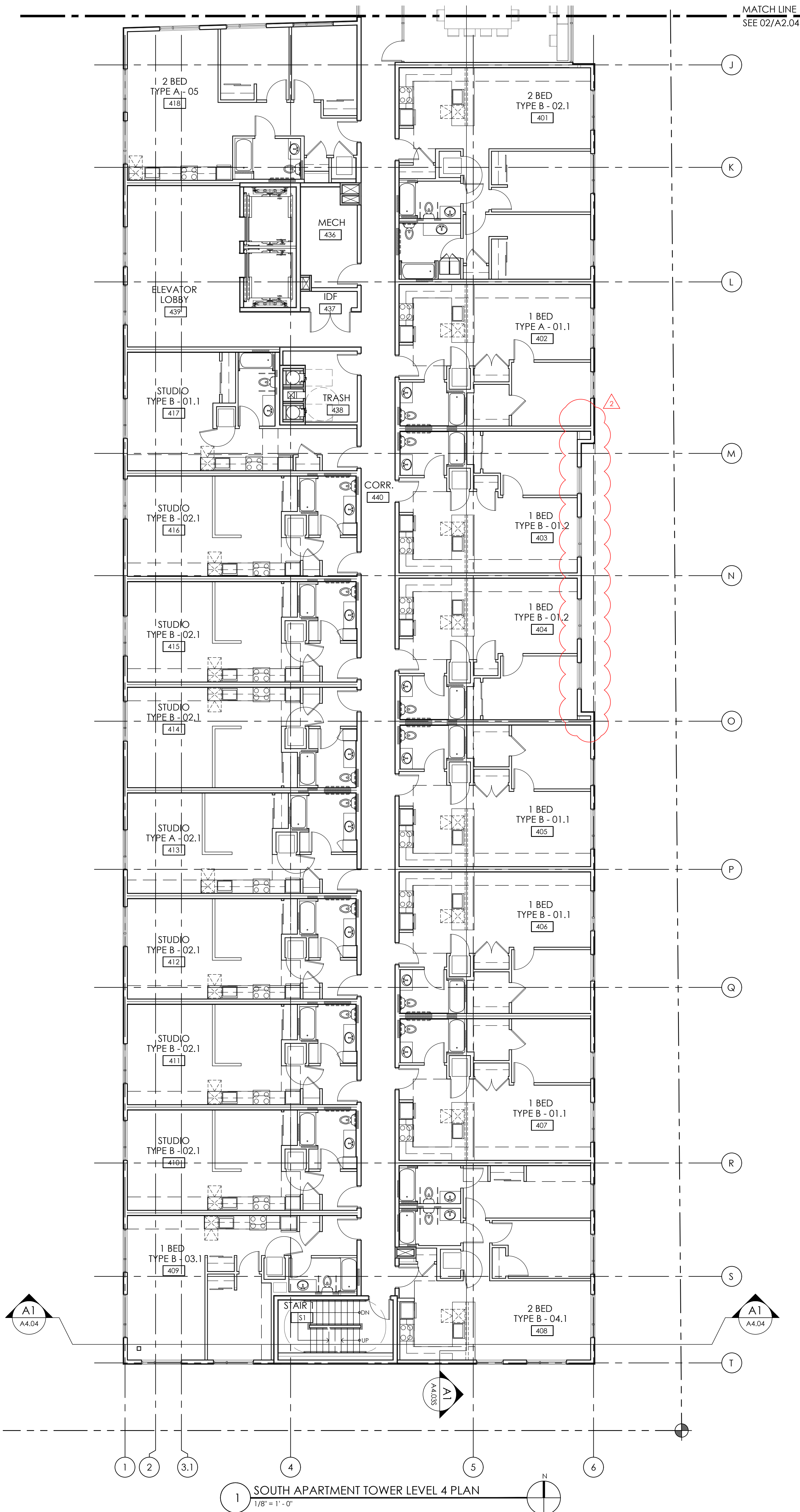
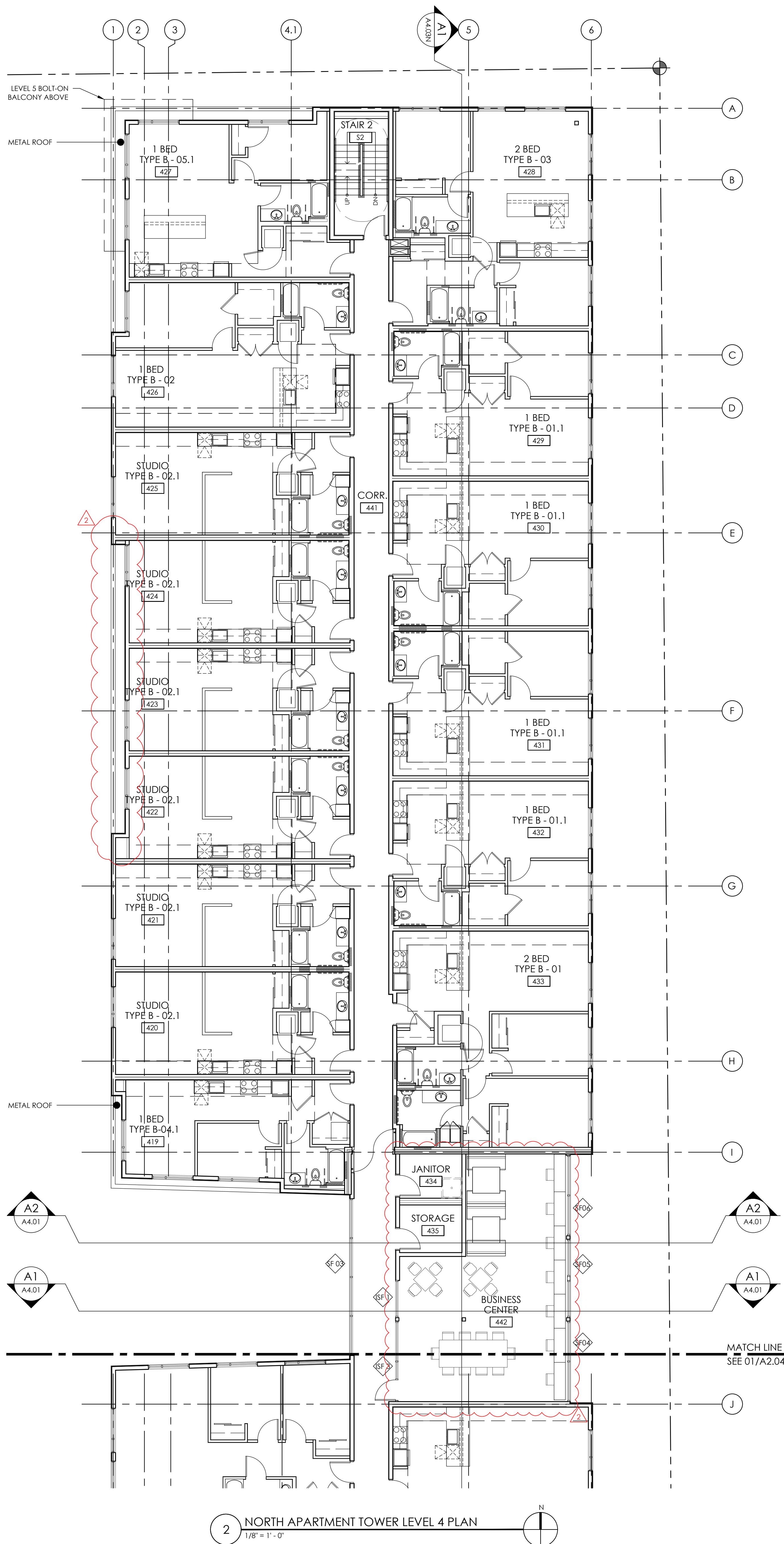
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APARTMENT - LEVEL 4
NORTH AND SOUTH TOWER PLANS

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER

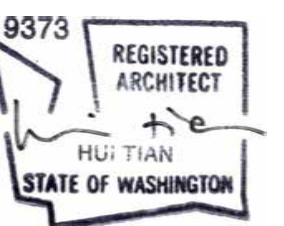
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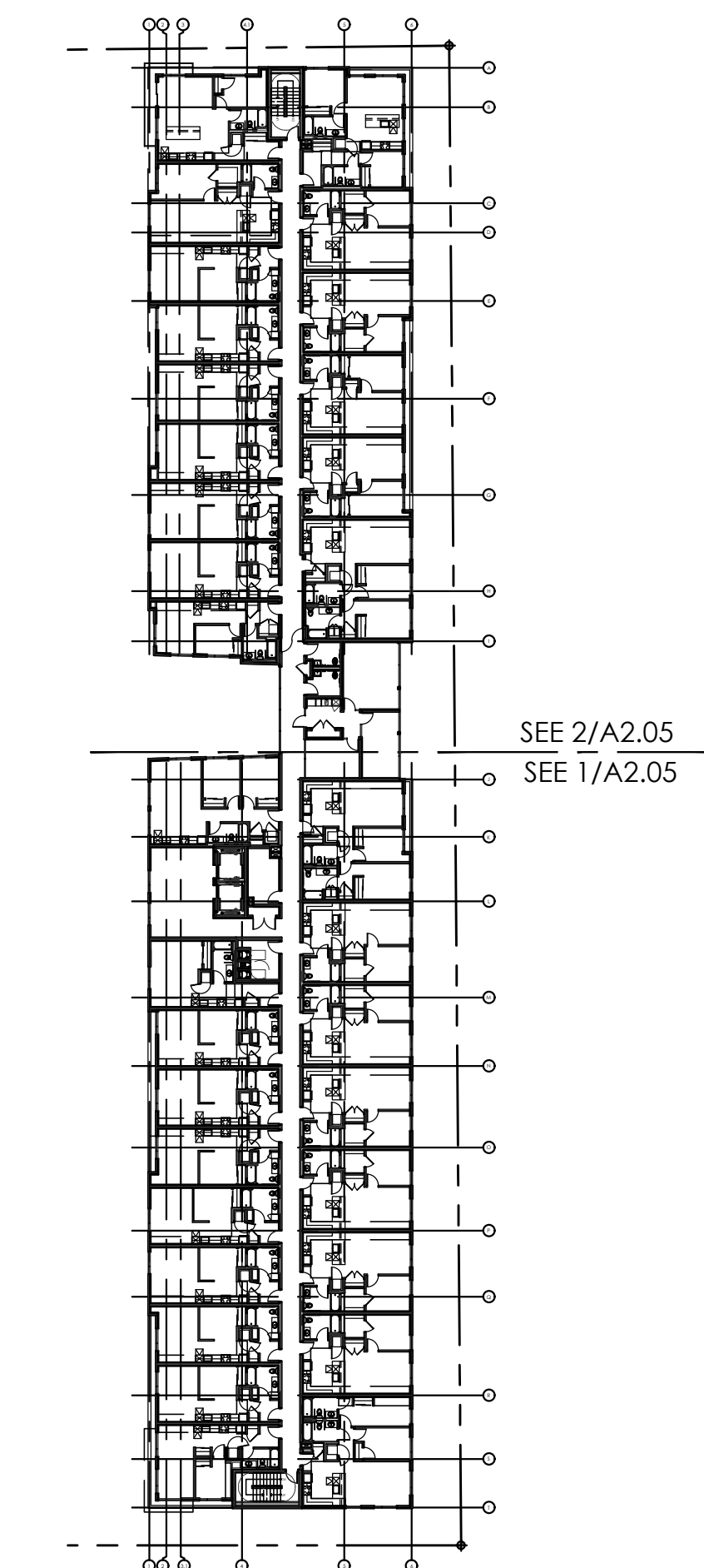
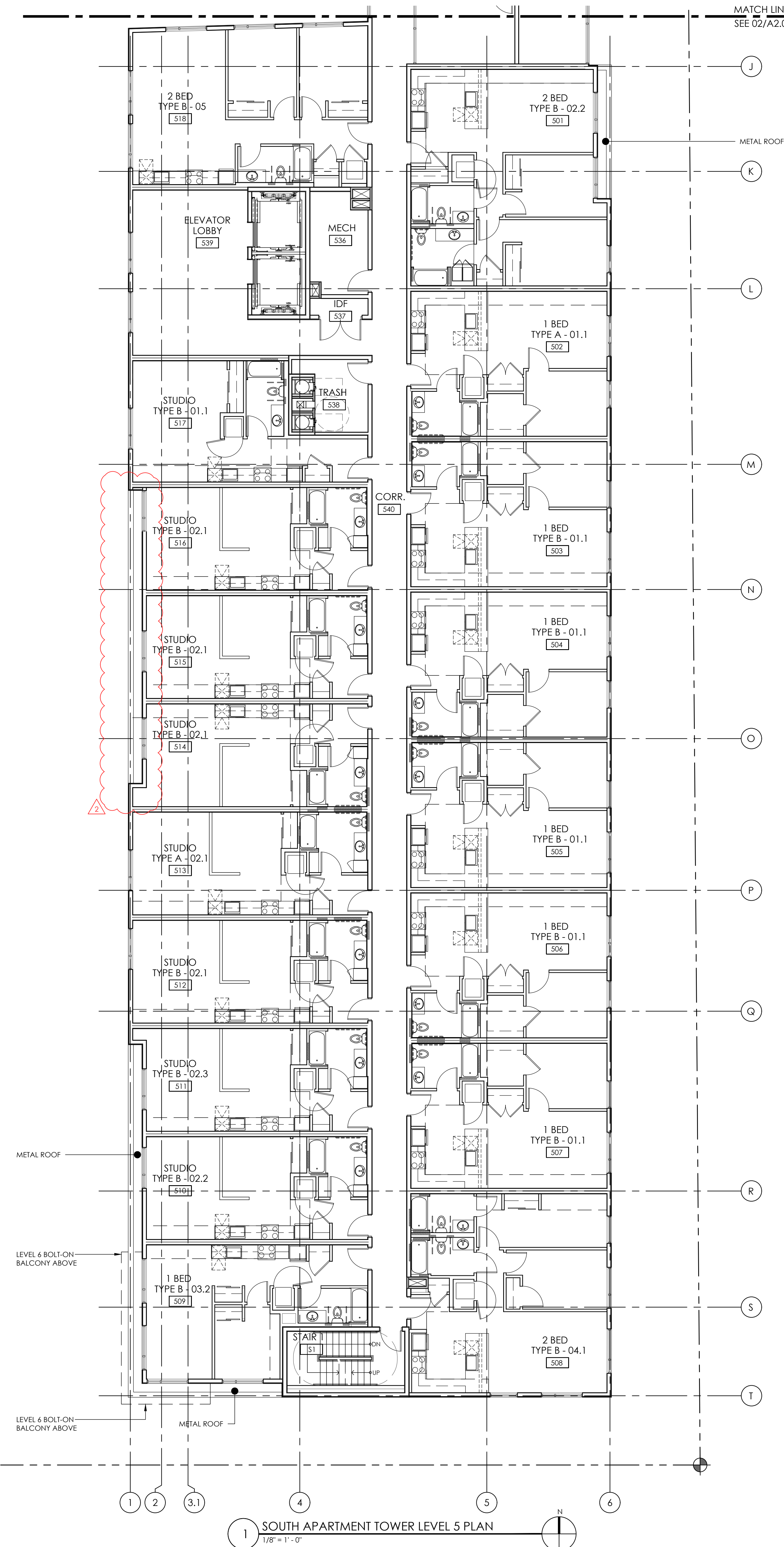
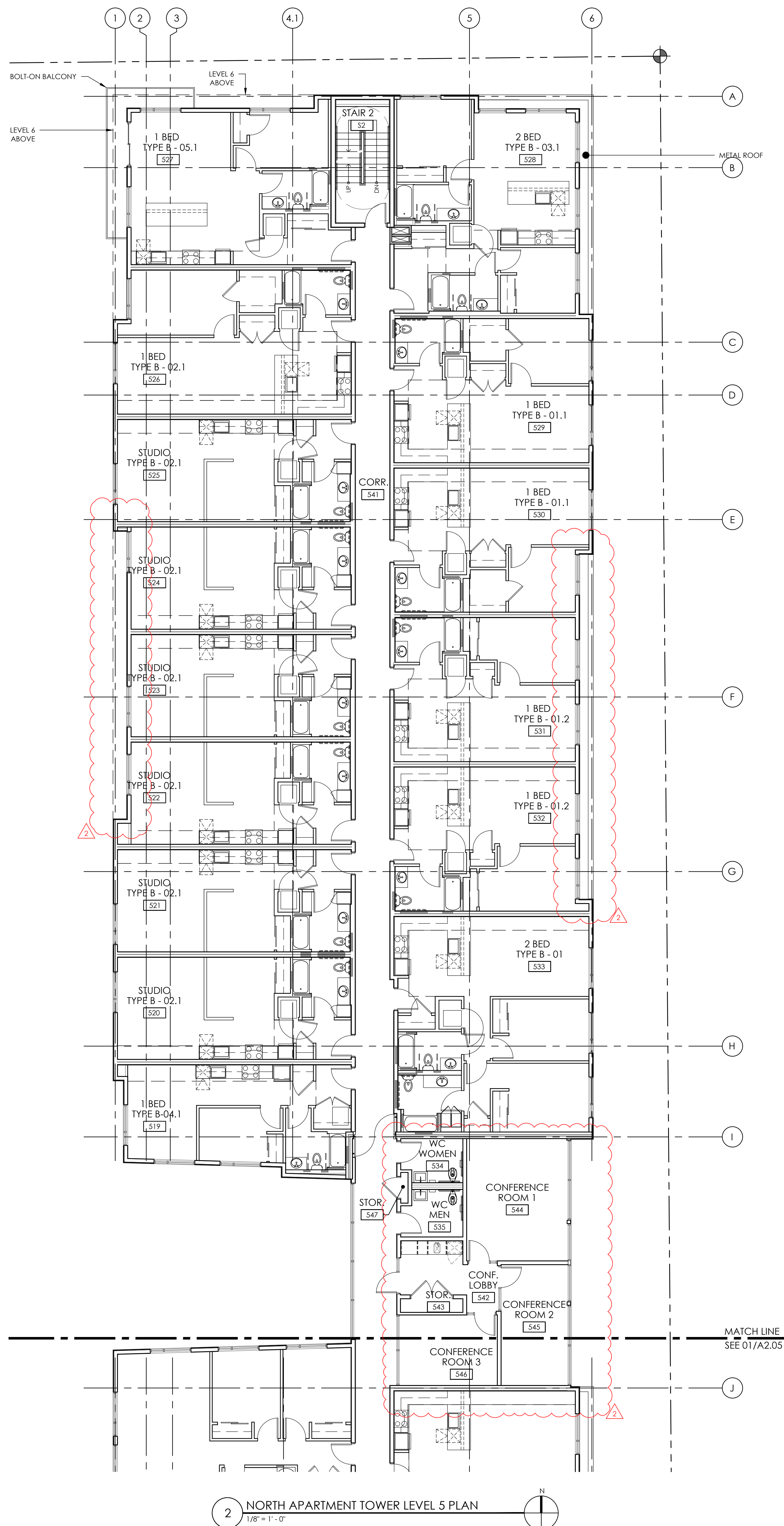
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APARTMENT - LEVEL 5
NORTH AND SOUTH TOWER PLANS

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SHEET NUMBER

A2.05_A



KEY PLAN
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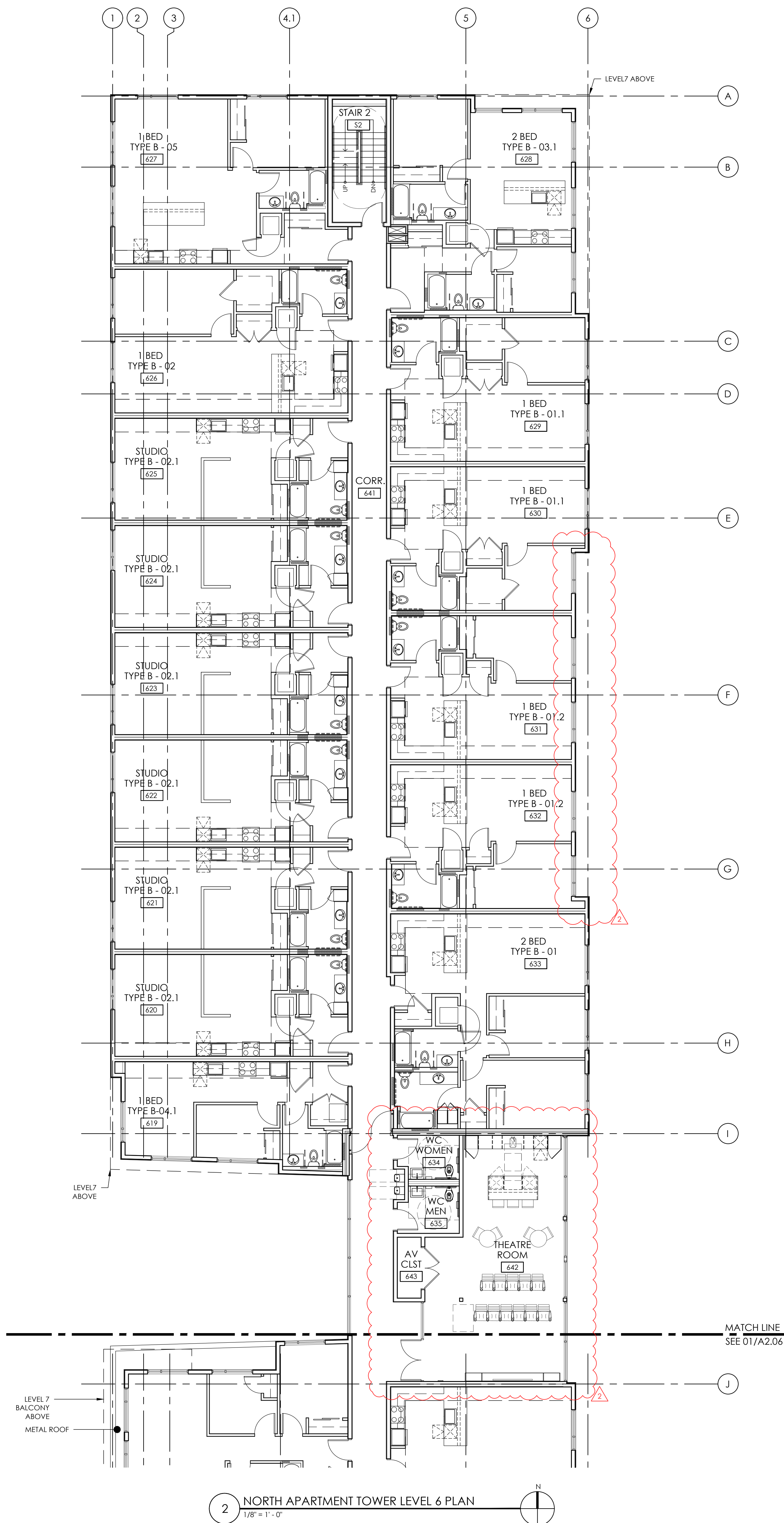
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APARTMENT - LEVEL 6
NORTH AND SOUTH TOWER PLANS

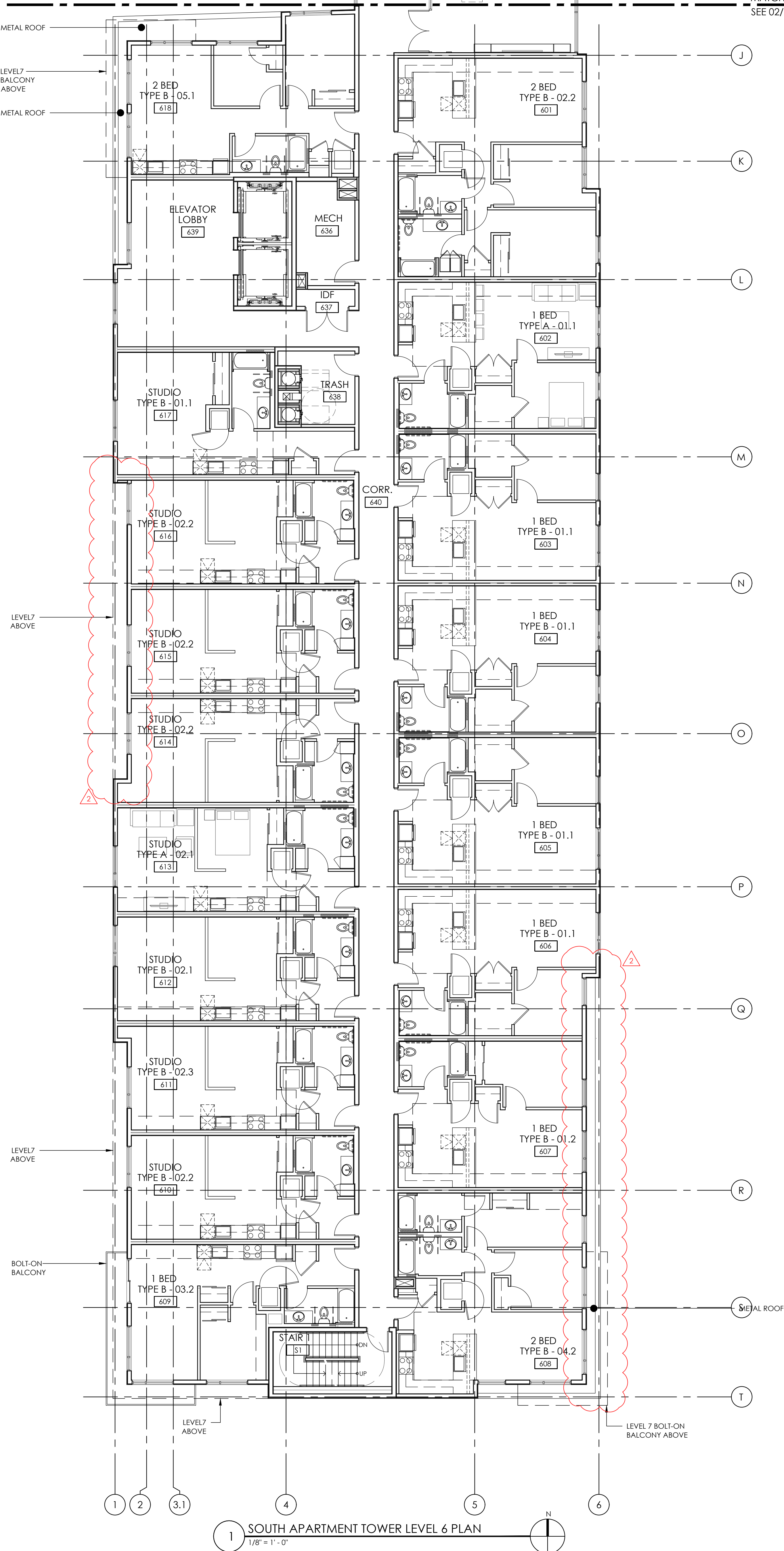
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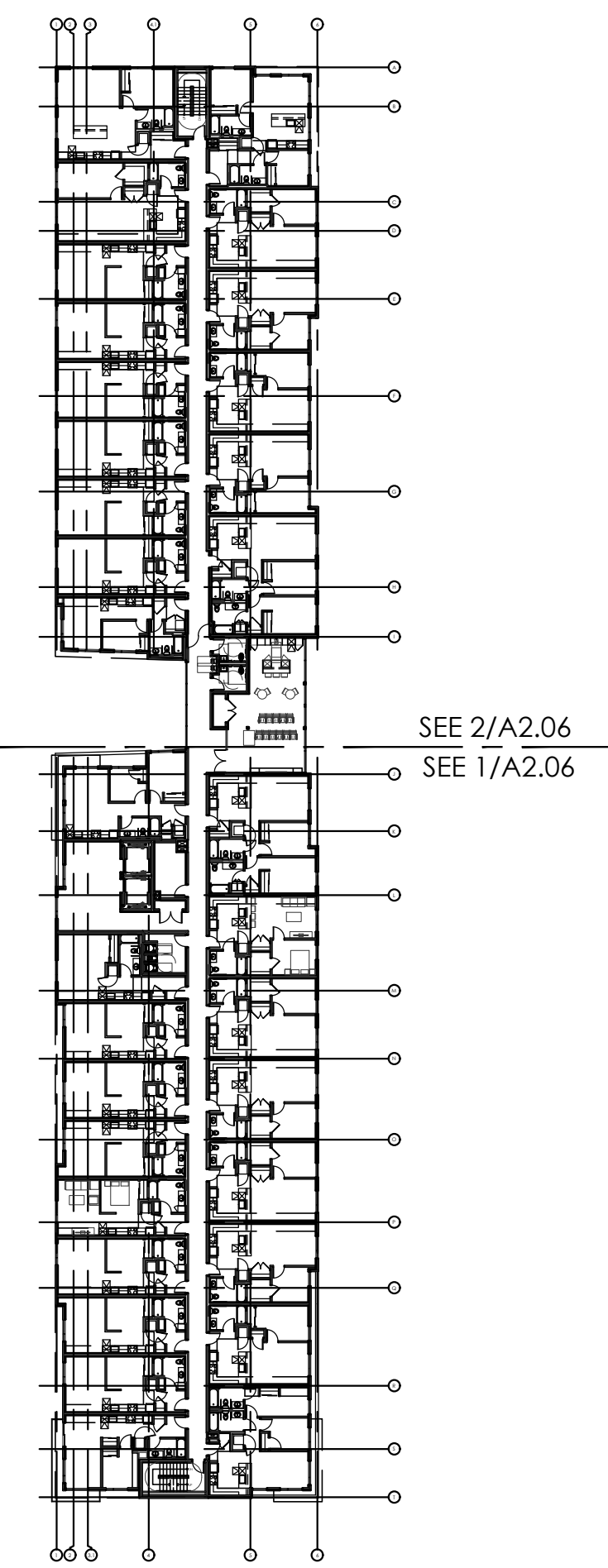


2 NORTH APARTMENT TOWER LEVEL 6 PLAN
1/8" = 1' - 0"



1 SOUTH APARTMENT TOWER LEVEL 6 PLAN
1/8" = 1' - 0"

KEY PLAN
N.T.S.



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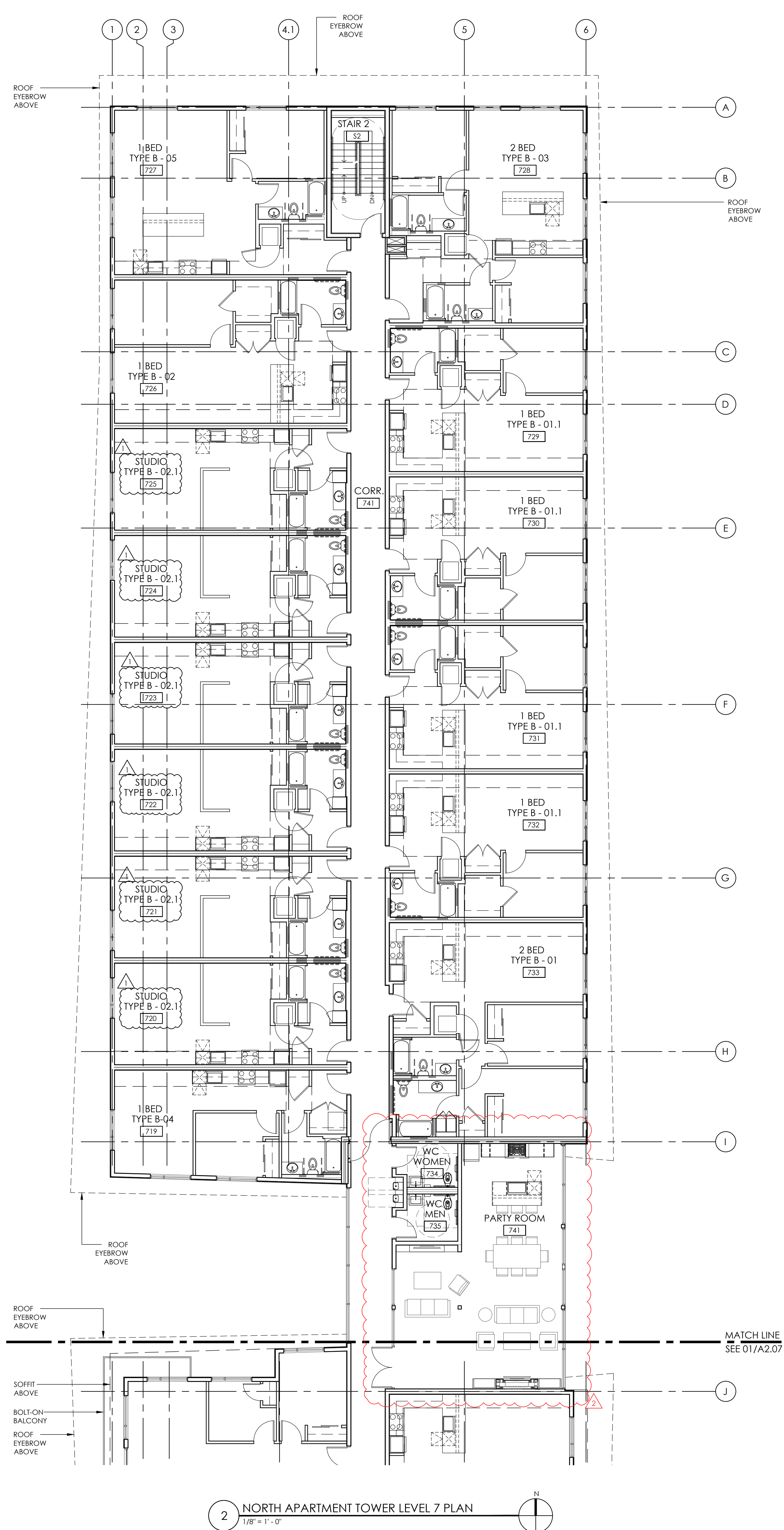
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APARTMENT - LEVEL 7
NORTH AND SOUTH TOWER PLANS

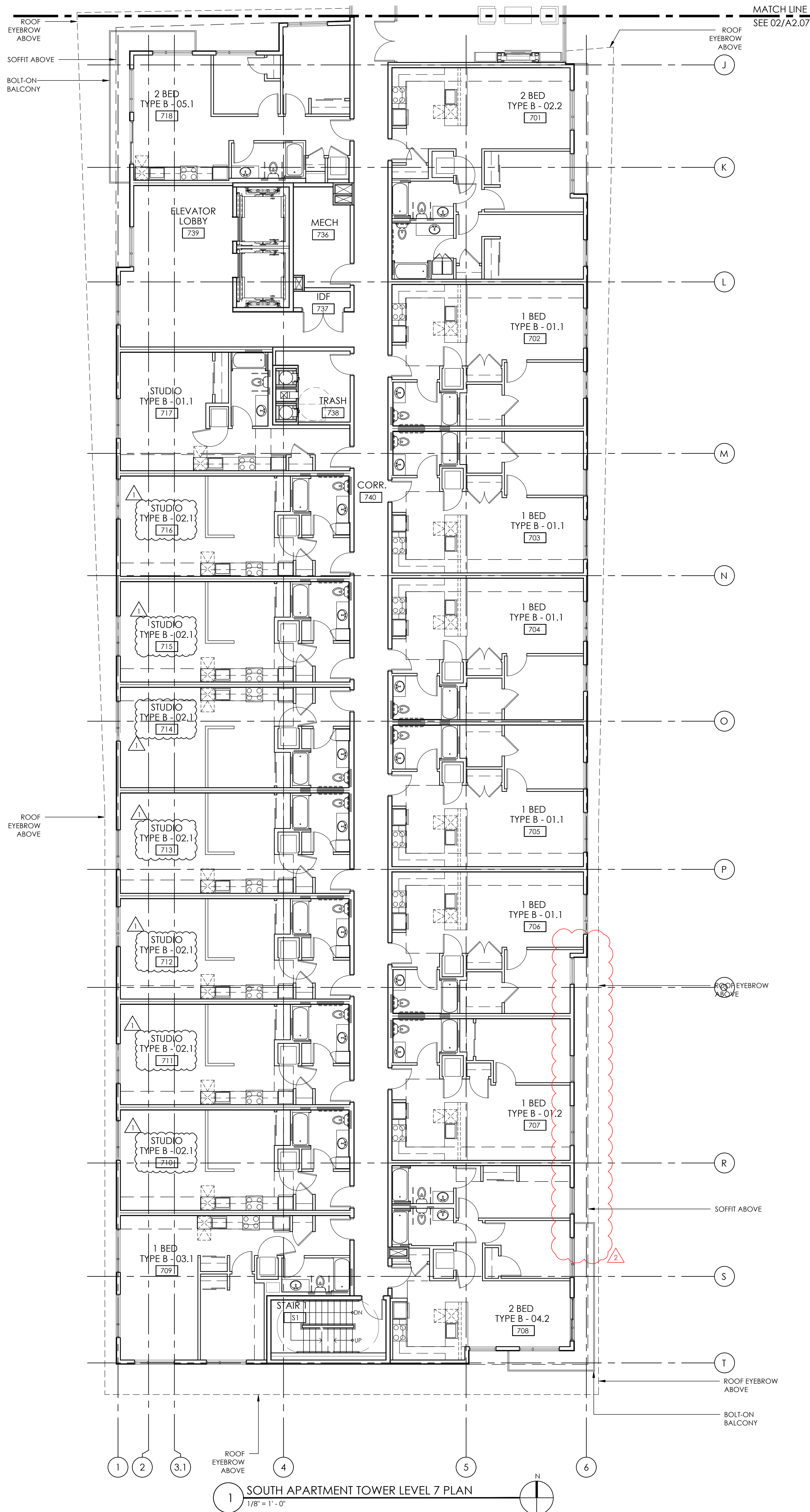
PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER

A2.07_A

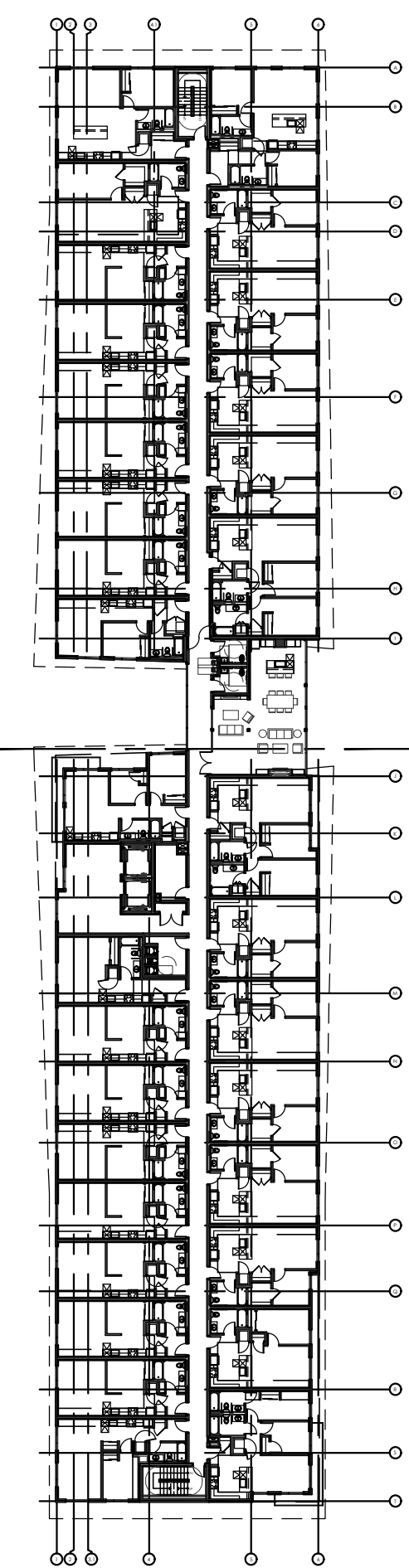


2 NORTH APARTMENT TOWER LEVEL 7 PLAN
1/8" = 1' - 0"



1 SOUTH APARTMENT TOWER LEVEL 7 PLAN
1/8" = 1' - 0"

KEY PLAN
N.T.S.



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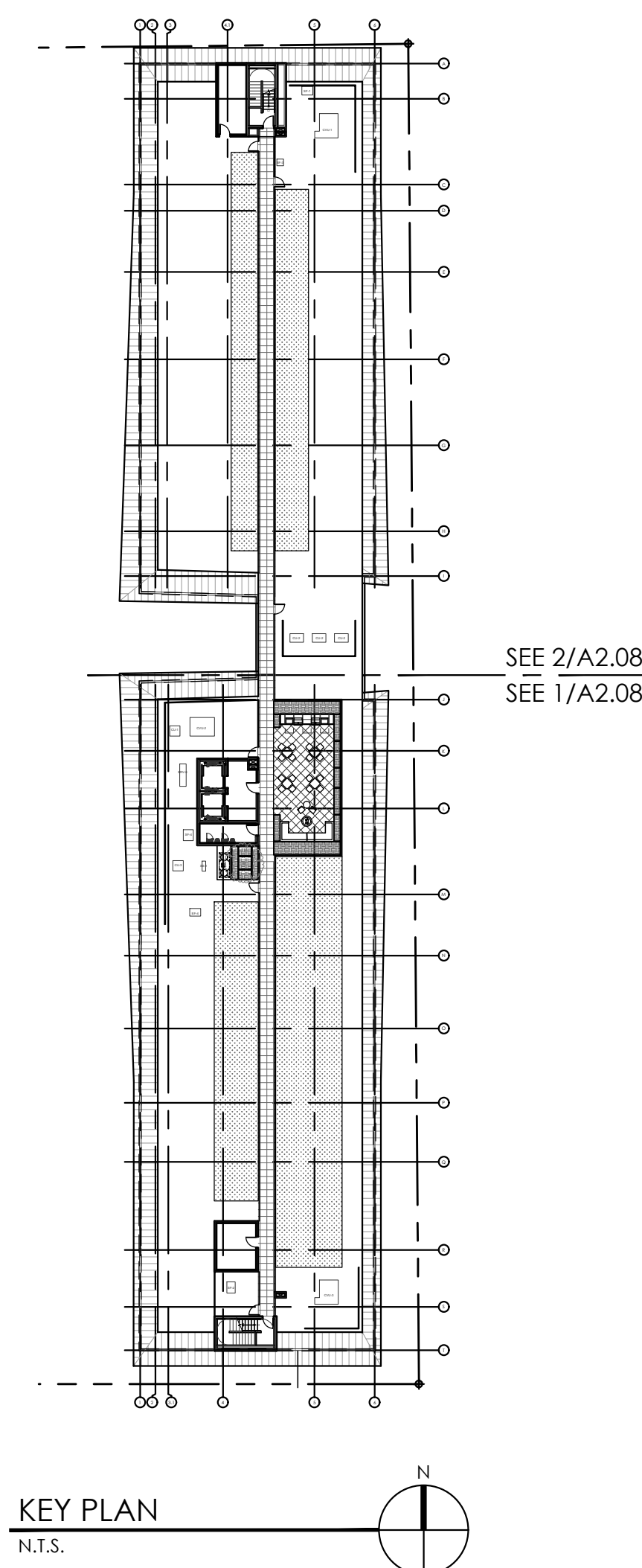
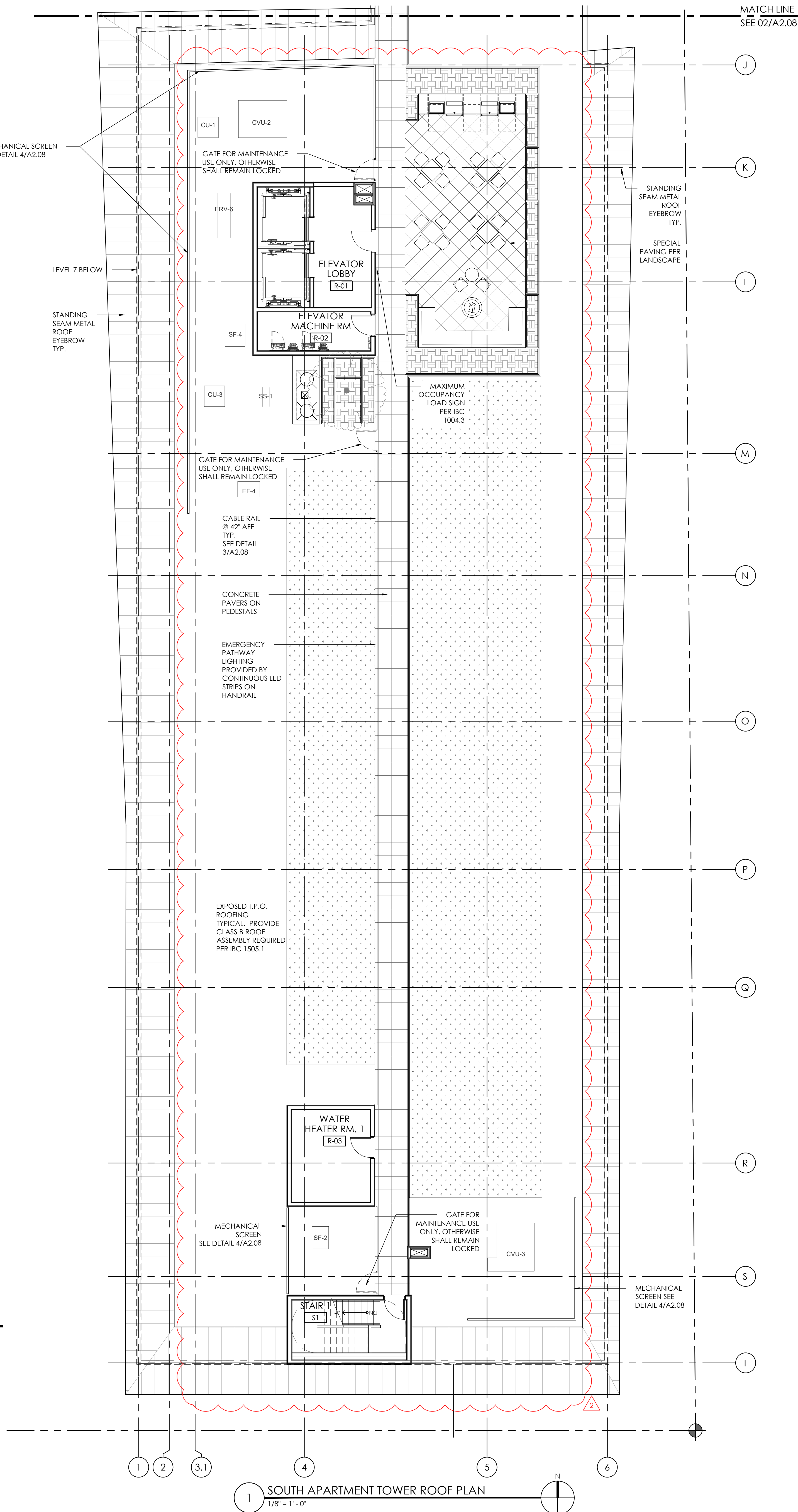
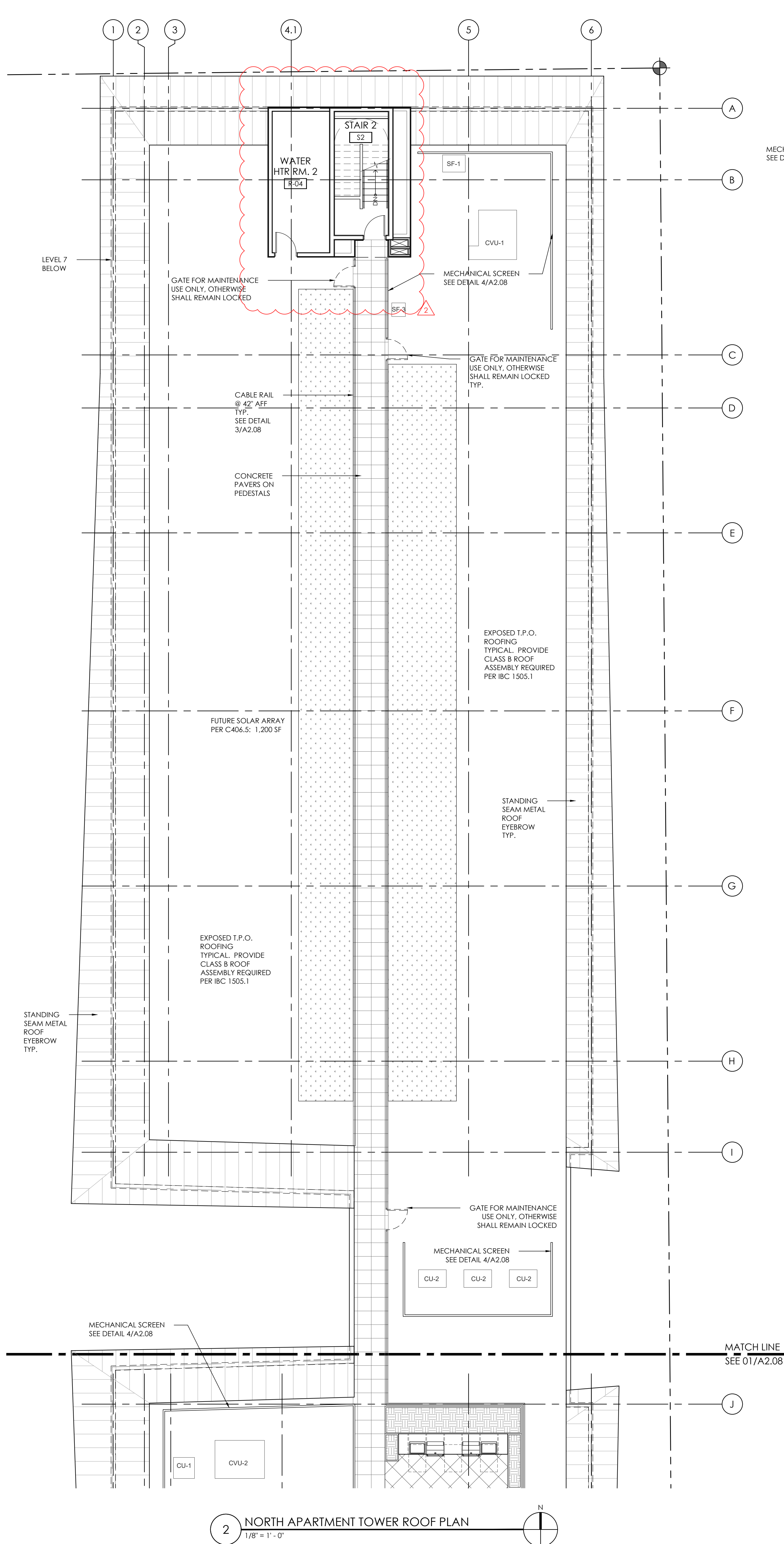
SHEET TITLE

APARTMENT - ROOF LEVEL
NORTH AND SOUTH TOWER PLANS

PROJECT NO. 20201113
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SHEET NUMBER

A2.08_A



TYPICAL ROOF PLAN NOTES:
1. REFER TO A1.01 FOR OUTDOOR
RECREATION SPACE AND OPEN SPACE
CALCULATIONS PER [SMC 15.10.420]

MATCH LINE
SEE 02/A2.08

MATCH LINE
SEE 01/A2.08

2 NORTH APARTMENT TOWER ROOF PLAN
1/8" = 1' - 0"

1 SOUTH APARTMENT TOWER ROOF PLAN
1/8" = 1' - 0"

KEY PLAN
N.T.S.

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KEY NOTES & MATERIAL LEGEND

- 01

FIBER CEMENT PANEL -
OFF-WHITE
- 02

FIBER CEMENT PANEL -
LIGHT GRAY
- 03

METAL FASCIA -
DARK GRAY
- 04

FIBER CEMENT PANEL -
DARK GRAY
- 05

FIBER CEMENT PANEL -
DARK BRONZE FINISH
- 06

METAL FASCIA -
COLOR TO MATCH DARK BRONZE
- 07

ARCHITECTURAL CONCRETE -
PAINTED, COLOR TO MATCH DARK BRONZE
- 08

ARCHITECTURAL CONCRETE -
PAINTED, COLOR TO MATCH OFF-WHITE
- 09

DECORATIVE PATTERN CONCRETE
- 10

METAL PANEL EXTERIOR SOFFIT - LINEAR 12" WIDE PANELS -
COLOR TO MATCH METAL FASCIA; DARK GREY
- 11

HYATT PLACE SIGNAGE
- 12

ALUMINUM WINDOW -
ANODIZED ALUMINUM FINISH
- 13

ALUMINUM STOREFRONT -
ANODIZED ALUMINUM FINISH
- 14

VINYL WINDOW -
PAINTED
- 15

ALUMINUM WINDOW WALL WITH SPANDREL PANEL INFILL -
ANODIZED ALUMINUM FINISH
- 16

CORRUGATED METAL SIDING AND SCREEN -
CHARCOAL GREY
- 17

VTAC LOUVERS -
MATCH WITH FIBER CEMENT PANEL
- 18

METAL PANEL SIDING - LONGBOARD 6" V-GROOVE -
DARK CHERRY
- 19

V-SHAPE STRUCTURE -
LIGHT GRAY
- 20

METAL ROLL-UP DOOR
- 21

METAL DOOR -
COLOR TO MATCH DARK GRAY
- 22

METAL GUARD RAILING WITH GLASS PANEL INFILL -
POWDER COAT BLACK
- 23

TOURNESOL MODULAR LIVING WALL TRELLIS SYSTEM
COLOR: PITCH
- 24

METAL CANOPY WITH METAL FASCIA -
DARK GREY
- 25

METAL CANOPY WITH "C" CHANNEL PERIMETER AND GLASS
INFILL
- 26

CONCRETE WITH FORM LINER FINISH, PATTERN TO BE
SELECTED BY ARCHITECT
- 27

CONCRETE MASONRY UNIT -
BASALITE SMOOTH FACE - LIGHT GREY



1 WEST ELEVATION
1/8" = 1'-0"

ELEVATOR
BULKHEAD



2 SOUTH ELEVATION
1/8" = 1'-0"

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PROJECT #

SHEET TITLE

BUILDING ELEVATIONS

PROJECT NO.

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DATE ISSUED

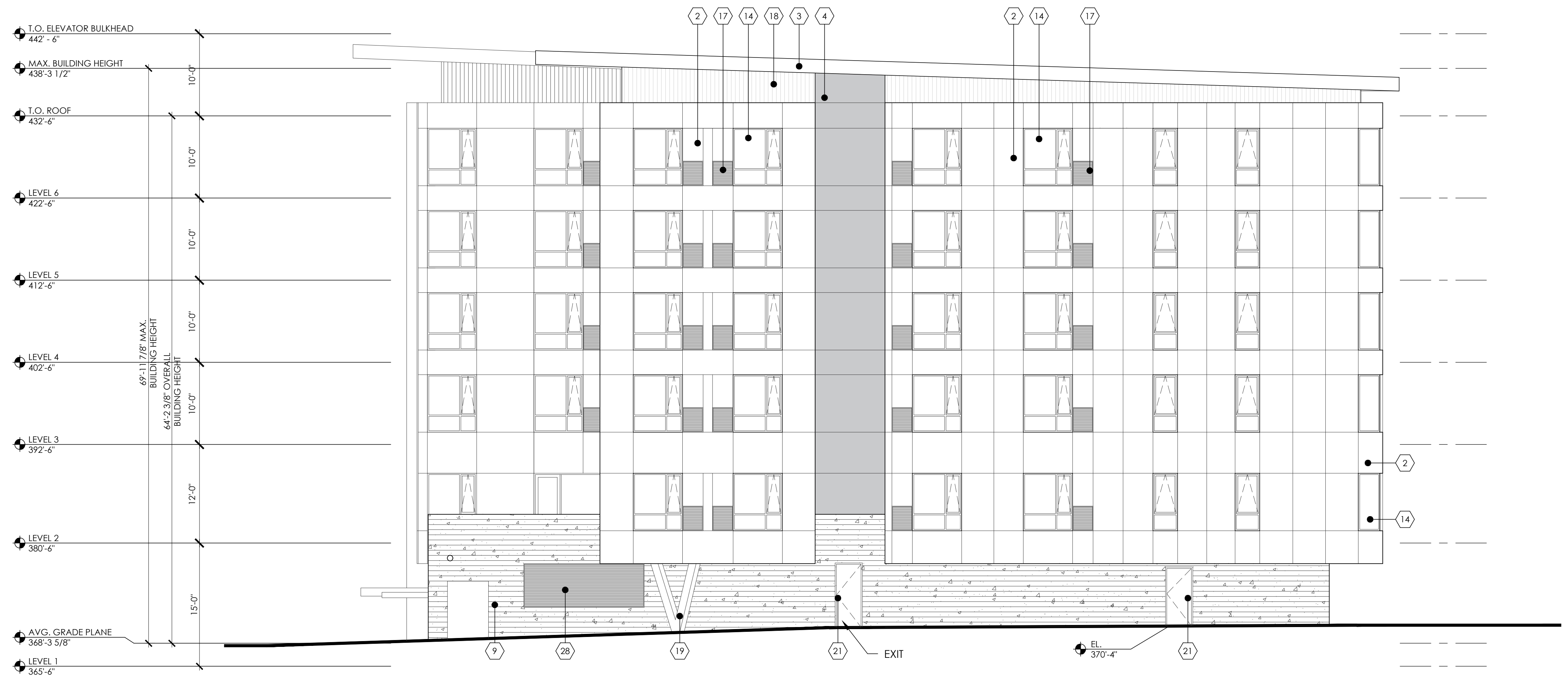
01/28/2021

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A3.01_H

KEY NOTES & MATERIAL LEGEND

- 01 FIBER CEMENT PANEL - OFF-WHITE
- 02 FIBER CEMENT PANEL - LIGHT GRAY
- 03 METAL FASCIA - DARK GRAY
- 04 FIBER CEMENT PANEL - DARK GRAY
- 05 METAL PANEL - DARK BRONZE FINISH
- 06 METAL FASCIA - COLOR TO MATCH DARK BRONZE
- 07 ARCHITECTURAL CONCRETE - PAINTED, COLOR TO MATCH DARK BRONZE
- 08 ARCHITECTURAL CONCRETE - PAINTED, COLOR TO MATCH OFF-WHITE
- 09 DECORATIVE PATTERN CONCRETE
- 10 METAL PANEL EXTERIOR SOFFIT - LINEAR 12" WIDE PANELS - COLOR TO MATCH METAL FASCIA; DARK GREY
- 11 HYATT PLACE SIGNAGE
- 12 ALUMINUM WINDOW - ANODIZED ALUMINUM FINISH
- 13 ALUMINUM STOREFRONT - ANODIZED ALUMINUM FINISH
- 14 VINYL WINDOW - PAINTED
- 15 ALUMINUM WINDOW WALL WITH SPANDREL PANEL INFILL - ANODIZED ALUMINUM FINISH
- 16 CORRUGATED METAL SIDING AND SCREEN - CHARCOAL GREY
- 17 VTAC LOUVERS - MATCH WITH FIBER CEMENT PANEL
- 18 METAL PANEL SIDING - LONGBOARD 6: V-GROOVE - DARK CHERRY
- 19 V-SHAPE STRUCTURE - LIGHT GRAY
- 20 METAL ROLL-UP DOOR
- 21 METAL DOOR - COLOR TO MATCH DARK GRAY
- 22 METAL GUARD RAILING WITH GLASS PANEL INFILL - POWDER COAT BLACK
- 23 TOURNESOL MODULAR LIVING WALL TRELLIS SYSTEM - COLOR: PITCH
- 24 METAL CANOPY WITH METAL FASCIA - DARK GRAY
- 25 METAL CANOPY WITH "C" CHANNEL PERIMETER AND GLASS INFILL
- 26 CONCRETE WITH FORM LINER FINISH, PATTERN TO BE SELECTED BY ARCHITECT
- 27 CONCRETE MASONRY UNIT - BASALTITE SMOOTH FACE - LIGHT GREY



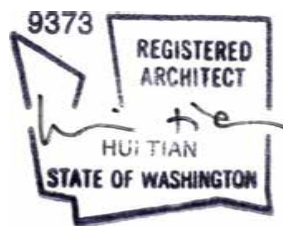
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

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SHEET TITLE

BUILDING ELEVATIONS

PROJECT NO.

20201113

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BUILDING ELEVATIONS - APARTMENTS

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A3.01_A

ELEVATION GENERAL NOTES:

- SEE SHEET G1.02 FOR HEIGHT LIMIT CALCULATION.
- REFER TO A4.01 FOR BUILDING SECTIONS.
- REFER TO WINDOW SCHEDULE FOR WINDOWS & STOREFRONT DIMENSIONS.
- WHERE ELEVATION AND WINDOW SCHEDULE CONFLICTS, WINDOW SCHEDULE TAKES PRECEDENT.

KEY NOTES

- VINYL WINDOW
- ALUMINUM STOREFRONT SYSTEM - ANODIZED ALUMINUM FINISH
- METAL CANOPY
- ALUMINUM BALCONY
- HOLLOW METAL DOOR - PAINTED TO MATCH ADJACENT FINISH
- GARAGE ENTRANCE DOOR
- LOUVERED METAL VENT
- DECORATIVE PATTERN CONCRETE
- CONCRETE MASONRY UNIT BASALITE - SMOOTH FACE - EBONY
- METAL RAILING AND GUARD - POWDER COAT BLACK
- BREAK METAL FASCIA - COLOR TO MATCH ADJACENT FIBER CEMENT PANEL 02 - GREY
- PERFORATED CORTEN METAL PANEL ARTWORK WITH BACKLIGHT
- METAL PANEL SOFFIT - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY
- METAL PANEL SIDING - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY
- FIBER CEMENT PANEL - 01 COLOR: WHITE
- FIBER CEMENT PANEL - 02 COLOR: GREY
- METAL PANEL - COLOR TO MATCH ADJACENT STOREFRONT FINISH
- FIBER CEMENT PANEL SOFFIT - COLOR TO MATCH FIBER CEMENT PANEL 01 - WHITE
- METAL SCREEN DOOR
- ARCHITECTURAL CONCRETE COLUMNS
- METAL GUARDRAIL - CLEAR ANODIZED ALUMINUM FINISH
- CORRUGATED METAL SCREEN - AIP SPAN - HRS-36 COLOR: VINTAGE
- STANDING SEAM METAL ROOF - AIP DESIGN SPAN COLOR: VINTAGE
- ALUMINUM STOREFRONT SYSTEM - DARK BRONZE
- UNIT EXHAUST SHROUD - COLOR TO MATCH ADJACENT FINISH
- CEDAR SLATED TRASH ENCLOSURE GATES
- EXTERIOR WALL SCIENCE - SILVER / GRAY
- EXTERIOR STEP LIGHT - SILVER / GRAY
- EXTERIOR BOLLARD LIGHT - SILVER / GRAY



2 NORTH TOWER - PARTIAL WEST ELEVATION
1/8" = 1' - 0"



1 OVERALL WEST ELEVATION
1/16" = 1' - 0"

CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

SHEET ISSUE

DATE	DESCRIPTION
01/28/2021	SITE PLAN REVIEW
11/19/2021	1ST COMMENT LETTER RESPONSES
05/04/2022	2ND COMMENT LETTER RESPONSES

MARK DATE DESCRIPTION

MUNICIPALITY REVIEW

PROJECT #

SHEET TITLE

BUILDING ELEVATIONS - APARTMENTS

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

SHEET NUMBER

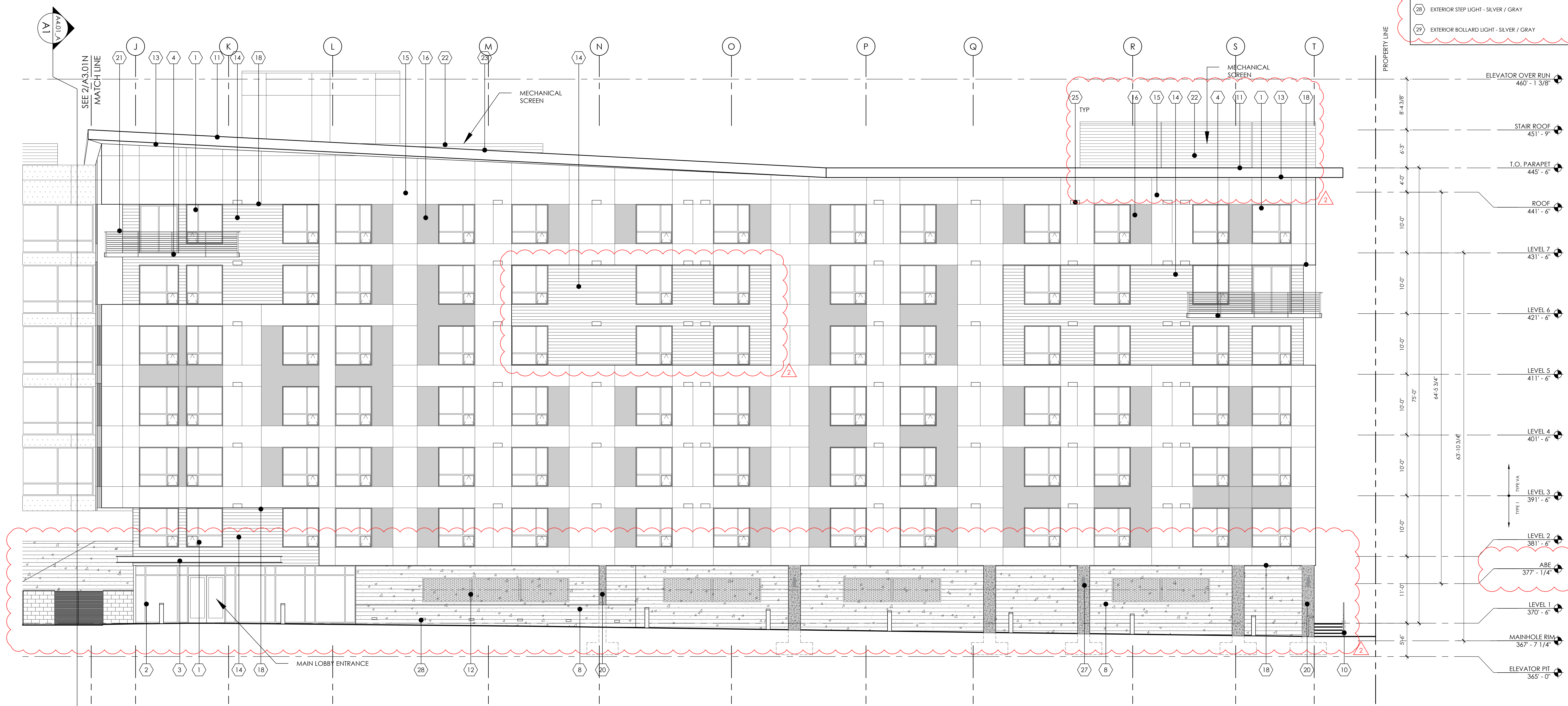
A3.02_A

ELEVATION GENERAL NOTES:

- SEE SHEET G1.02 FOR HEIGHT LIMIT CALCULATION.
- REFER TO A4.01 FOR BUILDING SECTIONS.
- REFER TO WINDOW SCHEDULE FOR WINDOWS & STOREFRONT DIMENSIONS.
- WHERE ELEVATION AND WINDOW SCHEDULE CONFLICTS, WINDOW SCHEDULE TAKES PRECEDENT.

KEY NOTES

- VINYL WINDOW
- ALUMINUM STOREFRONT SYSTEM - ANODIZED ALUMINUM FINISH
- METAL CANOPY
- ALUMINUM BALCONY
- HOLLOW METAL DOOR - PAINTED TO MATCH ADJACENT FINISH
- GARAGE ENTRANCE DOOR
- LOUVERED METAL VENT
- DECORATIVE PATTERN CONCRETE
- CONCRETE MASONRY UNIT BASALT - SMOOTH FACE - EBONY
- METAL BALING AND GUARD - POWDER COAT BLACK
- BREAK METAL FASCIA - COLOR TO MATCH ADJACENT FIBER CEMENT PANEL 02 - GREY
- PERFORATED CORTEN METAL PANEL ARTWORK WITH BACKLIGHT
- METAL PANEL SOFFIT - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY
- METAL PANEL SIDING - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY
- FIBER CEMENT PANEL - 01 COLOR: GREY
- FIBER CEMENT PANEL - 02 COLOR: GREY
- METAL PANEL - COLOR TO MATCH ADJACENT STOREFRONT FINISH
- FIBER CEMENT PANEL SOFFIT - COLOR TO MATCH FIBER CEMENT PANEL 01 - WHITE
- METAL SCREEN DOOR
- ARCHITECTURAL CONCRETE COLUMNS
- METAL GUARDRAIL - CLEAR ANODIZED ALUMINUM FINISH
- CORRUGATED METAL SCREEN - ASP SPAN - HRS&H COLOR: VINTAGE
- STANDING SEAM METAL ROOF - ASP DESIGN SPAN COLOR: VINTAGE
- ALUMINUM STOREFRONT SYSTEM - DARK BRONZE
- UNIT EXHAUST SHROUD - COLOR TO MATCH ADJACENT FINISH
- CEDAR SLATTED TRASH ENCLOSURE GATES
- EXTERIOR WALL SCONCE - SILVER / GRAY
- EXTERIOR STEP LIGHT - SILVER / GRAY
- EXTERIOR BOLLARD LIGHT - SILVER / GRAY



1 SOUTH TOWER - PARTIAL WEST ELEVATION
1/8" = 1' - 0"

CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

SHEET ISSUE

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MUNICIPALITY REVIEW

PROJECT #

SHEET TITLE

BUILDING ELEVATIONS - APARTMENTS

PROJECT NO. 20201113
DATE ISSUED 01/28/2021

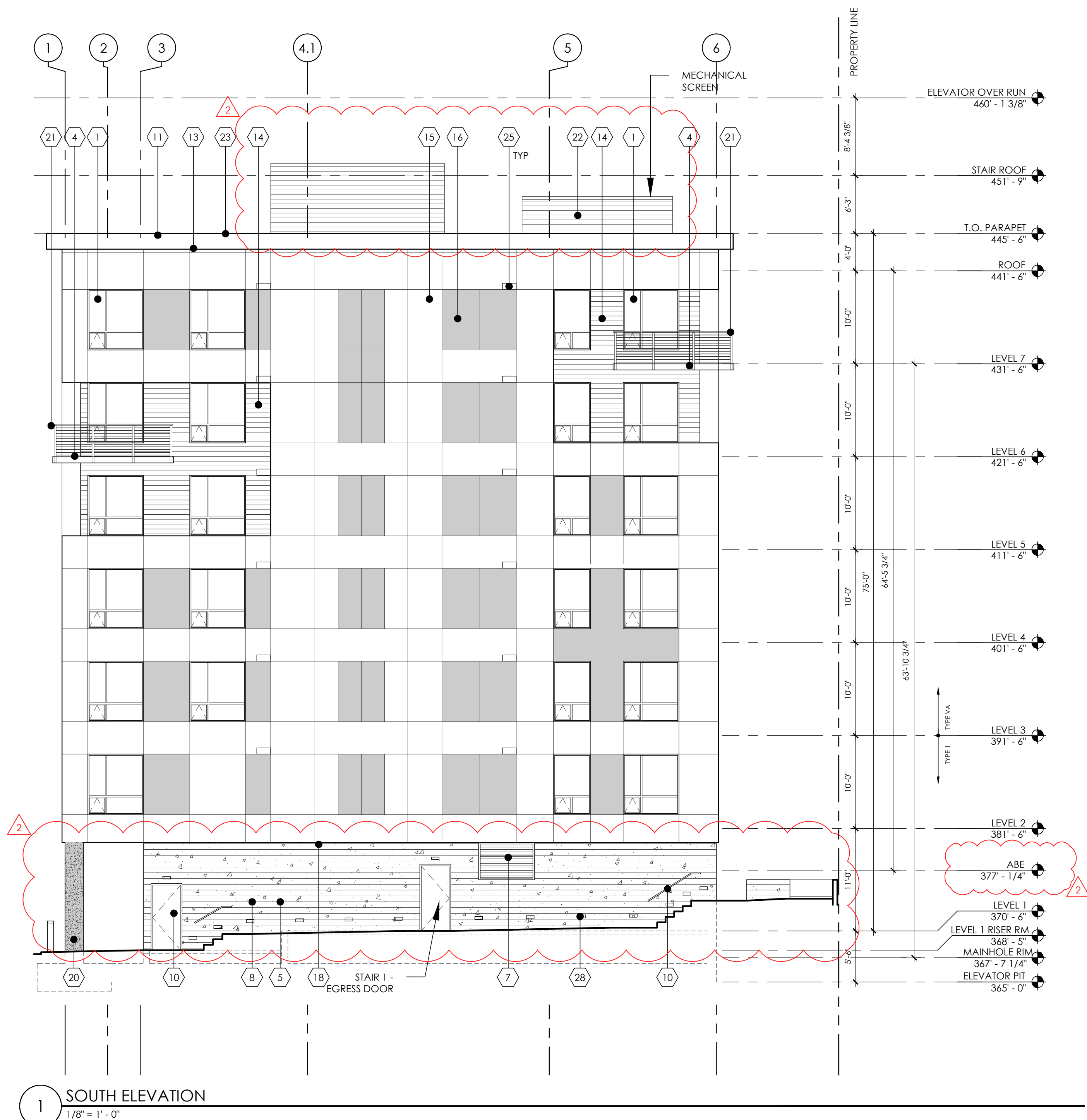
SHEET NUMBER A3.03_A

ELEVATION GENERAL NOTES:

- SEE SHEET G1.02 FOR HEIGHT LIMIT CALCULATION.
- REFER TO A4.01 FOR BUILDING SECTIONS.
- REFER TO WINDOW SCHEDULE FOR WINDOWS & STOREFRONT DIMENSIONS.
- WHERE ELEVATION AND WINDOW SCHEDULE CONFLICTS, WINDOW SCHEDULE TAKES PRECEDENT.

KEY NOTES

- VINYL WINDOW
- ALUMINUM STOREFRONT SYSTEM - ANODIZED ALUMINUM FINISH
- METAL CANOPY
- ALUMINUM BALCONY
- HOLLOW METAL DOOR - PAINTED TO MATCH ADJACENT FINISH
- GARAGE ENTRANCE DOOR
- LOUVERED METAL VENT
- DECORATIVE PATTERN CONCRETE
- CONCRETE MASONRY UNIT BASALITE - SMOOTH FACE - EBONY
- METAL RAILING AND GUARD - POWDER COAT BLACK
- BREAK METAL FASCIA - COLOR TO MATCH ADJACENT FIBER CEMENT PANEL 02 - GREY
- PERFORATED CORTEN METAL PANEL ARTWORK WITH BACKLIGHT
- METAL PANEL SOFFIT - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY
- METAL PANEL SIDING - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY
- FIBER CEMENT PANEL - 01 COLOR: WHITE
- FIBER CEMENT PANEL - 02 COLOR: GREY
- METAL PANEL - COLOR TO MATCH ADJACENT STOREFRONT FINISH
- FIBER CEMENT PANEL SOFFIT - COLOR TO MATCH FIBER CEMENT PANEL 01 - WHITE
- METAL SCREEN DOOR
- ARCHITECTURAL CONCRETE COLUMNS
- METAL GUARDRAIL - CLEAR ANODIZED ALUMINUM FINISH
- CORRUGATED METAL SCREEN - AEP SPAN - HR-36 COLOR: VINTAGE
- STANDING SEAM METAL ROOF - AEP DESIGN SPAN COLOR: VINTAGE
- ALUMINUM STOREFRONT SYSTEM - DARK BRONZE
- UNIT EXHAUST SHROUD - COLOR TO MATCH ADJACENT FINISH
- CEDAR SLATED TRASH ENCLOSURE GATES
- EXTERIOR WALL SCIENCE - SILVER / GRAY
- EXTERIOR STEP LIGHT - SILVER / GRAY
- EXTERIOR BOLLARD LIGHT - SILVER / GRAY



CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

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MUNICIPALITY REVIEW

PROJECT #

SHEET TITLE

BUILDING ELEVATIONS - APARTMENTS

PROJECT NO.

20201113

DATE ISSUED

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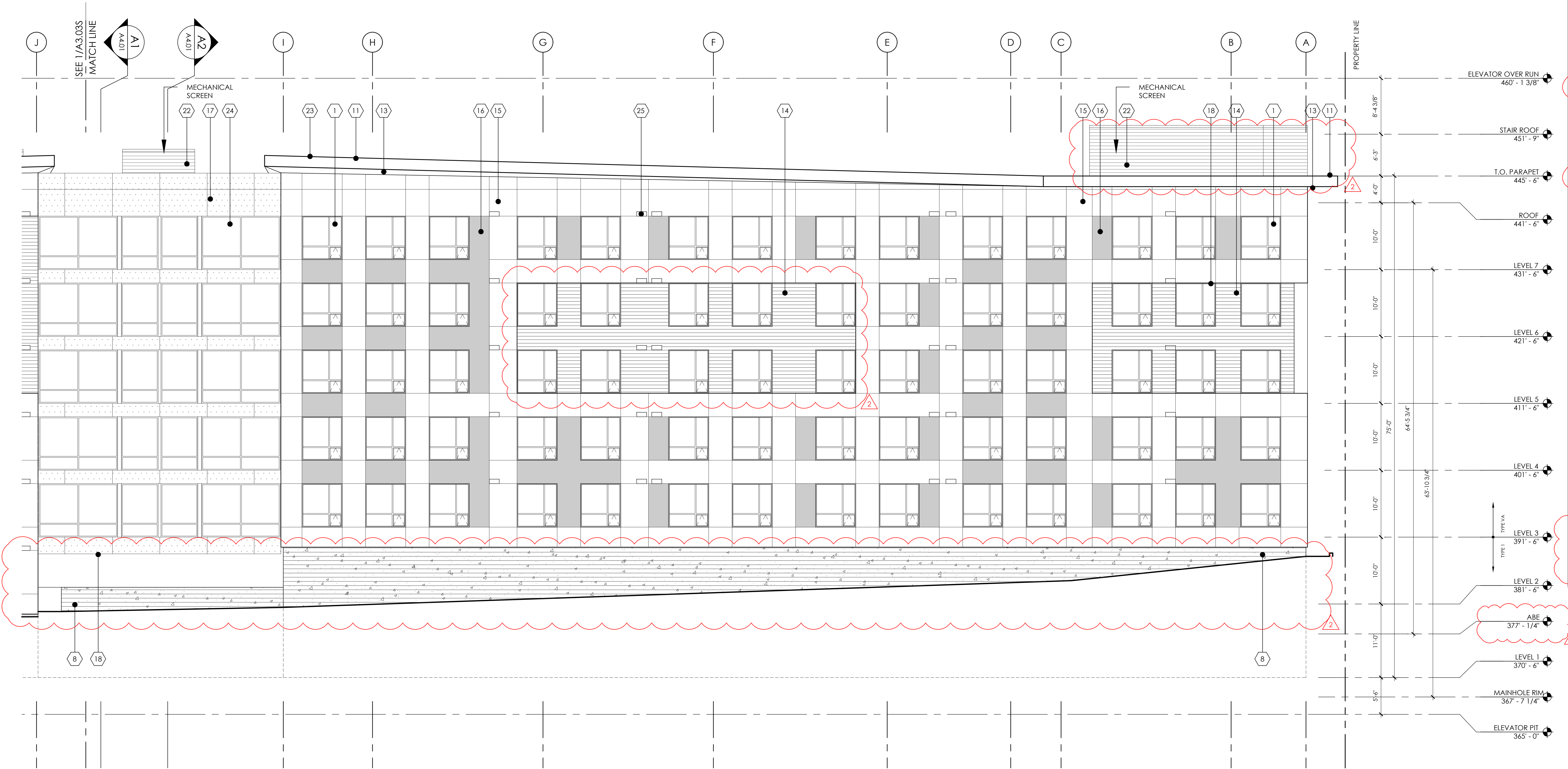
A3.04_A

ELEVATION GENERAL NOTES:

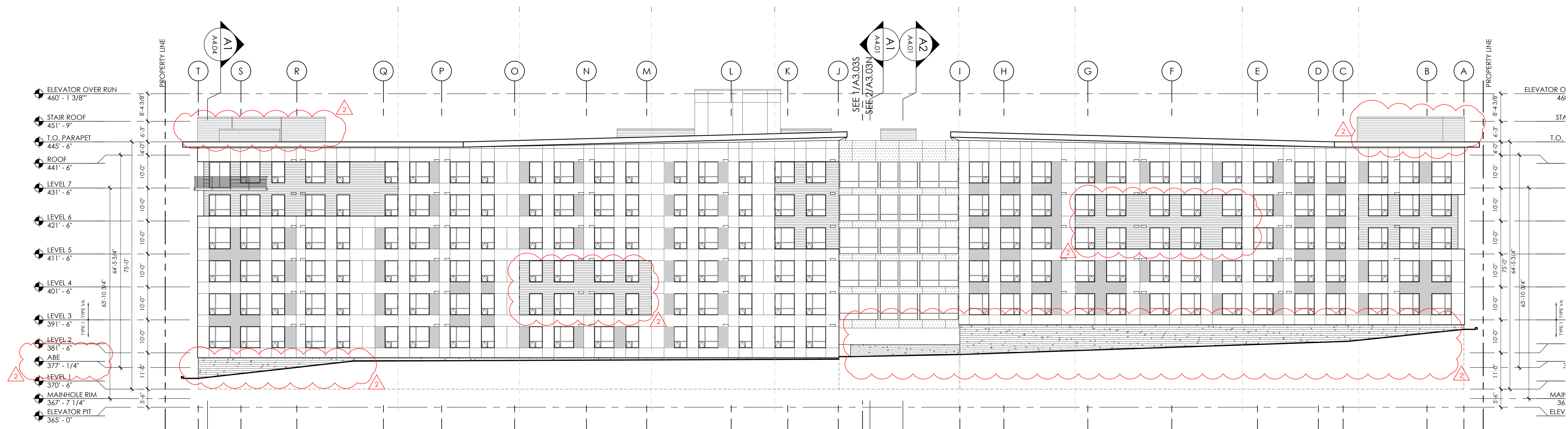
- SEE SHEET G1.02 FOR HEIGHT LIMIT CALCULATION.
- REFER TO A4.01 FOR BUILDING SECTIONS.
- REFER TO WINDOW SCHEDULE FOR WINDOWS & STOREFRONT DIMENSIONS.
- WHERE ELEVATION AND WINDOW SCHEDULE CONFLICTS, WINDOW SCHEDULE TAKES PRECEDENT.

KEY NOTES

- VINYL WINDOW
- ALUMINUM STOREFRONT SYSTEM - ANODIZED ALUMINUM FINISH
- METAL CANOPY
- ALUMINUM BALCONY
- HOLLOW METAL DOOR - PAINTED TO MATCH ADJACENT FINISH
- GARAGE ENTRANCE DOOR
- LOUVERED METAL VENT
- DECORATIVE PATTERN CONCRETE
- CONCRETE MASONRY UNIT BASALITE - SMOOTH FACE - EBONY
- METAL RAILING AND GUARD - POWDER COAT BLACK
- BREAK METAL FASCIA - COLOR TO MATCH ADJACENT FIBER CEMENT PANEL 02 - GREY
- PERFORATED CORTEN METAL PANEL ARTWORK WITH BACKLIGHT
- METAL PANEL SOFFIT - LONGBOARD 4" V-GROOVE COLOR: DARK CHERRY
- METAL PANEL SIDING - LONGBOARD 4" V-GROOVE COLOR: DARK CHERRY
- FIBER CEMENT PANEL - 01 COLOR: WHITE
- FIBER CEMENT PANEL - 02 COLOR: GREY
- METAL PANEL - COLOR TO MATCH ADJACENT STOREFRONT FINISH
- FIBER CEMENT PANEL SOFFIT - COLOR TO MATCH FIBER CEMENT PANEL 01 - WHITE
- METAL SCREEN DOOR
- ARCHITECTURAL CONCRETE COLUMNS
- METAL GUARDRAIL - CLEAR ANODIZED ALUMINUM FINISH
- CORRUGATED METAL SCREEN - ASP SPAN - 18" 36" COLOR: VINTAGE
- STANDING SEAM METAL ROOF - ASP DESIGN SPAN COLOR: VINTAGE
- ALUMINUM STOREFRONT SYSTEM - DARK BRONZE
- UNIT EXHAUST SHROUD - COLOR TO MATCH ADJACENT FINISH
- CEDAR SLATTED TRASH ENCLOSURE GATES
- EXTERIOR WALL SCONCE - SILVER / GRAY
- EXTERIOR STEP LIGHT - SILVER / GRAY
- EXTERIOR BOLLARD LIGHT - SILVER / GRAY

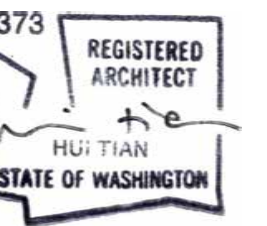


2 NORTH TOWER - PARTIAL EAST ELEVATION
1/8" = 1' - 0"



1 OVERALL EAST ELEVATION
1/16" = 1' - 0"

PROFESSIONAL SEAL



98188 PLACE LLC

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

	01/28/2021	SITE PLAN REVIEW
1	11/19/2021	1ST COMMENT LETTER RESPONSES
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MARK	DATE	DESCRIPTION
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PROJECT

BUILDING ELEVATIONS - APARTMENTS

PROJECT NO.	20201113
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








SHEET NUMBER

A3.05 A

ELEVATION GENERAL NOTES:

1. SEE SHEET G1.02 FOR HEIGHT LIMIT CALCULATION.
2. REFER TO A4.01 FOR BUILDING SECTIONS.
3. REFER TO WINDOW SCHEDULE FOR WINDOWS & STOREFRONT DIMENSIONS.
4. WHERE ELEVATION AND WINDOW SCHEDULE CONFLICTS, WINDOW SCHEDULE TAKES PRECEDENT.

KEY NOTES

- | | | |
|----|---|---|
| 1 | VINYL WINDOW | |
| 2 | ALUMINUM STOREFRONT SYSTEM - ANODIZED ALUMINUM FINISH | |
| 3 | METAL CANOPY | |
| 4 | ALUMINUM BALCONY | |
| 5 | HOLLOW METAL DOOR - PAINTED TO MATCH ADJACENT FINISH | |
| 6 | GARAGE ENTRANCE DOOR | |
| 7 | LOUVERED METAL VENT | |
| 8 | DECORATIVE PATTERN CONCRETE |  |
| 9 | CONCRETE MASONRY UNIT BASALITE - SMOOTH FACE - BRICKY |  |
| 10 | METAL RAINING AND GUARD - POWDER COAT BLACK | |
| 11 | BREAK METAL FASCIA - COLOR TO MATCH ADJACENT FIBER CEMENT PANEL 02 - GREY | |
| 12 | PERFORATED CORTEN METAL PANEL ARTWORK WITH BACKLIGHT |  |
| 13 | METAL PANEL SOFFIT - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY | |
| 14 | METAL PANEL SIDING - LONGBOARD 6" V-GROOVE COLOR: DARK CHERRY |  |
| 15 | FIBER CEMENT PANEL - 01 COLOR: WHITE |  |
| 16 | FIBER CEMENT PANEL - 02 COLOR: GREY |  |
| 17 | METAL PANEL - COLOR TO MATCH ADJACENT STOREFRONT FINISH |  |
| 18 | FIBER CEMENT PANEL SOFFIT - COLOR TO MATCH FIBER CEMENT PANEL 01 - WHITE | |
| 19 | METAL SCREEN DOOR | |
| 20 | ARCHITECTURAL CONCRETE COLUMNS |  |
| 21 | METAL GUARDRAIL - CLEAR ANODIZED ALUMINUM FINISH | |
| 22 | CORRUGATED METAL SCREEN - AEP SPAN - HR-36 COLOR: VINTAGE |  |
| 23 | STANDING SEAM METAL ROOF - AEP DESIGN SPAN COLOR: VINTAGE | |
| 24 | ALUMINUM STOREFRONT SYSTEM - DARK BRONZE | |
| 25 | UNIT EXHAUST SHROUD - COLOR TO MATCH ADJACENT FINISH | |
| 26 | CEDAR SLATTED TRASH ENCLOSURE GATES | |
| 27 | EXTERIOR WALL SCIENCE - SILVER / GRAY | |
| 28 | EXTERIOR STEP LIGHT - SILVER / GRAY | |
| 29 | EXTERIOR BOLLARD LIGHT - SILVER / GRAY | |



1 SOUTH TOWER - PARTIAL EAST ELEVATION
1/8" = 1' - 0"

CONSULTANT

PROFESSIONAL SEAL



PROJECT

98188 PLACE LLC

SEATAC HOTEL & APARTMENTS

17300 / 17224 INTERNATIONAL BLVD
SEATAC, WA 98188

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MUNICIPALITY REVIEW

PROJECT #

SHEET TITLE

ELEVATIONS AND SECTIONS - APARTMENTS

PROJECT NO.

20201113

DATE ISSUED

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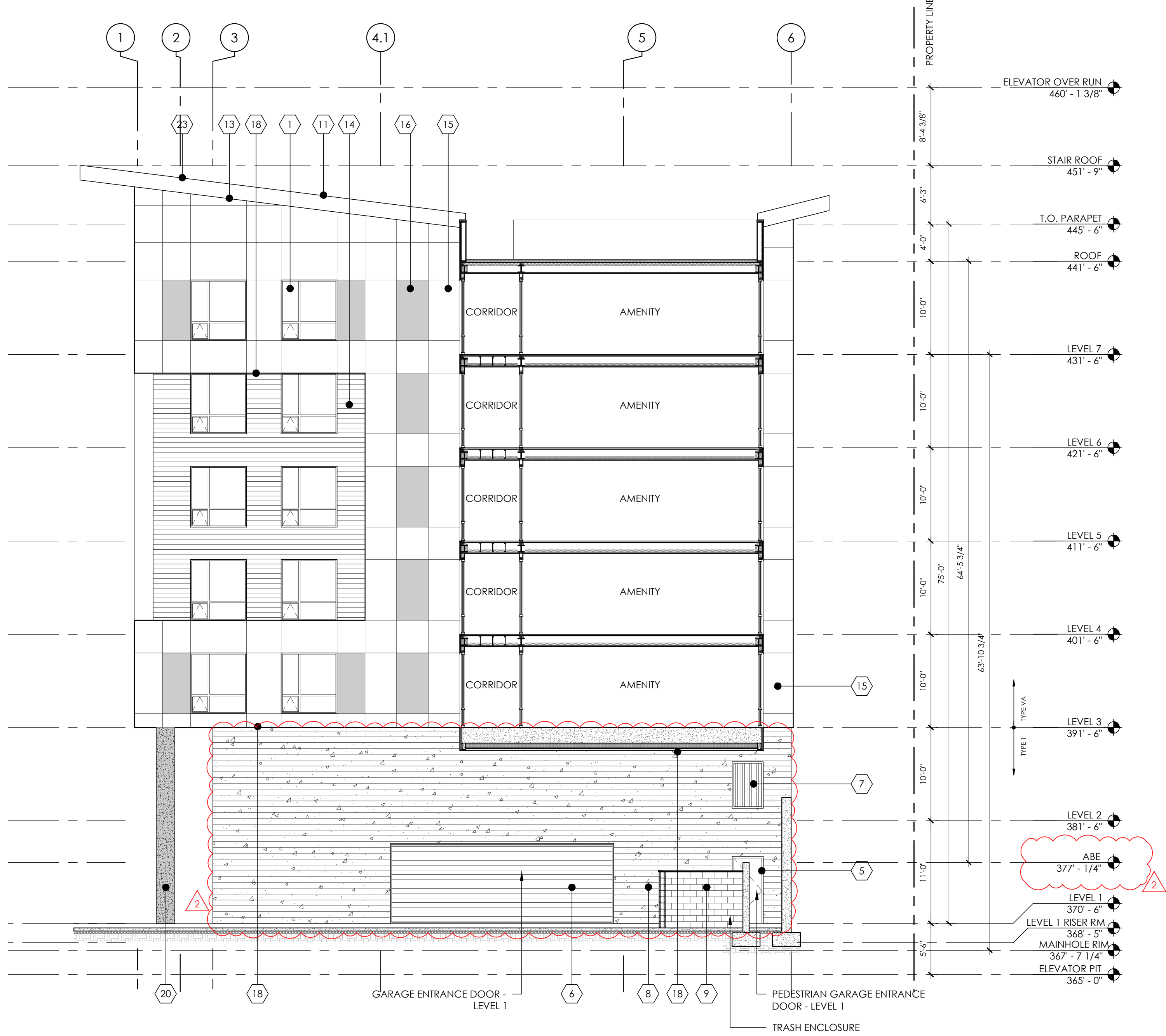
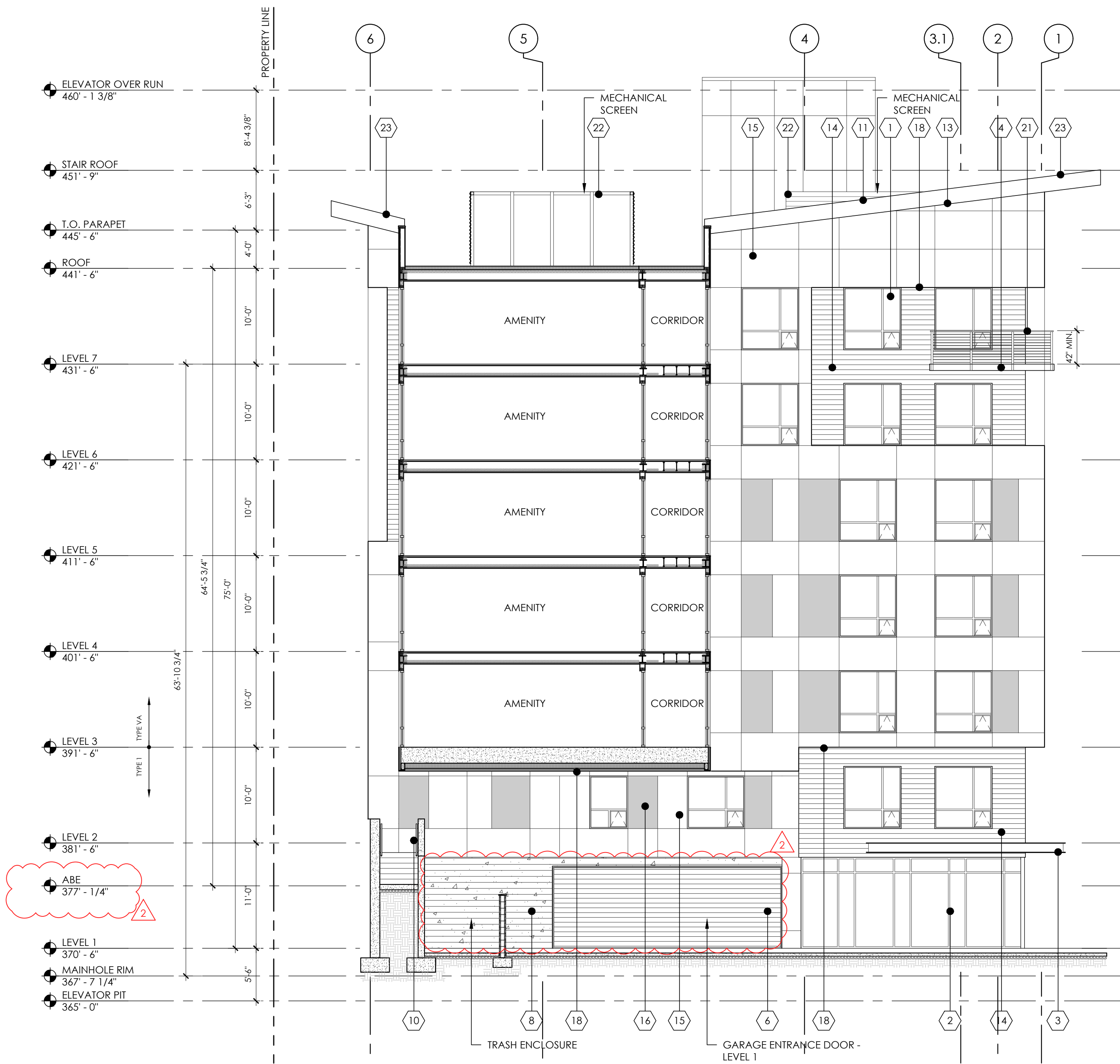
A4.01_A

ELEVATION GENERAL NOTES:

- SEE SHEET G1.02 FOR HEIGHT LIMIT CALCULATION.
- REFER TO A4.01 FOR BUILDING SECTIONS.
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- CEDAR SLATTED TRASH ENCLOSURE GATES
- EXTERIOR WALL SCONCE - SILVER / GRAY
- EXTERIOR STEP LIGHT - SILVER / GRAY
- EXTERIOR BOLLARD LIGHT - SILVER / GRAY



A1 SOUTH TOWER - NORTH ELEVATION

1/8" = 1' - 0"

A2 NORTH TOWER - SOUTH ELEVATION

1/8" = 1' - 0"