

VICINITY MAP

SCALE: N.T.S.



PROJECT TEAM

DEVELOPER

MAYER COURT LLC
845 NE 106TH AVENUE #100, BELLEVUE, WA 98004
CONTACT: RUNE HARKSTAD
PHONE: (425) 577-8556
EMAIL: rune@kldermathews.com

CIVIL ENGINEER

TERRAFORMA DESIGN GROUP, INC.
5027 51ST AVENUE SW, SEATTLE, WA 98136
CONTACT: PEDRO DEGUZMAN, PE
PHONE: (206) 795-9023
EMAIL: pedro@terraformadesigngroup.com

SHEET INDEX

- | | |
|------|---------------------------------|
| C1.1 | CIVIL COVER SHEET |
| C1.2 | EXISTING CONDITIONS & DEMO PLAN |
| C1.3 | TESC PLAN |
| C1.4 | CIVIL SITE PLAN |
| C1.5 | GRADING PLAN |
| C1.6 | STORM PLAN |
| C1.7 | UTILITY PLAN |
| C1.8 | WATER PLAN |
| C3.2 | SITE DETAILS |

- L1.1 LANDSCAPE PLANTING PLAN

- SV1 ALTA SURVEY
SV2 ALTA SURVEY

PROPERTY INFO

ADDRESS: 15005 MILITARY ROAD SOUTH
SEATAC, WA 98188

PARCEL NO: 004100-0390
004100-0391
004100-0395
004100-0398

LEGAL DESCRIPTION

PARCEL A:
WEST 75 FEET OF LOT 4, BLOCK 3, FIRST ADDITION TO ADAM'S HOME TRACTS,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50,
RECORDS OF KING COUNTY, WASHINGTON.

PARCEL B:
LOT 5, BLOCK 3, FIRST ADDITION TO ADAM'S HOME TRACTS, ACCORDING TO THE
PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50, RECORDS OF KING
COUNTY, WASHINGTON.

PARCEL C:
LOT 4, BLOCK 3, FIRST ADDITION TO ADAM'S HOME TRACTS, ACCORDING TO THE
PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50, RECORDS OF KING
COUNTY, WASHINGTON.

BASIS OF BEARING

TRUE NORTH, BASED UPON GLOBAL POSITIONING SYSTEM (GPS) LAMBERT
GRID WASHINGTON STATE NORTH ZONE COORDINATES. A CONVERGENCE
ANGLE OF 01°05'09.25" COUNTERCLOCKWISE WAS APPLIED AT AN "X" IN 3"
BRASS DISC IN MONUMENT CASE AT THE INTERSECTION OF 32ND AVENUE
SOUTH AND SOUTH 152ND STREET. THE MONUMENT IS THE WEST QUARTER
CORNER FOR SECTION 22, TOWNSHIP 23 NORTH, RANGE 4 EAST OF THE
WILLAMETTE MERIDIAN. THE GRID COORDINATES WERE FOUND TO BE
173765.396 / 1279677.132 AT THAT POINT. THE INVERSE OF BOTH THE
ELEVATION SCALE FACTOR OF 0.999984861 AND THE GRID SCALE FACTOR
OF 1.000006320 WAS APPLIED TO THE GPS VECTORS FOR SHOWN GROUND
DISTANCES.

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
BASE: KING COUNTY CONTROL POINT #SMOOTH. FOUND TACK IN LEAD IN
1.5" IRON PIPE. INCASED, LOCATED AT THE INTERSECTION OF 26TH AVENUE
SOUTH AND SOUTH 272ND STREET. ELEV= 350.252 FEET.

SITE: FOUND REBAR WITH CAP LOCATED AT THE SOUTHEAST CORNER OF
SITE. STAMPED "LS 22338 / 38965". ELEV= 339.16 FEET.

PROJECT DATA

NEW LOT 1 (PARCELS 004100-0390, -0391, -0395)

EX. SITE AREA: 78,225 SF (1.80 AC)

R.O.W. DEED AREA: 2490 SF (0.06 AC)

NEW SITE AREA: 75,736 SF (1.74 AC), 1 PARCEL

* APPLICANT TO FILE A BOUNDARY LINE ADJUSTMENT

TOTAL BUILDING AREA (FOOTPRINT): 19,900 SF

BUILDING COVERAGE: 26%

TOTAL IMPERVIOUS AREA: 50,321 SF

IMPERVIOUS COVERAGE: 66%

EARTHWORK QUANTITIES

TOTAL CUT = 5822 CY

TOTAL FILL = 4882 CY

LEGEND

EXISTING	PROPOSED	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	BUILDING
---	---	CONCRETE
---	---	RETAINING WALL

GOVERNING AGENCIES

GRADING, DRAINAGE, ROADWAY

CITY OF SEATAC
4800 SOUTH 148TH ST., SEATAC, WA 98188
CONTACT: GRACE AMUNDSEN BARNKOW, PE
PHONE: (206) 973-4747
EMAIL: gbarnkow@seatacwa.gov

WATER

KING COUNTY WATER DISTRICT #125
3460 SOUTH 148TH ST. #110, TUKWILA, WA 98168
CONTACT: DYLAN BAILEY
PHONE: (206) 242-9547
EMAIL: dylanbailey@waterdistrict125.com

SEWER

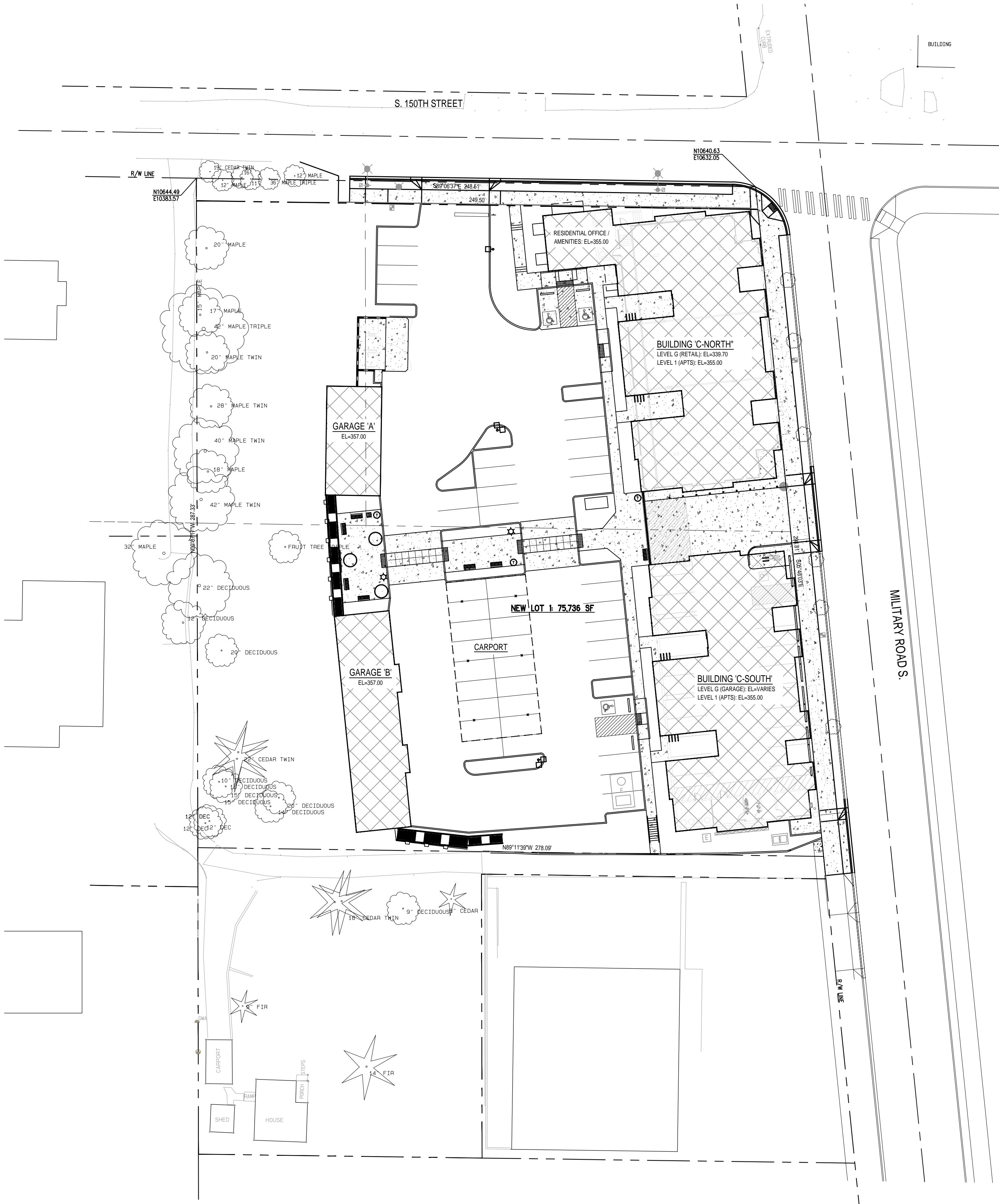
VALLEY VIEW SEWER DISTRICT
3460 SOUTH 148TH ST. #100, TUKWILA, WA 98168
CONTACT: ANDREW LARUE
PHONE: (206) 242-3236
EMAIL: andrew@valleyviewsewer.org

ELECTRIC

SEATTLE CITY LIGHT
CONTACT: DAVID MANNERY
EMAIL: david.mannery@seattle.gov

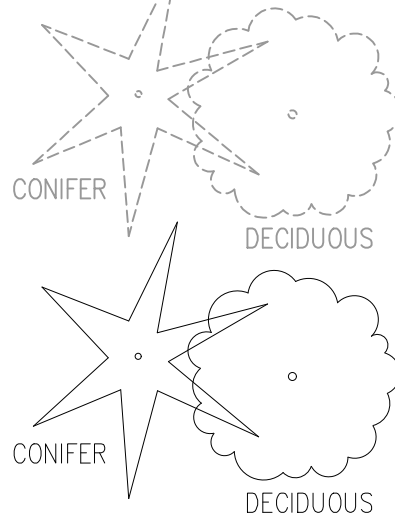
NATURAL GAS

PUGET SOUND ENERGY
PHONE: (888) 321-7779



SITE MAP

EXISTING	PROPOSED	
		PROPERTY LINE
		RETAINING WALL
		GRADING CONTOUR
		SPOT ELEVATION
		WATER MAIN
		SEWER MAIN
		STORM DRAIN
		FIRE HYDRANT
		WATER METER
		GATE VALVE
		SEWER MANHOLE
		STORM CB
		STORM MANHOLE



CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF SEATAC. ALL UTILITY SERVICES SHALL BE CAPPED PRIOR TO START OF DEMOLITION.
ANY DEMOLITION IN THE ROADWAY OF MILITARY ROAD WILL REQUIRE EXTENSIVE FULL-ROAD-WIDTH GRIND AND OVERLAY RESTORATION DUE TO PAVEMENT MORATORIUM.

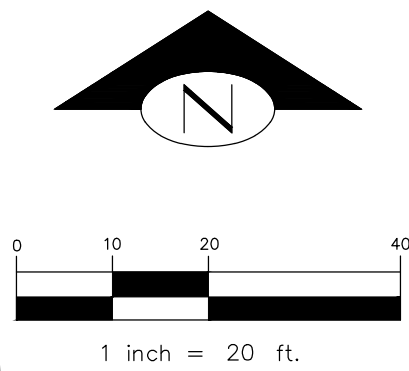
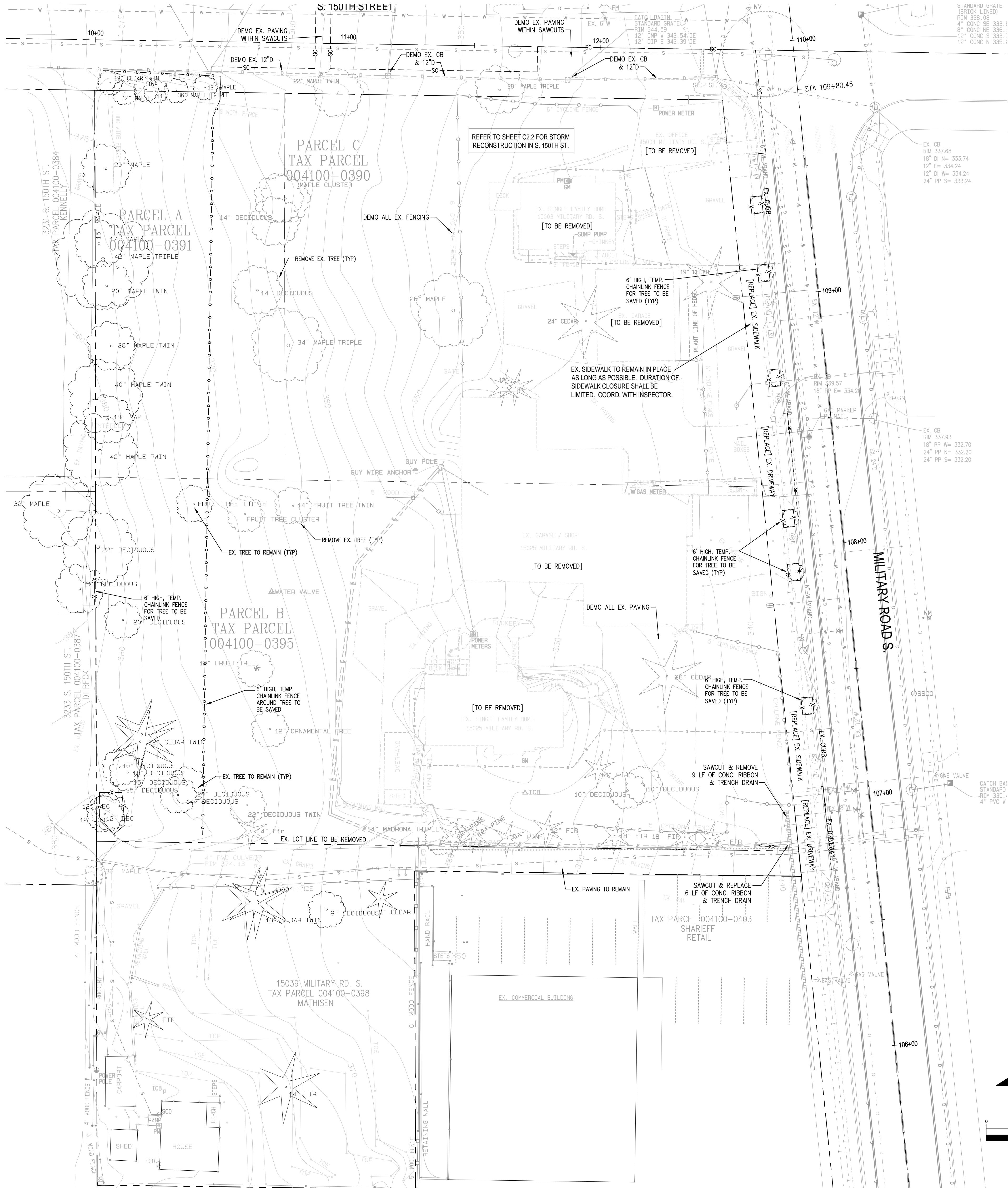
NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING
DAYS BEFORE YOU DIG
CALL '811'



SW1/4 OF NW1/4 OF
SEC. 22, T23N, R4E,
W.M., KING COUNTY, WA

TERRAFORMA
DESIGN GROUP, INC.



CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW, Seattle, WA 98146
Phone: 206.795.9023 Website: www.terraformdesigngroup.com

PROJECT NO.
19032
DRAWN BY:
PAD
CHECKED BY:
PAD

MAYER COURT APARTMENTS

for MAYER COURT LLC

SHEET TITLE
**EXISTING
CONDITIONS
& DEMO PLAN**

SHEET NO.

C1.2

SPR20-0003

NO	REVISION	DATE
1	LAND USE SUBMITTAL - NEW LAYOUT	3/28/22



3/28/22

SEATAC, WA 98188

15005 MILITARY ROAD SOUTH

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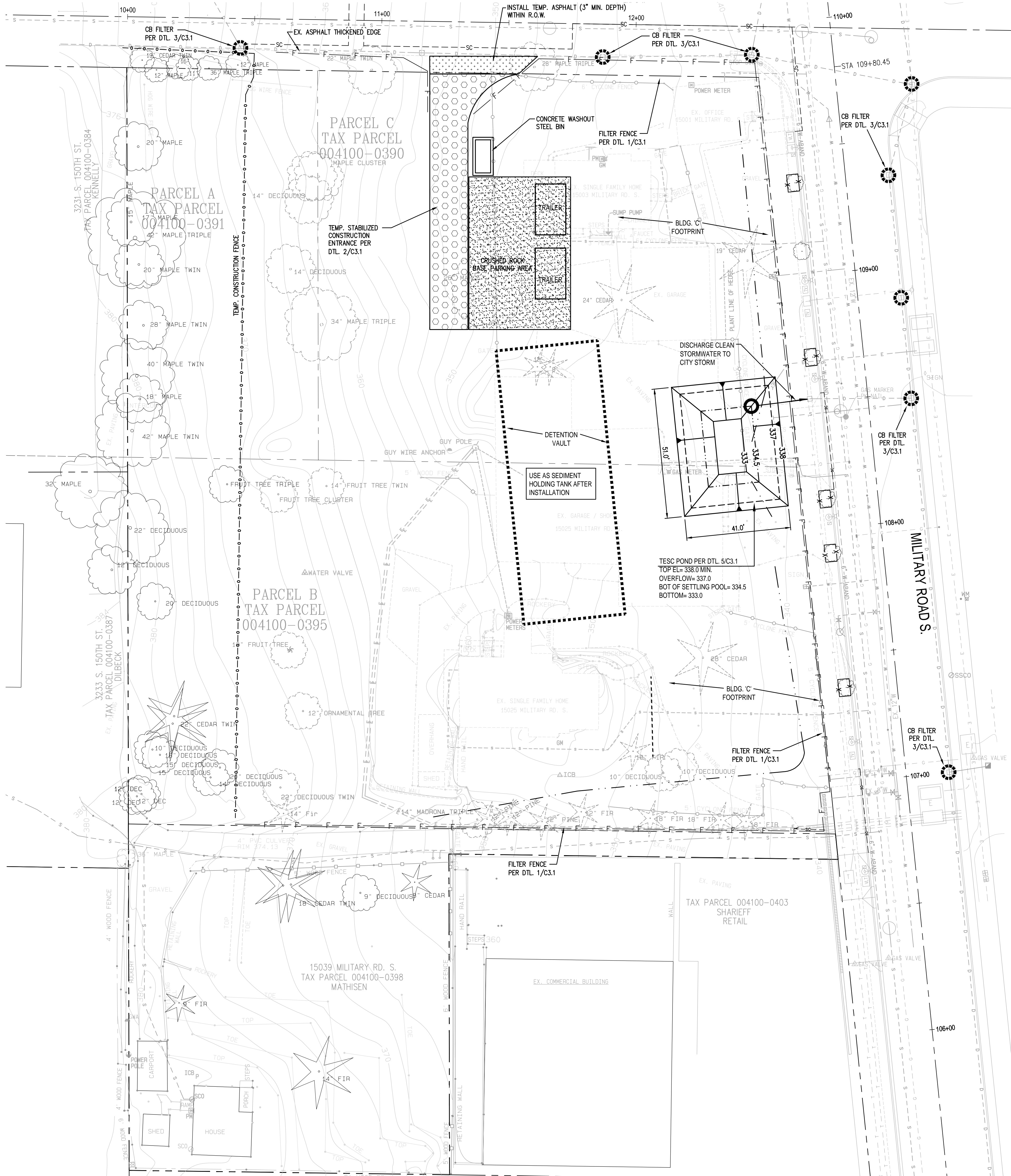
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DAYS BEFORE YOU DIG
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LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		RETAINING WALL
		GRADING CONTOUR
		SPOT ELEVATION
		WATER MAIN
		SEWER MAIN
		STORM DRAIN
		FIRE HYDRANT
		WATER METER
		GATE VALVE
		SEWER MANHOLE
		STORM CB
		STORM MANHOLE
		EX. TREE TO BE REMOVED
		EX. TREE TO REMAIN
		SAWCUT LINE
		STRUCTURES
		FILTER FENCE
		ROCK ENTRANCE
		CB INLET PROTECTION
		STRAW WATTLE
		TREE PROTECTION FENCE
		TEMP. ASPHALT

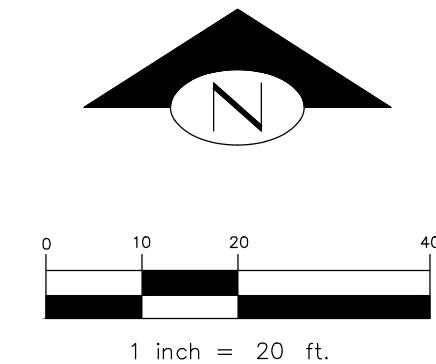


TESC CONSTRUCTION NOTES

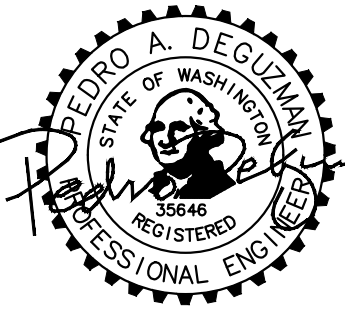
- REFER TO TESC NOTES & DETAILS ON SHEET C3.0 & C3.1.
- THE PROJECT WILL REQUIRE A DEPT. OF ECOLOGY CONSTRUCTION STORMWATER GENERAL PERMIT. THIS PERMIT HAS BEEN FILED WITH THE DEPT. OF ECOLOGY (WAR310193). THE CONTRACTOR WILL BE RESPONSIBLE FOR ADHERENCE TO THE PERMIT REQUIREMENTS INCLUDING ECOLOGY INSPECTIONS & REPORTING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF A RUNOFF / SEDIMENT STORAGE FACILITY. THIS DESIGN REFLECTS INSTALLATION OF A TEMPORARY SEDIMENT POND WITHIN THE BUILDING 'C' FOOTPRINT. ALL SITE RUNOFF SHALL ROUTE THROUGH THE POND.
- CONTRACTOR SHALL THEN CONSTRUCT THE DETENTION VAULT FOR USE AS A PHASE 2 - RUNOFF / SEDIMENT STORAGE FACILITY. UPON COMPLETION OF THE VAULT BASE AND WALLS, THE CONTRACTOR MAY REMOVE THE SEDIMENT POND AND BEGIN CLEARING OF THE SITE AND BUILDING STRUCTURES. ALL SITE AREAS BELOW THE VAULT SHALL HAVE A SEDIMENT SUMP AND PUMP TO DIRECT ALL RUNOFF TO THE VAULT.
- THE CONTRACTOR SHALL BE RESPONSIBLE CONFIRMING ANY DISCHARGES FROM THE POND OR TANK MEET THE MAX. ALLOWABLE TURBIDITY REQUIREMENTS.
- CONTRACTOR SHALL ALSO REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR ADDITIONAL INFORMATION.

TESC CONSTRUCTION SEQUENCE

- HOLD THE EROSION SEDIMENTATION CONTROL PRE-CONSTRUCTION MEETING ON SITE.
- CONDUCT AN INITIAL EROSION SEDIMENTATION CONTROL (IESC) SITE INSPECTION.
- HOLD THE PRE-CONSTRUCTION MEETING AT THE CITY, VIRTUALLY, OR ON SITE.
- POST A SIGN WITH NAME AND PHONE NUMBER OF THE SITE'S ESC SUPERVISOR.
- FLAG AND/OR FENCE THE CLEARING LIMITS AS REQUIRED BY THE APPROVED PLANS, PERMIT CONDITIONS, OR SEPA CONDITIONS.
- INSPECTION AND SIGN-OFF OF THE CLEARING LIMITS BY A PUBLIC WORKS INSPECTOR.
- INSTALL CATCH BASIN PROTECTION AS REQUIRED.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- INSTALL TREE PROTECTION AND TAG EXISTING TREES TO BE REMOVED.
- CONSTRUCT SEDIMENT POND.
- INSPECTION OF ESC MEASURES BY A PUBLIC WORKS INSPECTOR PRIOR TO COMMENCEMENT OF GRADING ACTIVITY.
- GRADE AND STABILIZE CONSTRUCTION ROADS.
- DEMOLITION OF EXISTING STRUCTURES AND SITE FEATURES.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- REMOVE EX. TREES AS NOTED ON PLAN. REMOVE EXISTING VEGETATION AS NECESSARY.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF SEATAC STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF SEATAC EROSION AND SEDIMENT CONTROL STANDARDS. REFER TO DETAILS ON SHEET C3.1.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- BEGIN SHORING & WALL CONSTRUCTION.
- CONSTRUCT DETENTION VAULT. UPON COMPLETION, USE IT AS A REPLACEMENT TO THE TESC POND.
- BEGIN SITE ROUGH GRADING.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- BEGIN BUILDING CONSTRUCTION.
- BEGIN UTILITY & DRAINAGE CONSTRUCTION.
- BEGIN FINAL GRADING, PAVING AND LANDSCAPE PLANTING INSTALLATION.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED AS APPROPRIATE.
- OBTAIN FINAL INSPECTION APPROVAL FROM THE CITY OF SEATAC.



SW1/4 OF NW1/4 OF
SEC. 22, T23N, R4E,
W.M., KING COUNTY, WA



NO.	REVISION	DATE
1	LAND USE SUBMITTAL - NEW LAYOUT	3/28/22

TERRAFORMA
DESIGN GROUP, INC.



PROJECT NO.
19032
DRAWN BY:
PAD
CHECKED BY:
PAD

MAYER COURT APARTMENTS

for MAYER COURT LLC

SHEET TITLE
TESC PLAN

SHEET NO.
C1.3

SPR20-0003

15005 MILITARY ROAD SOUTH

SEATAC, WA 98186

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW, Seattle, WA 98156
Phone: 206.795.9023 Website: www.terraformdesigngroup.com

3/28/22

LEGEND

EXISTING

PROPOSED

PROPERTY LINE

R.O.W. CENTERLINE

EASEMENT

BUILDING

A.C. PAVING

CONCRETE

RETAINING WALL

PLANTER BOX

SEATING BENCH

TRASH RECEPTACLE

DOG WASTE STATION

FENCE - CHAINLINK

FENCE - WOOD

FIRE HYDRANT

WATER METER

GATE VALVE

SEWER MANHOLE

STORM CB

STORM MANHOLE

FILTERRA TRMT. VAULT

ELECTRIC VAULT

UTILITY POLE

STREET LIGHT

PARKING LIGHT

EX. TREE TO BE REMOVED

EX. TREE TO REMAIN



- SITE PLAN NOTES
- 1

C

CAST-IN-PLACE CONC. CURB PER DTL. 1/C3.2
- 2

C

EXTRUDED CONCRETE CURB PER DTL. 2/C3.2
- 3

C

CONCRETE WHEELSTOP PER DTL. 3/C3.2
- 4

C

MONOLITHIC CURB & SIDEWALK PER DTL. 4/C3.2
- 5

C

CONCRETE WALKWAY PER DTL. 5/C3.2
- 6

C

CONCRETE SLAB (HEAVY DUTY) PER DTL. 6/C3.2
- 7

C

ELEVATED WALKWAY PER DTL. 7/C3.2
- 8

C

CONCRETE RAMP (PERPENDICULAR) PER DTL. 8/C3.2
- 9

C

TRUNCATED DOMES PER DTL. 9/C3.2
- 10

C

CONCRETE STAIRWAY
- 11

C

HOT MIX ASPHALT PAVING PER DTL. 11/C3.2
- 12

C

ADA PARKING STENCIL PER DTL. 12/C3.2
- 13

C

ADA PARKING SIGN PER DTL. 13/C3.2
- 14

C

DOG WASTE STATION PER DTL. 14/C3.2
- 15

C

TRAFFIC BOLLARD PER DTL. 15/C3.2
- 16

C

OMITTED
- 17

C

LARGE CONCRETE RETAINING WALL PER SHEET C1.5
PLANS BY SPRINHILL LLC
- 18

C

CONCRETE RETAINING WALL WITH GUARDRAIL PER STRUCTURAL PLANS
- 19

C

ULTRA BLOCK WALL (DESIGN BY OTHERS)
- 20

C

SOLID WOOD FENCE
- 21

C

TRASH ENCLOSURE AND RETAINING WALL
PER ARCH. & STRUCTURAL PLANS
- 22

C

OPEN VENTILATION GRATE FOR UNDERGROUND DETENTION VAULT
- 23

C

SEATING BENCH: COURTYARD BENCH MODEL H-3018
BY U-LINE. 6-FT LONG WITH BACK. GLOSS BLACK. SURFACE MOUNT.
- 24

C

TRASH RECEPTACLE: 36-GAL. MODEL H-2865 BY U-LINE. GLOSS BLACK.
- 25

C

RAISED PLANTER CYLINDER
- 26

C

1-LOOP BIKE RACK: MODEL H-2898L BY U-LINE. GLOSS BLACK.
- 27

C

SAWCUT EX. CONCRETE STRIP & TRENCH DRAIN AS NECESSARY FOR
UTILITY CONSTRUCTION & RESTORE INKIND.
- 28

C

CARPORT AND POSTS PER STRUCTURAL PLANS
- 29

C

FILTERRA VAULT PER STORM PLANS
- 30

C

ACCESS BETWEEN GARAGE AND SIDEWALK
- 31

C

GROUND MOUNTED EQUIPMENT PER MEP PLANS
- 32

C

BBQ GRILL (CHARCOAL) BY OWNER
- 33

C

ARBOR STRUCTURE (DESIGN BY ARCH. PLANS)
- 34

C

24" STOP SIGN & 18" STOPBAR
- 35

C

WHITE PARKING STRIPE (TYP)
- 36

C

PARKING LIGHT PER SHT. C1.7
- 37

C

PEDESTRIAN LIGHT PER SHT. C1.7

SW1/4 OF NW1/4 OF
SEC. 22, T23N, R4E,
W.M., KING COUNTY, WA

PEDRO A. DEGUAN
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER

3/28/22
DATE

LAND USE SUBMITTAL - NEW LAYOUT

3/28/22
DATE

REVISION

NO

TERRAFORMA
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CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW, Seattle, WA 98116
Phone: 206.955.9023 website: www.terraformdesigngroup.com

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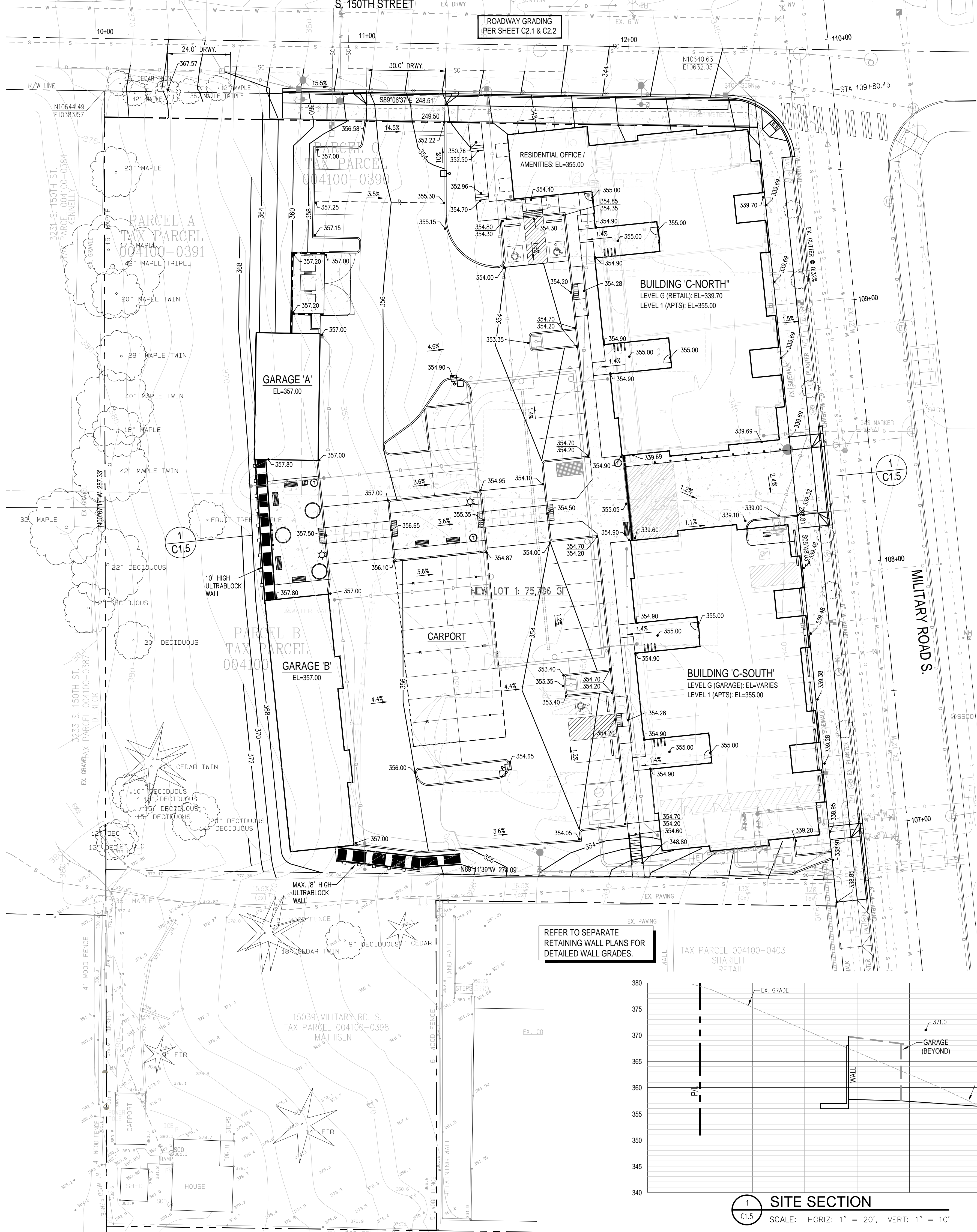
MAYER COURT APARTMENTS
for MAYER COURT LLC

SEATTLE, WA 98108

SHEET TITLE
CIVIL
SITE PLAN

SHEET NO.
C1.4

SPR20-0003

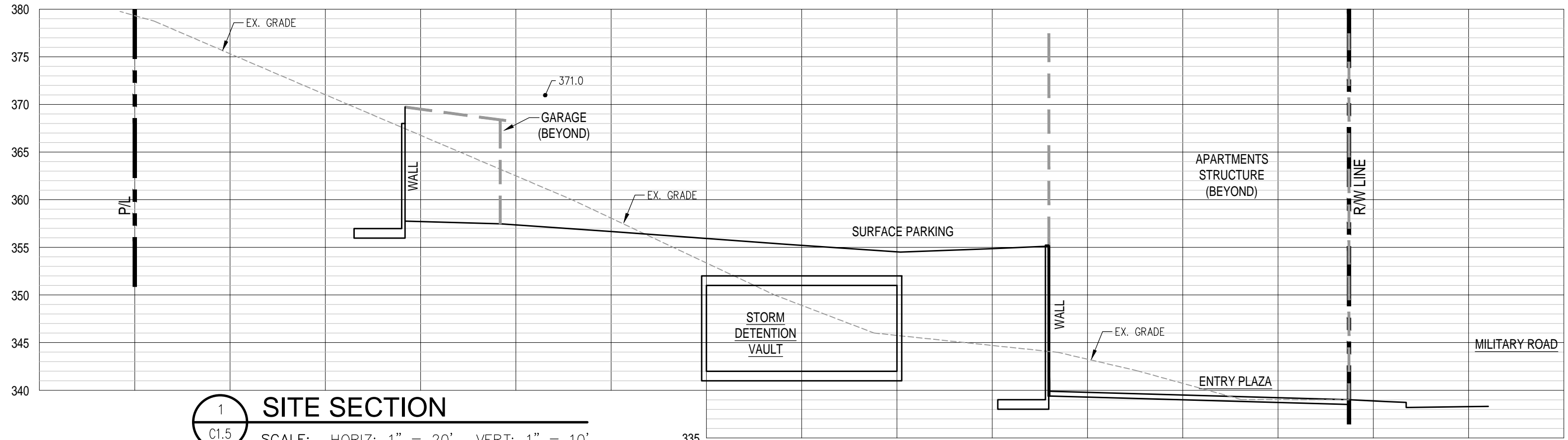


LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
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---	---	WATER METER
---	---	GATE VALVE
---	---	SEWER MANHOLE
---	---	STORM CB
---	---	STORM MANHOLE
---	---	FILTERRA TRMT. VAULT
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	CABLE LINE
---	---	GAS LINE
---	---	ELECTRIC VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT
---	---	DOMESTIC WATER
---	---	FIRE LINE

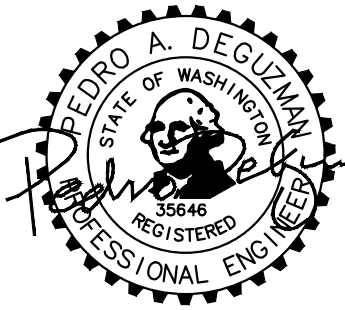
1 C1.5 SITE SECTION

SCALE: HORIZ: 1" = 20', VERT: 1" = 10'



SPR20-0003

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GRADING
PLAN

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15005 MILITARY ROAD SOUTH
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LAND USE SUBMITTAL - NEW LAYOUT
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---	---	STREET LIGHT
---	---	PARKING LIGHT

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STORM STRUCTURE / CLEANOUT SCHEDULE			
CB/CO	TYPE	RIM	IE
1	TY. 2 48" CB, SL	349.75	342.72 (12"S) 342.72 (12"W,E)
2	FILTERRA VAULT	353.89 FL=353.35	349.85 (8"S) 349.85 (8"N)
3	FILTERRA VAULT	353.89 FL=353.35	
4	CLEANOUT	354.90	351.50 (6")
5	CLEANOUT	355.00	352.30 (6")
6	CLEANOUT	354.90	353.00 (4")
7	CLEANOUT	354.90	351.00 (6")
8	CLEANOUT	354.90	352.00 (6")
9	CLEANOUT	354.30	352.00 (6")
10	CLEANOUT	357.00	353.00 (6")
11	CLEANOUT	356.90	354.00 (4")
12	CLEANOUT	365.00	355.50 (4")
13	CLEANOUT	357.00	353.00 (6")
14	CLEANOUT	368.00	356.00 (6")
15	CLEANOUT	357.00	354.00 (4")
16	FILTERRA VAULT	339.54 FL=339.00	335.50 (6"N)
17	CLEANOUT	339.00	336.00 (6")
18	TY. 1 CB, GR	339.60	336.60 (12"W,E)
19	TY. 1 CB, GR	360.00	355.50 (12"W,E)

TYPE 1 CATCH BASINS PER WSDOT STD. PLAN B-50.20-03
TYPE 2 CATCH BASINS PER WSDOT STD. PLAN B-10.20-02
GR= GRATE (VANED) PER WSDOT STD. PLAN B-30.40-03
SL= SOLID LID PER WSDOT STD. PLAN B-30.20-04 (FOR TY. 1)
OR WSDOT STD. PLAN B-30.70-04 (FOR TY. 2)
CLEANOUTS PER DTL 2/C3.3
ALL CB LIDS / CLEANOUTS SHALL HAVE LOCK-DOWN BOLTS

STORM PIPE SCHEDULE			
PIPE	DIA / TYPE	LENGTH (FT)	SLOPE
A	12" CPE	110	0.71%
B	8" CPE	12	7.08%
C	8" CPE	8	10.63%
D	6" PVC	13	19.23%
E	6" PVC	72	1% MIN.
F	4" PVC	30	2% MIN.
G	6" PVC	12	16.67%
H	6" PVC	37	1% MIN.
I	6" PVC	80	1% MIN.
J	6" PVC	58	6.90%
K1	4" PVC	94	1% MIN.
K2	4" PVC	10	1% MIN.
L	6" PVC	58	6.90%
M	6" PVC	28	2% MIN.
N	4" PVC	55	1% MIN.
O	6" PVC	34	0.88%
P	6" PVC	16	5.00%
Q	12" DI,CL50	10	0.50%
R	12" CPE	91	6.73%
S	12" CPE	72	17.75%
T	12" CPE	29	22.66%

CPE SHALL BE ADS, N-12 OR EQUAL.
PVC PIPE SHALL BE SDR35
PIPE LENGTHS DIST. TO CTR. OF STRUCTURE, U.N.O.

CONTRACTOR SHALL CONNECT BUILDING
DOWNSPOUTS TO ROOF DRAINS. REFER TO
ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

SW1/4 OF NW1/4 OF
SEC. 22, T23N, R4E,
W.M., KING COUNTY, WA

3/28/22

DATE

3/28/22

DATE

LAND USE SUBMITTAL - NEW LAYOUT

REVISION

NO

NO

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW, Seattle, WA 98146
Phone: 206.795.9023 Website: www.terraformdesigngroup.com

PROJECT NO.
19032

DRAWN BY:
PAD

CHECKED BY:
PAD

MAYER COURT APARTMENTS

for MAYER COURT LLC

15005 MILITARY ROAD SOUTH

SEATTLE, WA 98188

SHEET TITLE
STORM
PLAN

SHEET NO.
C1.6

LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	GATE VALVE
---	---	SEWER MANHOLE
---	---	STORM CB
---	---	STORM MANHOLE
---	---	FILTERRA TRMT. VAULT
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	CABLE LINE
---	---	GAS LINE
---	---	ELECTRIC VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT
---	---	DOMESTIC WATER
---	---	FIRE LINE
---	---	LIGHTING CONDUIT (PRIVATE)

CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF SEATAC. ALL UTILITY SERVICES SHALL BE CAPPED PRIOR TO START OF DEMOLITION. ANY DEMOLITION IN THE ROADWAY OF MILITARY ROAD WILL REQUIRE EXTENSIVE FULL-ROAD-WIDTH GRIND AND OVERLAY RESTORATION DUE TO PAVEMENT MORATORIUM.

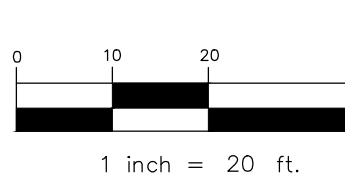
NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL '811'



FOR REFERENCE ONLY.
DESIGN APPROVAL BY APPLICABLE
FRANCHISE UTILITY.

FRANCHISE UTILITIES WILL REQUIRE SEPARATE
R.O.W. PERMITS, SUBMITTED BY THE RELEVANT
UTILITY FOR UTILITY WORK IN EACH R.O.W.

PROJECT TEAM

DEVELOPER
MAYER COURT LLC
845 NE 106TH AVENUE #100, BELLEVUE, WA 98004
CONTACT: RUNE HARKSTAD
PHONE: (425) 577-8556
EMAIL: rune@kiddermathews.com

CIVIL ENGINEER
TERRAFORMA DESIGN GROUP, INC.
5027 51ST AVENUE SW, SEATTLE, WA 98136
CONTACT: PEDRO DEGUZMAN, PE
PHONE: (206) 795-9023
EMAIL: pedro@terraformdesigngroup.com

GOVERNING AGENCIES

GRADING, DRAINAGE, ROADWAY
CITY OF SEATAC
4800 SOUTH 188TH ST., SEATAC, WA 98188
CONTACT: GRACE AMUNDSEN BARNKOW, PE
PHONE: (206) 973-4747
EMAIL: gbarnkow@seatacwa.gov

WATER
KING COUNTY WATER DISTRICT #125
3460 SOUTH 148TH ST. #110, TUKWILA, WA 98168
CONTACT: DYLAN BAILEY
PHONE: (206) 242-9547
EMAIL: dylanbailey@waterdistrict125.com

SEWER
VALLEY VIEW SEWER DISTRICT
3460 SOUTH 148TH ST. #100, TUKWILA, WA 98168
CONTACT: ANDREW LARUE
PHONE: (206) 242-3236
EMAIL: andrew@valleyviewsewer.org

ELECTRIC
SEATTLE CITY LIGHT
CONTACT: DAVID MANNERY
EMAIL: david.mannery@seattle.gov

NATURAL GAS
PUGET SOUND ENERGY
PHONE: (888) 321-7779

UTILITY NOTES

REFER TO SEPARATE ELECTRICAL SERVICE DESIGN BY SEATTLE CITY LIGHT. S.C.L. DESIGN SHALL TAKE PRECEDENT OVER THESE DRAWINGS. ELECTRICAL SECONDARY FROM HANDHOLDS TO BUILDING SHALL BE PER THE PRIVATE ELECTRICAL DESIGN DRAWINGS BY DEVELOPER.

CONTRACTOR SHALL APPLY FOR A SEPARATE TEMPORARY ELECTRIC SERVICE APPLICATION WITH SEATTLE CITY LIGHT.

VAULT, CONDUITS AND ENCASEMENT (WHERE NOTED) SHALL BE SUPPLIED AND INSTALLED BY DEVELOPER'S CONTRACTOR.

SEATTLE CITY LIGHT WILL BE RESPONSIBLE FOR SUPPLY AND INSTALLATION OF HIGH VOLTAGE / LOW VOLTAGE CABLES AND SERVICE METERS.

- U0 ELECTRIC LOAD BREAK JUNCTION VAULT (OLDCASTLE 577-LA)
- U1 PRIMARY CONDUIT (2 - 4" PVC, SCH40)
PIPE ENCASEMENT PER SEATTLE CITY LIGHT STDS.
- U2 ELECTRIC TRANSFORMER VAULT (OLDCASTLE 814-LA)
- U3 ELECTRIC SECONDARY TO HANDHOLD (2 - 4" PVC, SCH40)
- U4 ELECTRIC TERMINATION HANDHOLD VAULT (OLDCASTLE 444-LA)
- U5 ELECTRIC SECONDARY TO BUILDING (2 - 4" PVC, SCH40)
REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- U6A PARKING LIGHT PER ELEC. PLANS. PRE-CAST LIGHT POLE BASE.
- U6B PEDESTRIAN LIGHT PER ELEC. PLANS. PRE-CAST LIGHT POLE BASE.
- U7 PARKING LIGHT PER ELEC. PLANS
SHALLOW LIGHT POLE BASE OVER DETENTION VAULT
- U8 GAS METER BY PUGET SOUND ENERGY FOR COMMERCIAL RETAIL.
- U9 STREET LIGHT PER ROADWAY PLANS
- U10 EX. POWER POLE & SERVICE TO BE REMOVED.
COORDINATE WITH SEATTLE CITY LIGHT.
- U11 CONDENSING UNIT (TYP) PER ELEC. PLANS
- U12 COMCAST CABLE CONNECTION VAULT,
SERVICE CONDUITS AND ROUTE PER COMCAST DESIGN.
- U13 CENTURY LINK TELEPHONE CONNECTION VAULT,
SERVICE CONDUITS AND ROUTE PER CENTURY LINK DESIGN
- U14 ABANDON EX. ELECTRICAL CONDUITS

3/28/22
DATE

LAND USE SUBMITTAL - NEW LAYOUT
REVISION

NO

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW, Seattle, WA 98136
Phone: 206.795.9023 website: www.terraformdesigngroup.com

PROJECT NO.
19032

DRAWN BY:
PAD

CHECKED BY:
PAD

MAYER COURT APARTMENTS
for MAYER COURT LLC

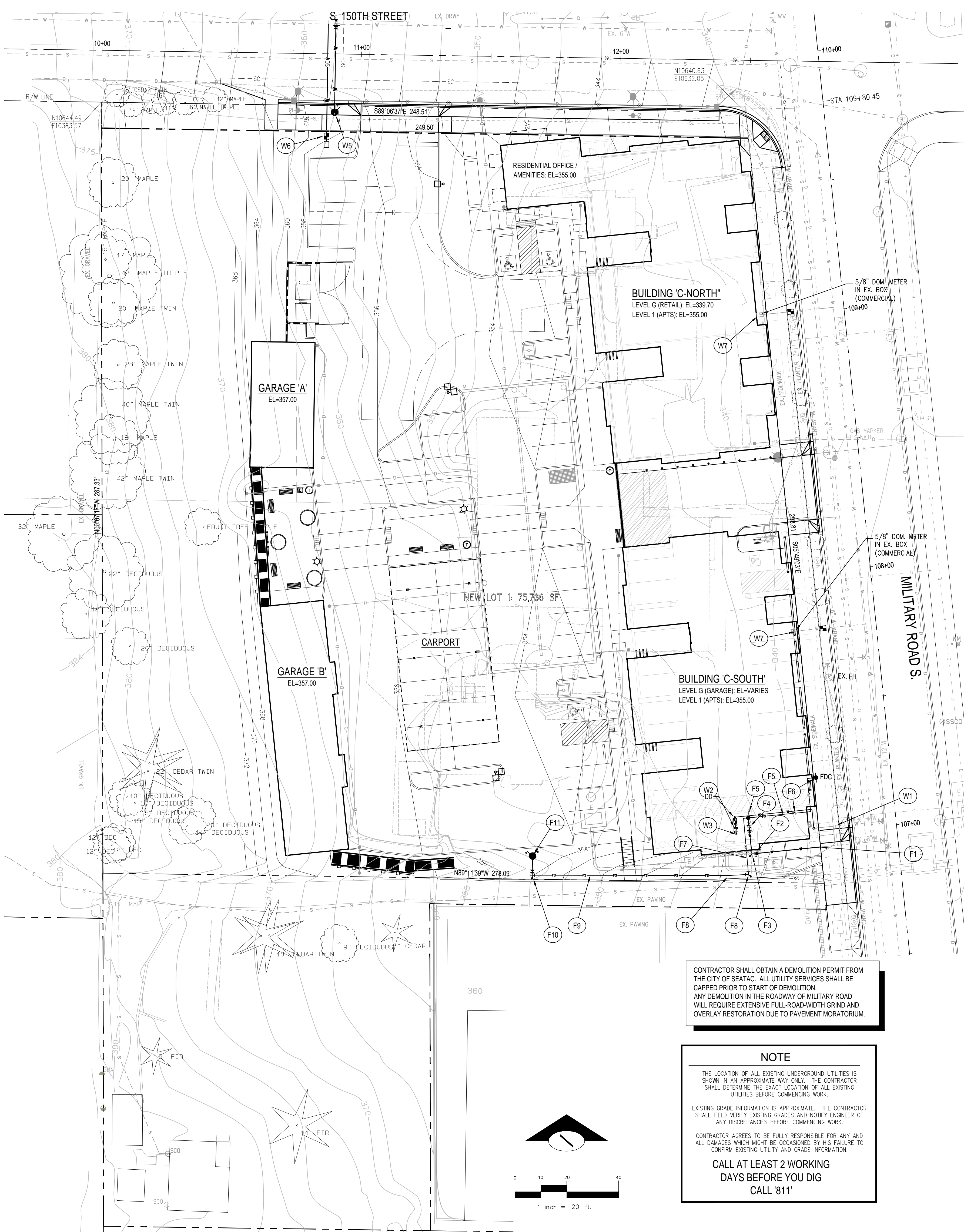
SEATAC, WA 98188
15005 MILITARY ROAD SOUTH

SHEET TITLE
UTILITY PLAN

SHEET NO.
C1.7

LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		R.O.W. CENTERLINE
		EASEMENT
		RETAINING WALL
		GRADING CONTOUR
		SPOT ELEVATION
		WATER MAIN
		DOMESTIC WATER
		FIRE LINE
		SEWER MAIN
		STORM DRAIN
		FIRE HYDRANT
		WATER METER
		GATE VALVE
		SEWER MANHOLE
		STORM CB
		STORM MANHOLE
		FILTERRA TRMT. VAULT
		ELECTRICAL LINE
		TELEPHONE LINE
		CABLE LINE
		GAS LINE
		ELECTRIC VAULT
		UTILITY POLE
		STREET LIGHT
		PARKING LIGHT



CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF SEATAC. ALL UTILITY SERVICES SHALL BE CAPPED PRIOR TO START OF DEMOLITION. ANY DEMOLITION IN THE ROADWAY OF MILITARY ROAD WILL REQUIRE EXTENSIVE FULL-ROAD-WIDTH GRIND AND OVERLAY RESTORATION DUE TO PAVEMENT MORATORIUM.

NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL '811'

FIRE SYSTEM NOTES

STATIC WATER PRESSURE = 100 PSI

AVAILABLE FIRE FLOW = 2250 CFS @ 44 PSI RESIDUAL

THE FIRE SYSTEM BEYOND THE MASTER 6" DCDA INSIDE BUILDING 'C' IS PRIVATE AND WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. CONSTRUCTION SHALL COMPLY WITH KING COUNTY WATER DISTRICT 125 STDs.

THE OWNER SHALL ENTER INTO AN ACCESS AND MAINTENANCE AGREEMENT WITH KING COUNTY WATER DISTRICT 125 FOR THE MASTER FIRE DCDA.

ALL FIRE LINES SHALL HAVE MEGA-LUGS FITTINGS AND RESTRAINED JOINTS.

ALL BENDS & TEE SHALL BE DUCTILE IRON AND HAVE CONCRETE THRUST BLOCKS PER KCWD125 STDs.

- F1 CONNECT TO EX. 8" STUB
23' - 8" PVC, C900
- F2 POST INDICATOR VALVE POST
- F3 8" - 90-DEG PVC, C900 BEND INTO BLDG.
THRUST BLOCK
- F4 INTERIOR FIRE SYSTEM MASTER DCDA
DESIGN / BUILD BY FIRE SPRINKLER CONTRACTOR
REQUIRES SEPARATE FIRE PERMIT
VALVES AND TEES TO BLDG 'C' AND
SEPARATE FIRE SERVICE TO BLDG'S A, B & D
- F5 INTERIOR FIRE SPRINKLER RISER PER SPRINKLER PLANS
- F6 FDC SERVICE LINE & WALL-MOUNT POST INDICATOR VALVE
PER FIRE SPRINKLER PLANS
- F7 8" - 90-DEG PVC, C900 BEND, THRUST BLOCK
- F8 8" PVC, C900 TO INTERIOR FIRE DCDA
- F9 83' - 8" PVC, C900
- F10 8"x6" TEE (MJFL), THRUST BLOCK
6" GATE VALVE (FLMJ, NORTH)
8" PVC, C900 TO F11
- F11 FIRE HYDRANT ASSY PER KCWD STD. PLAN
6" PVC, C900 TO F10

DOMESTIC WATER NOTES

STATIC WATER PRESSURE = 100 PSI

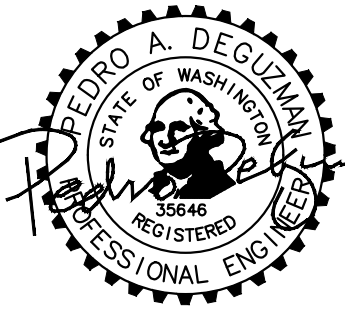
KING COUNTY WATER DISTRICT #125 OWNERSHIP WILL END AT THE PROPERTY LINE. ANY PIPE WORK BEYOND WILL BE PRIVATELY OWNED AND MAINTAINED.

CONSTRUCTION SHALL COMPLY WITH KING COUNTY WATER DISTRICT 125 STDs.

THE OWNER SHALL ENTER INTO AN ACCESS AND MAINTENANCE AGREEMENT WITH KING COUNTY WATER DISTRICT 125 FOR THE MASTER DOMESTIC METER.

ALL DUCTILE AND PVC, C900 FITTINGS SHALL BE GASKETED.

- W1 CONNECT TO EX. 4" STUB
38' - 4" DI, CL52 DOMESTIC SERVICE UNDER BLDG
- W2 3" DOMESTIC MASTER METER & RPBA INSIDE MECHANICAL ROOM
REQUIRES ACCESS, MAINTENANCE AND LIABILITY
AGREEMENT BETWEEN KCWD 125 & PROPERTY OWNER.
SEE SHEET CW2 & CW4.
- W3 TEE & VALVES TO BLDG 'C-NORTH' & 'C-SOUTH'
- W4 4" - 90-DEG BEND, PVC, C900
4" PVC, C900 TO INTERIOR MASTER WATER METER
- W5 NEW FIRE HYDRANT AND TAPPING PER WATER PLANS
- W6 NEW 1" IRRIGATION METER PER WATER PLANS
1" IRRIGATION DCVA PER DISTRICT STANDARDS.
- W7 EX. 1" WATER METER WILL REQUIRE RELOCATION
TO THE ROADWAY PLANTER STRIP.
COORDINATE WITH KCWD #125 & THE CITY INSPECTOR.
USE FOR COMMERCIAL SPACE.
INTERIOR BACKFLOW PER PLUMBING PLANS.



TERRAFORMA
DESIGN GROUP, INC.



PROJECT NO.
19032
DRAWN BY:
PAD
CHECKED BY:
PAD

MAYER COURT APARTMENTS

for MAYER COURT LLC

SHEET TITLE
**PRIVATE
WATER
PLAN**

SHEET NO.
C1.8

SPR20-0003

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 5th Avenue SW, Seattle, WA 98116
Phone: 206.795.9023 Website: www.terraformdesigngroup.com

SEATAC, WA 98188

15005 MILITARY ROAD SOUTH

DATE

LAND USE SUBMITTAL - NEW LAYOUT
REVISION

NO

NO

NO

NO

NO

NO

NO

NO

NO

NO

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NO

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NO

NO

NO

NO

NO



DOG WASTE STATION
SCALE: N.T.S.



MAYER COURT APARTMENTS

for MAYER COURT LLC

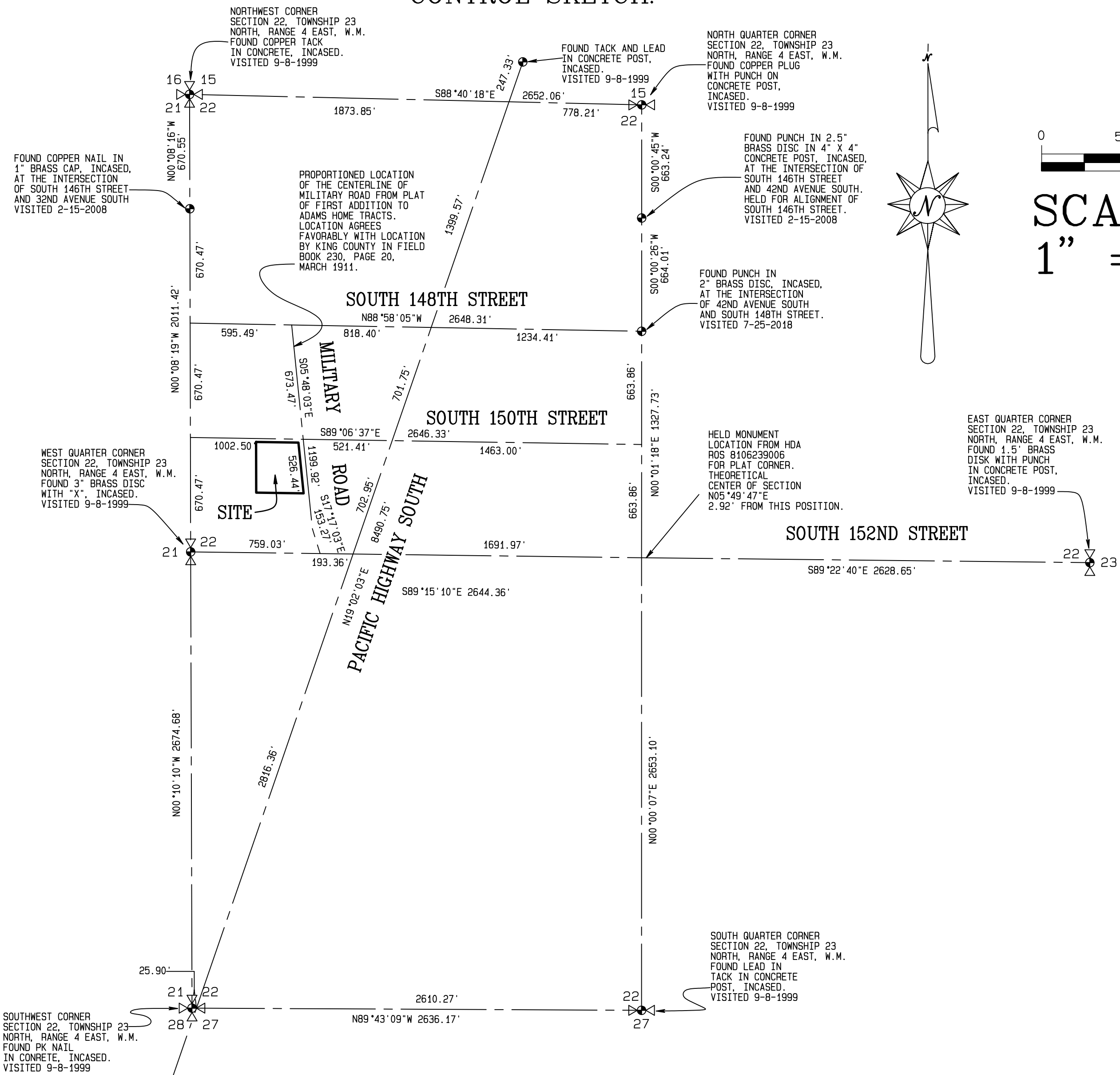
SHEET TITLE

**SITE
DETAILS**

SHEET NO.

C3.2

CONTROL SKETCH:



SCALE:
1" = 500'

A.L.T.A. SURVEY

A PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 23 N., RANGE 4 E., W.M.
CITY OF SEATAC, KING COUNTY, WASHINGTON

SURVEYOR'S NOTES:

- 1) THE MONUMENT CONTROL SHOWN FOR THIS SITE WAS ACCOMPLISHED BY FIELD TRAVERSE UTILIZING A ONE (1) SECOND THEODOLITE WITH INTEGRAL ELECTRONIC DISTANCE MEASURING METER (GEODIMETER 600) AND REAL TIME KINEMATIC (RTK) / STATIC GLOBAL POSITIONING SYSTEM (GPS). LINEAR AND ANGULAR CLOSURE OF THE TRAVERSES MEET THE STANDARDS OF WAC 332-130-090.
- 2) LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON FIELD MEASUREMENT.
- 3) THIS SURVEY REPRESENTS PHYSICAL IMPROVEMENT CONDITIONS AS THEY EXISTED APRIL 2, 2019. THE DATE OF THIS FIELD SURVEY, DURING THE COURSE OF THE SURVEY EARTHWORK WAS BEING CONDUCTED ON-SITE AND THE TOPOGRAPHY WAS CHANGING.
- 4) FULL RELIANCE FOR LEGAL DESCRIPTIONS AND RECORDED EASEMENTS HAVE BEEN PLACED ON THE TITLE REPORT FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT ORDER NO. NCS-945194-WA1, DATED JANUARY 23, 2019 AND NCS-946458-WA1, DATED FEBRUARY 1, 2019. NO ADDITIONAL RESEARCH HAS BEEN ATTEMPTED.
- 5) THE PURPOSE OF THIS SURVEY IS TO PROVIDE EXISTING CONDITIONS FOR ENGINEERING DESIGN.
- 6) CONTOURS SHOWN WERE DERIVED FROM THE DIRECT FIELD MEASUREMENTS SHOWN HEREON.
- 7) CONTOURS SHOWN HEREON ARE TO NATIONAL MAPPING STANDARDS, ONE HALF CONTOUR INTERVAL.
- 8) THERE ARE NO DIRECT LIMITATIONS OF USE PER WAC 332-130-145 26.
- 9) BOUNDARY INFORMATION SHOWN HEREON IS FROM A PRIOR BOUNDARY SURVEY OF THE PARCEL.
- 10) UTILITIES THAT WERE VISIBLE DURING THE COURSE OF THIS SURVEY ARE SHOWN AND REFLECT THEIR FIELD MEASUREMENT.
- 11) THE INTENT OF THIS SURVEY WAS TO LOCATE VISIBLE UTILITIES, STRUCTURES, CONTOURS, SPOT ELEVATIONS AND DESIGN FEATURES IN THE AREA OF THE REQUESTED SURVEY. BEYOND WHAT WAS VISIBLE ON-SITE, NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND UTILITIES.
- 12) SURVEYOR IS UNAWARE OF ANY PROPOSES TO STREET RIGHT-OF-WAY CHANGES.
- 13) NO WETLAND FLAGS WERE OBSERVED DURING THE TIME OF SURVEY.

FLOOD ZONE NOTE:

PROPERTY IS LOCATED IN ZONE "X". AREA OUTSIDE 500 YEAR FLOOD PLAIN, PER MAP PANEL 53033C0960F, DATED 5/16/1995.

AREA:

78225 SQ. FT. / 1.80 ACRES

ZONING:

INFORMATION NOT PROVIDED TO SURVEYOR.

PARKING:

THERE IS NO PAINTED PARKING STALLS ON SITE.

EASEMENTS OF RECORD:

1. THIS SITE IS AFFECTED BY AN AVIGATION EASEMENT, IN FAVOR OF THE PORT OF SEATTLE, FILED UNDER KING COUNTY RECORDING NO. 9509181148. THIS IS A BLANKET EASEMENT IN NATURE AND IS INTENDED TO COVER THE ENTIRE SITE.
2. A TEMPORARY CONSTRUCTION EASEMENT, IN FAVOR OF THE CITY OF SEATAC, FILED UNDER RECORDING NUMBER 20190128000568, FOR CONSTRUCTING, MAINTAINING, REPAIRING, ALTERING OR RECONSTRUCTING STREET IMPROVEMENTS EXISTS. THE DOCUMENT DOES NOT DEFINE AN EXACT LOCATION BUT DOES MENTION DEPICTIONS IN EXHIBITS "A" AND "B". THESE DOCUMENTS WERE NOT SUPPLIED TO THE SURVEYOR.

DESCRIPTION:

PARCEL A:

WEST 75 FEET OF LOT 4, BLOCK 3, FIRST ADDITION TO ADAMS' HOME TRACTS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL B:

LOT 5, BLOCK 3, FIRST ADDITION TO ADAMS' HOME TRACTS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL C:

LOT 4, BLOCK 3, FIRST ADDITION TO ADAMS HOME TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50, IN KING COUNTY, WASHINGTON;

EXCEPT THE WEST 75 FEET THEREOF.

PARCEL D:

THE WESTERLY 126.00 FEET OF LOT 6 IN BLOCK 3, FIRST ADDITION TO ADAMS HOME TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 50, RECORDS OF SAID COUNTY; ALSO THE NORTHERLY 10.00 FEET IN WIDTH OF THAT PORTION OF SAID LOT LYING EASTERLY OF THE EASTERLY LINE OF THE WESTERLY 126.00 FEET THEREOF.

BASIS OF BEARING:

GEODETIC NORTH, BASED UPON GLOBAL POSITIONING SYSTEM (GPS) LAMBERT GRID WASHINGTON STATE NORTH ZONE COORDINATES. A CONVERGENCE ANGLE OF 01°05'09.25" COUNTERCLOCKWISE WAS APPLIED AT AN "X" IN 3" BRASS DISC IN MONUMENT CASE AT THE INTERSECTION OF 32ND AVENUE SOUTH AND SOUTH 152ND STREET. THE MONUMENT IS THE WEST QUARTER CORNER FOR SECTION 22, TOWNSHIP 23 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN. THE GRID COORDINATES WERE FOUND TO BE 173765.396 / 1279677.132 AT THAT POINT. THE INVERSE OF BOTH THE ELEVATION SCALE FACTOR OF 0.999984861 AND THE GRID SCALE FACTOR OF 0.00006320 WAS APPLIED TO THE GPS VECTORS FOR SHOWN GROUND DISTANCES.

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

BENCHMARKS:

BASE:
KING COUNTY CONTROL POINT #SMOOTH.
FOUND TACK IN LEAD IN 1.5" IRON PIPE, INCASED, LOCATED AT THE INTERSECTION OF 26TH AVENUE SOUTH AND SOUTH 272ND STREET.
ELEVATION: 350.252 FEET

SITE:
FOUND REBAR WITH CAP LOCATED AT THE SOUTHEAST CORNER OF SITE. STAMPED "LS 22338 / 38965"
ELEVATION: 339.16 FEET

ADDRESSES:

TAX PARCEL 0041000391: 3239 SOUTH 150TH STREET SEATAC, WA. 98188
TAX PARCEL 0041000390: 15001, 15003 & 15005 MILITARY ROAD SOUTH SEATAC, WA. 98188
TAX PARCEL 0041000395: 15015 & 15025 MILITARY ROAD SOUTH SEATAC, WA. 98188

SURVEYOR'S CERTIFICATE:

TO FIRST AMERICAN TITLE INSURANCE COMPANY, RIVERTON HOUSING LLC., DEBRA J. & KARL R. MAYER, WIFE AND HUSBAND, LUDWIG MAYER AND THE HEIRS AND DEVEISEES OF JOHANNA M. MAYER (DECEASED):

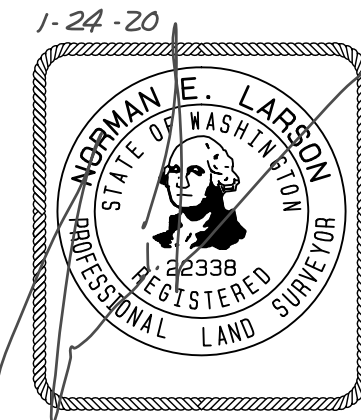
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH " MINIMUM STANDARDS DETAIL REQUIREMENTS FOR THE A.L.T.A./A.C.S.M. LAND TITLE SURVEY, JOINTLY ESTABLISHED AND ADOPTED BY A.L.T.A. AND A.C.S.M. IN 2016, AND INCLUDES ITEMS 2, 3, 4, 5, 6 (A), 7 (A), 8, 9, 11, 13, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF, AND PURSUANT TO THE ACCURACY STANDARDS OF AN URBAN SURVEY.

DATE: 1-24-2020

SIGNED 
NORMAN E. LARSON P.L.S.
REGISTRATION NO. 22338

DATE OF SURVEY: APRIL 3, 2019
DATE OF LAST REVISION: APRIL 8, 2019

DRAWING UPDATED JANUARY 2020 TO INCLUDE TAX PARCEL NO.004100--0398



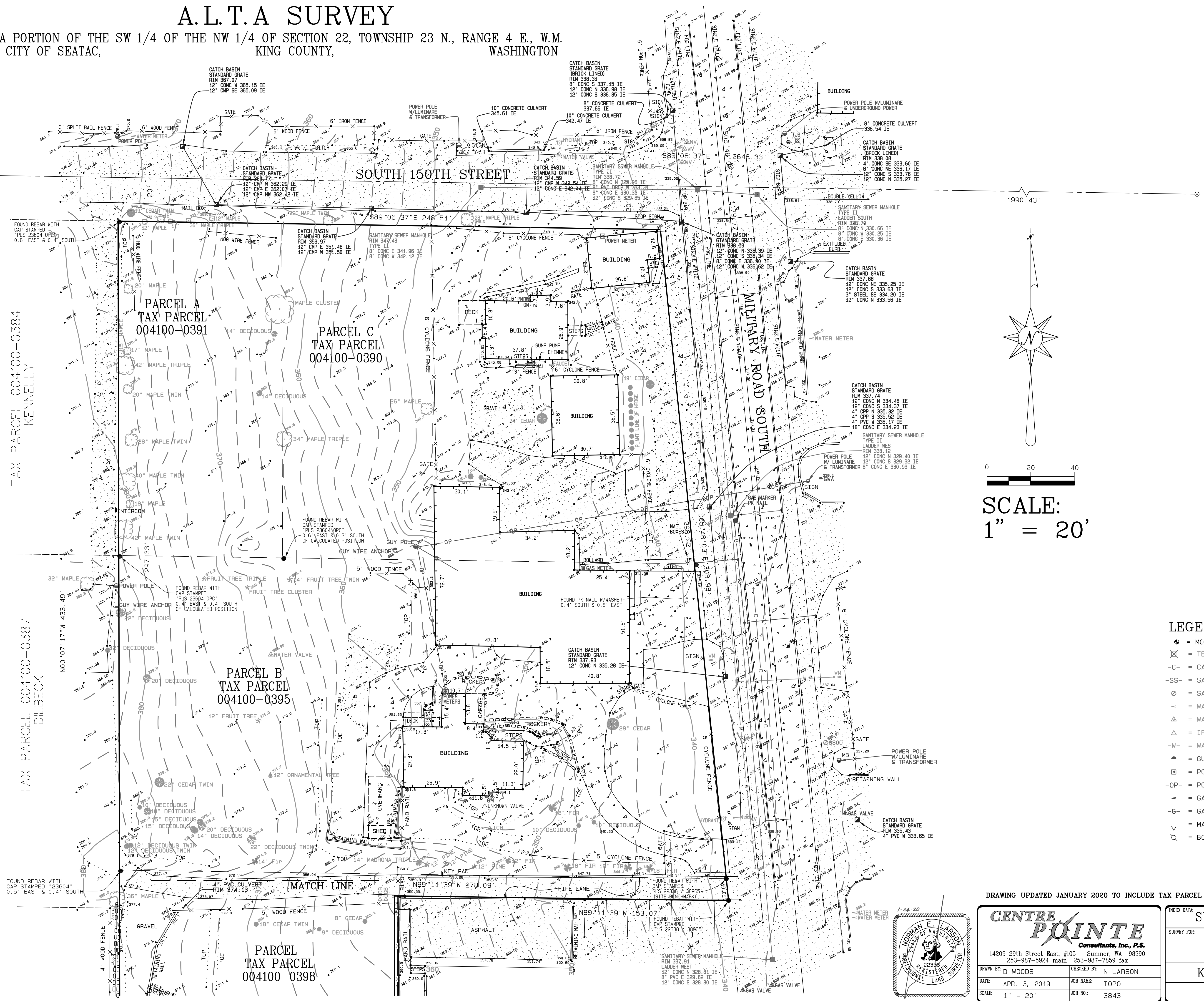
CENTRE POINTE
Consultants, Inc., P.S.
14209 29th Street East, #105 - Sumner, WA 98390
253-987-5924 main 253-987-7859 fax

DRAWN BY: D WOODS	CHECKED BY: N LARSON
DATE: APR. 3, 2019	JOB NAME: TOPO
SCALE: 1" = 20'	JOB NO.: 3843

INDEX DATA	SW-NW 22, T33N., R4E., W.M.
SURVEY FOR:	SCOTT GRAINGER RIVERTON HOUSING, LLC. 845 106TH AVENUE NE #100 BELLEVUE, WA. 98004
KING COUNTY, WASHINGTON	
SV 1 of 2	

A.L.T.A SURVEY

A PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 23 N., RANGE 4 E., W.M.
CITY OF SEATAK,
KING COUNTY,
WASHINGTON



LEGEND:

- = MONUMENT FOUND AS NOTED
- ⊗ = TELEPHONE JUNCTION BOX (TJB)
- C- = CABLE PAINT MARK
- SS- = SANITARY SEWER PAINT MARK
- = SANITARY SEWER CLEAN OUT (SSCO)
- △ = WATER METER (WM)
- ▽ = WATER VALVE (WV)
- △ = IRRIGATION CONTROL BOX (ICB)
- W- = WATER PAINT MARK
- ▲ = GUY WIRE ANCHOR
- = POWER METER (PM)
- OP- = POWER METER
- △ = GAS METER (GM)
- G- = GAS PAINT MARK
- ▽ = MAIL BOX (MB)
- = BOLLARD

DRAWING UPDATED JANUARY 2020 TO INCLUDE TAX PARCEL NO.004100-0398

**CENTRE
POINTE**
Consultants, Inc., P.S.
14209 29th Street East, #105 - Sumner, WA 98390
253-987-5924 main 253-987-7859 fax

DRAWN BY: D WOODS
DATE: APR. 3, 2019
SCALE: 1" = 20'

CHECKED BY: N LARSON
JOB NAME: TOPO
JOB NO.: 3843

INDEX DATA
SW-NW 22, T23N., R4E., W.M.

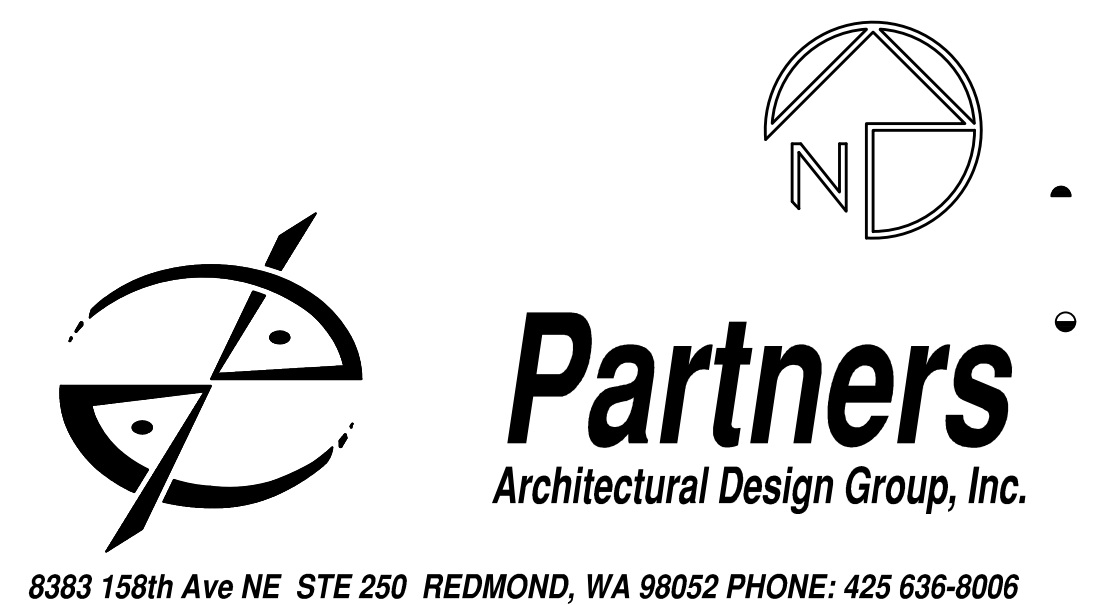
SURVEY FOR: SCOTT GRATINGER
RIVERTON HOUSING, LLC.
845 106TH AVENUE NE #100
BELLEVUE, WA. 98004

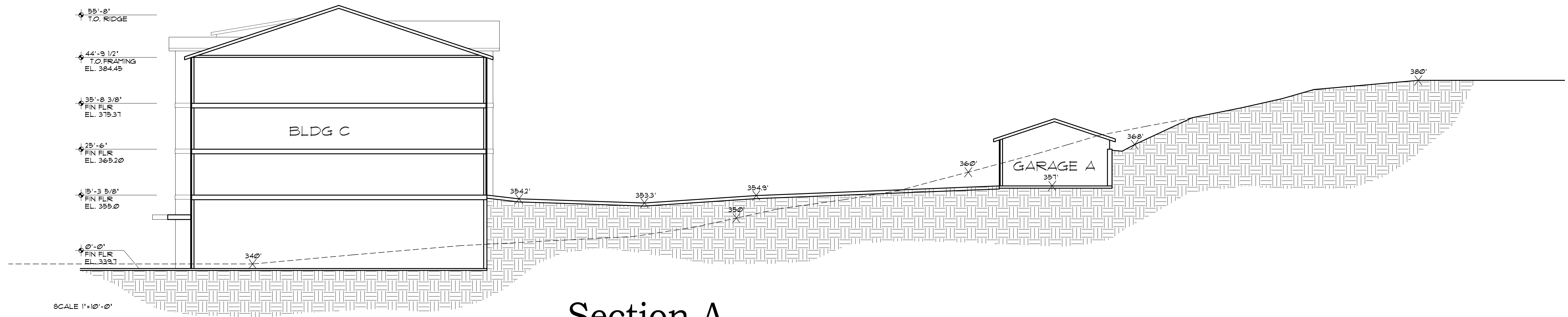
KING COUNTY, WASHINGTON
SV 2 of 2



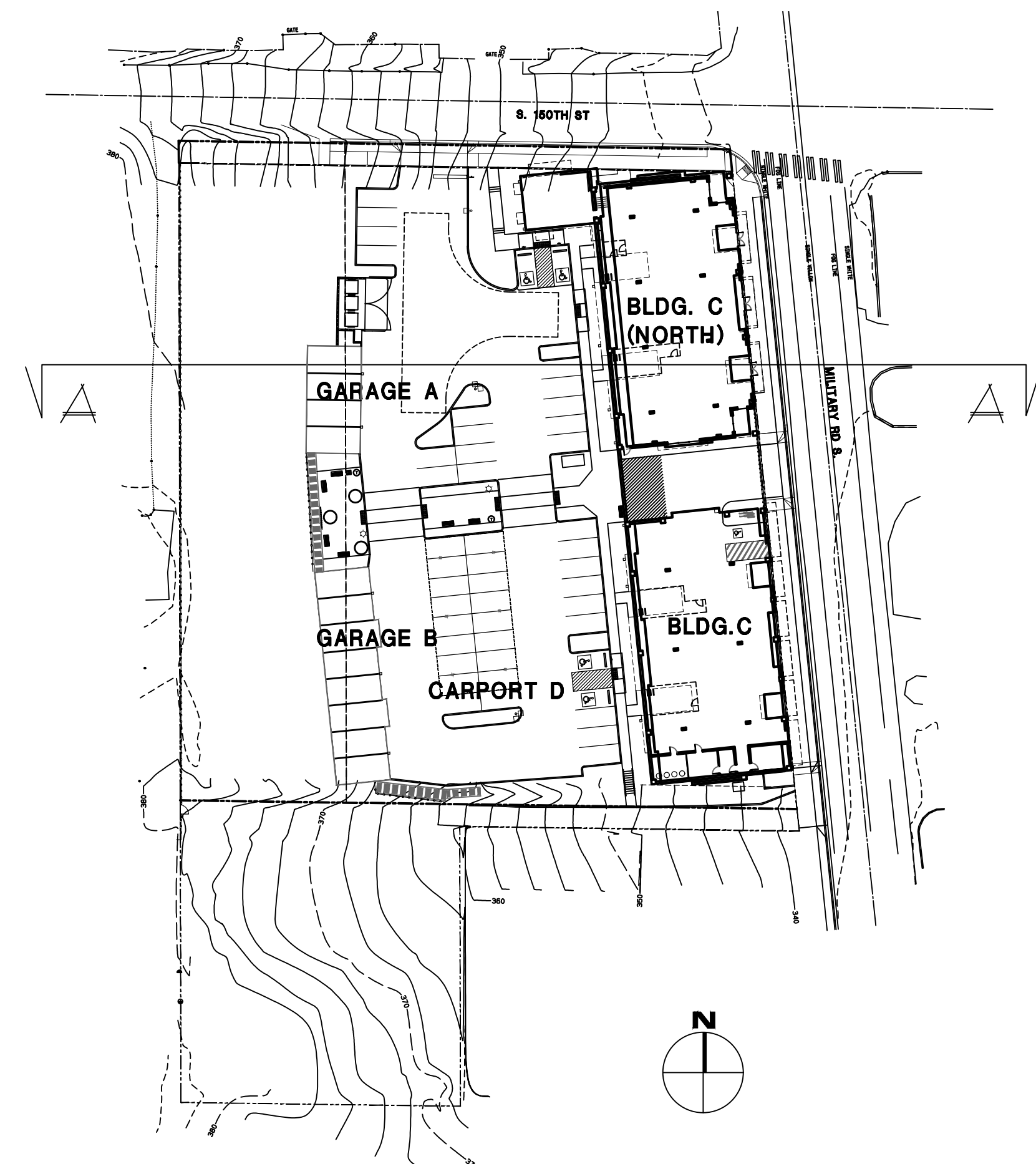
SITE AREA: TOTAL = ±18,225 SF (179 AC)		215254 SF (.49 ACRES) AFTER ROW DEDICATION		BUILDING AREA:			
UH-1800 ZONE:		±54,201 SF (124 ACRES) AFTER ROW DEDICATION		BUILDING 'C'			
CB-C ZONE:		±15,136 SF (113 ACRES) AFTER ROW DEDICATION		L1 LEVEL			
TOTAL:				14,998 SF.			
THE PROJECT SITE IS COMPRISED OF 3 LOTS, PARCEL A, B, AND C. ALL PARCELS WILL BE CONSOLIDATED AND COMBINED WITH A LOT CONSOLIDATION. SEE CIVIL PLANS FOR TAX PARCEL NUMBERS AND OUTLINES.				NORTH			
AVERAGE BASE ELEVATION:				R1 LEVEL			
BUILDING C (NORTH 4 SOUTH):				1,628 SF.			
				R2 LEVEL			
				1,443 SF.			
				R3 LEVEL			
				1,443 SF.			
				SUB TOTAL			
				22,514 SF.			
STRUCTURE HEIGHT LIMIT:				SOUTH			
UH-1800:				R1 LEVEL			
CB-C:				6,905 SF.			
				R2 LEVEL			
				1,443 SF.			
				R3 LEVEL			
				1,443 SF.			
				SUB TOTAL:			
				21,791 SF.			
LOT COVERAGE (BUILDING):				BUILDING C TOTAL:			
IMPERVIOUS SURFACE COVERAGE:				59,303 SF.			
PROPOSED BUILDING HEIGHT:							
BUILDING C (NORTH 4 SOUTH):							
BUILDING CONSTRUCTION TYPE:							
COMMERCIAL:							
RESIDENTIAL:							
ENCLOSED GARAGES							
CARPORT							
BUILDING OCCUPANCY TYPE:							
COMMERCIAL:							
RESIDENTIAL:							
GARAGES:							
CARPORT							
PROPOSED FLOOR AREA:							
COMMERCIAL (L-1):							
RESIDENTIAL UNITS							
RESIDENTIAL GARAGE A, B:							
RESIDENTIAL OFFICE/ LOBBY/ AMENITY:							
PARKING STRUCTURE (L-1):							
TOTAL:							
CARPORT							
PARKING REQUIRED:							
COMMERCIAL:							
RESIDENTIAL:							
STUDIO:							
ONE BEDROOM/ 1 BATH:							
TWO BEDROOM/ 1 BATH:							

A-1.0





Section A



Site

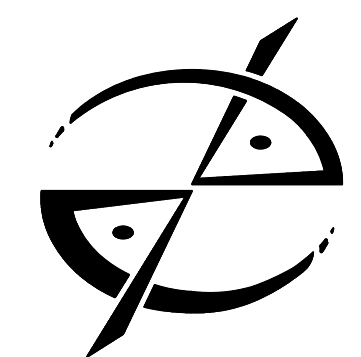
4-08-2022

Mayer Court Apartments

SEATAC, WA for Mayer Court LLC

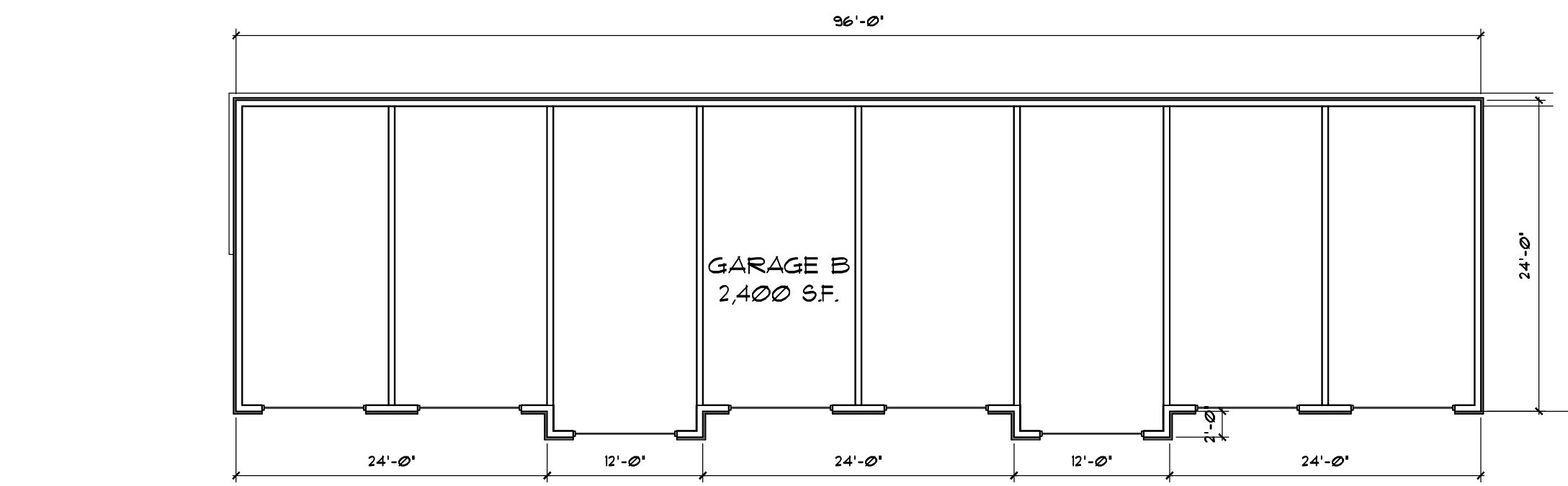
Site Section - East West

A-1.2



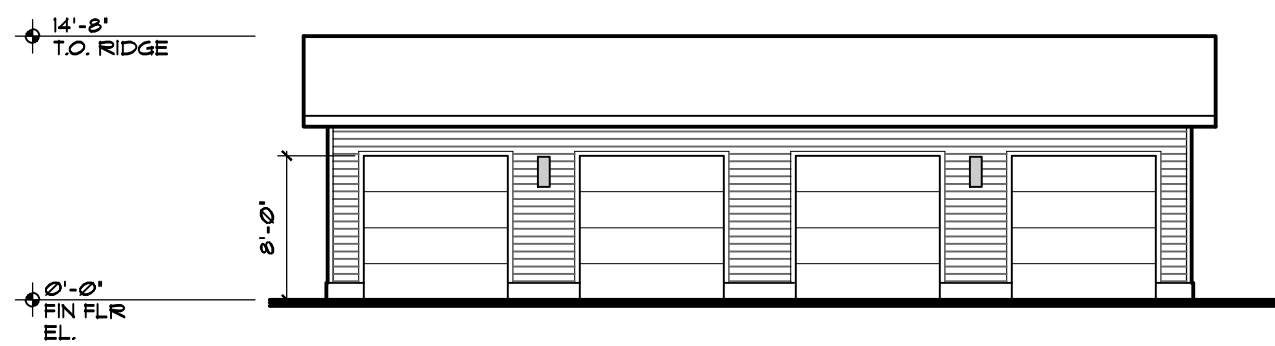
Partners
Architectural Design Group, Inc.

8383 158th Ave NE STE 250 REDMOND, WA 98052 PHONE: 425 636-8006



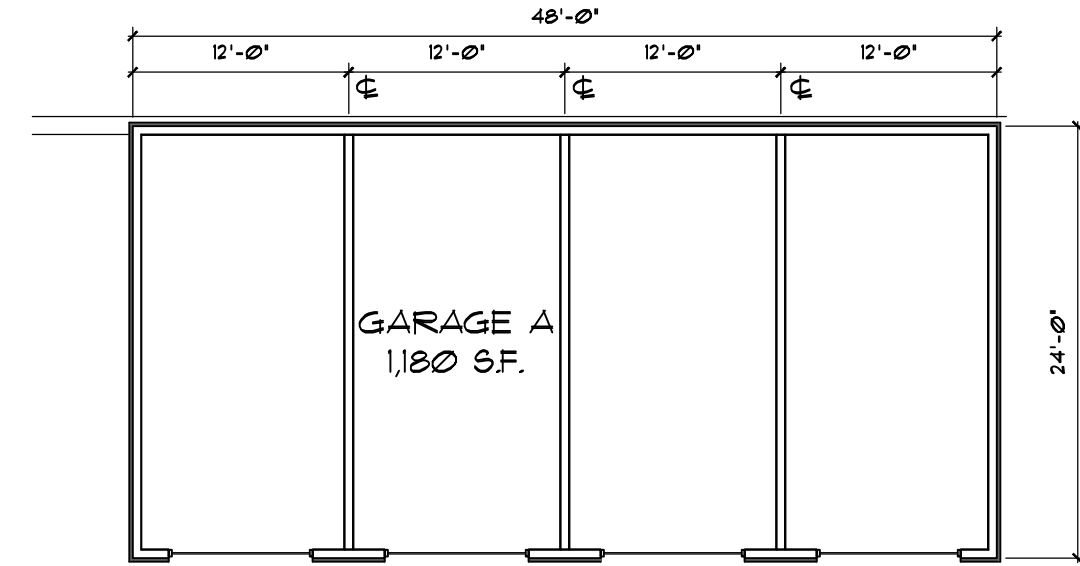
GARAGE 'B'
FLOOR PLAN

SCALE: 3/32" = 1'-0"



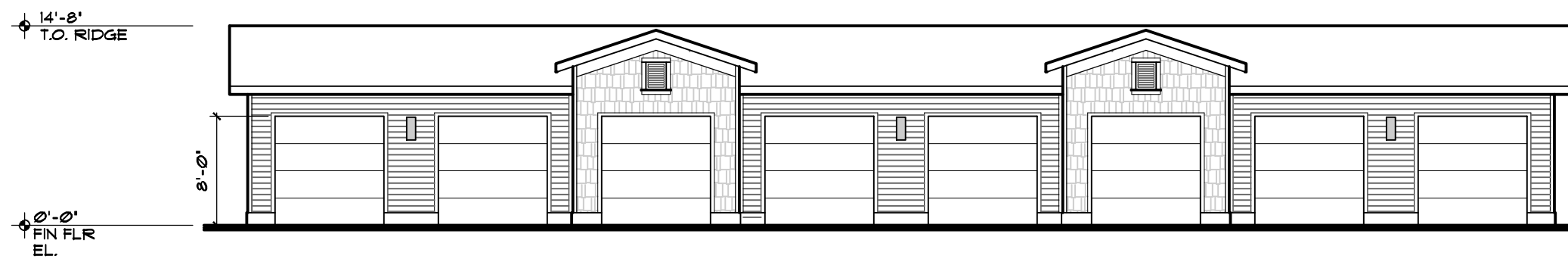
GARAGE 'A'
EAST ELEVATION

SCALE: 3/32" = 1'-0"



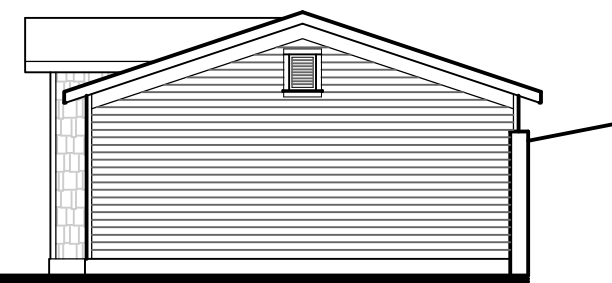
NORTH GARAGE
FLOOR PLAN

SCALE: 3/32" = 1'-0"



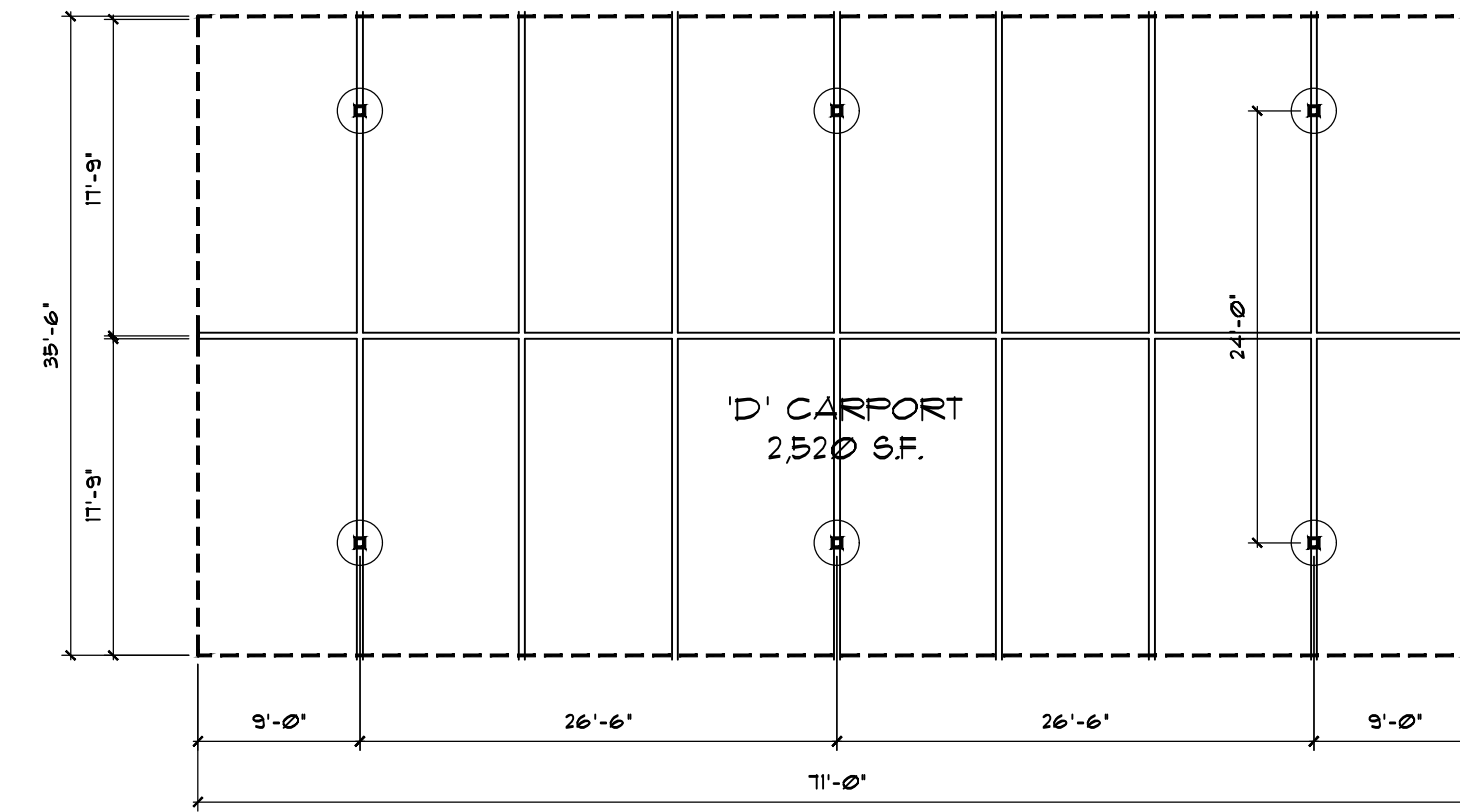
GARAGE 'A'
EAST ELEVATION

SCALE: 3/32" = 1'-0"



GARAGE 'A'
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



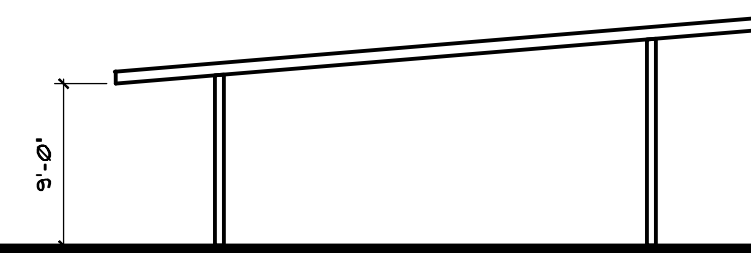
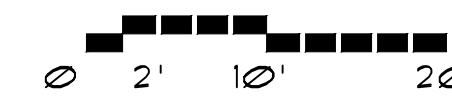
CARPORT 'D'
FLOOR PLAN

SCALE: 3/32" = 1'-0"



CARPORT 'D'
WEST ELEVATION

SCALE: 3/32" = 1'-0"

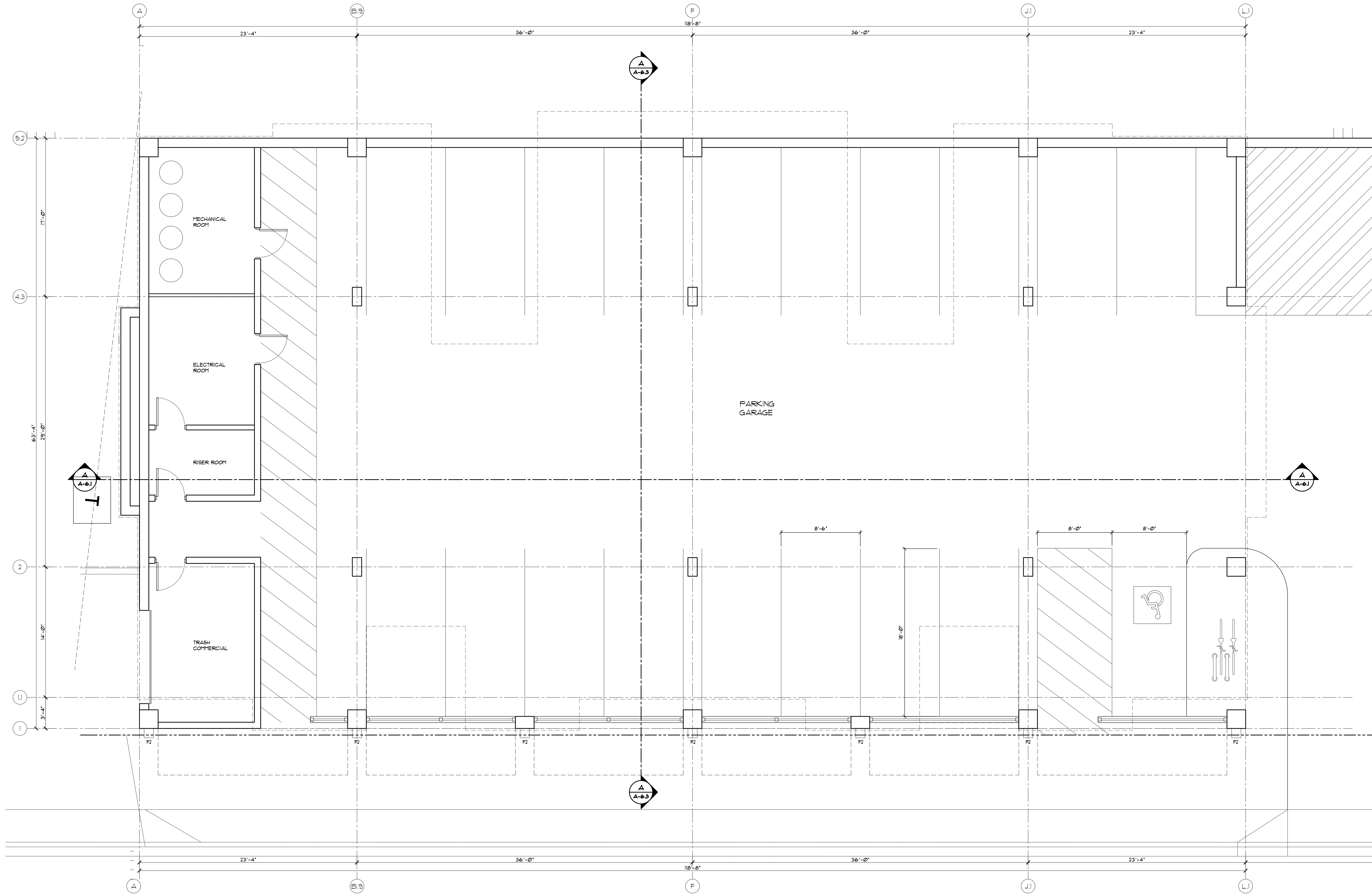


CARPORT 'D'
SOUTH ELEVATION

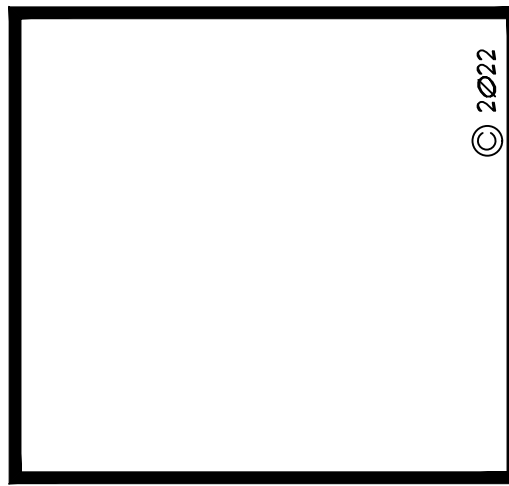
SCALE: 3/32" = 1'-0"

MAYER COURT APARTMENTS
GARAGE A, B, AND CARPORT D
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
GARAGE PLANS

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FLOOR PLAN L1 - BUILDING C SOUTH
SCALE 1/4"=1'-0"

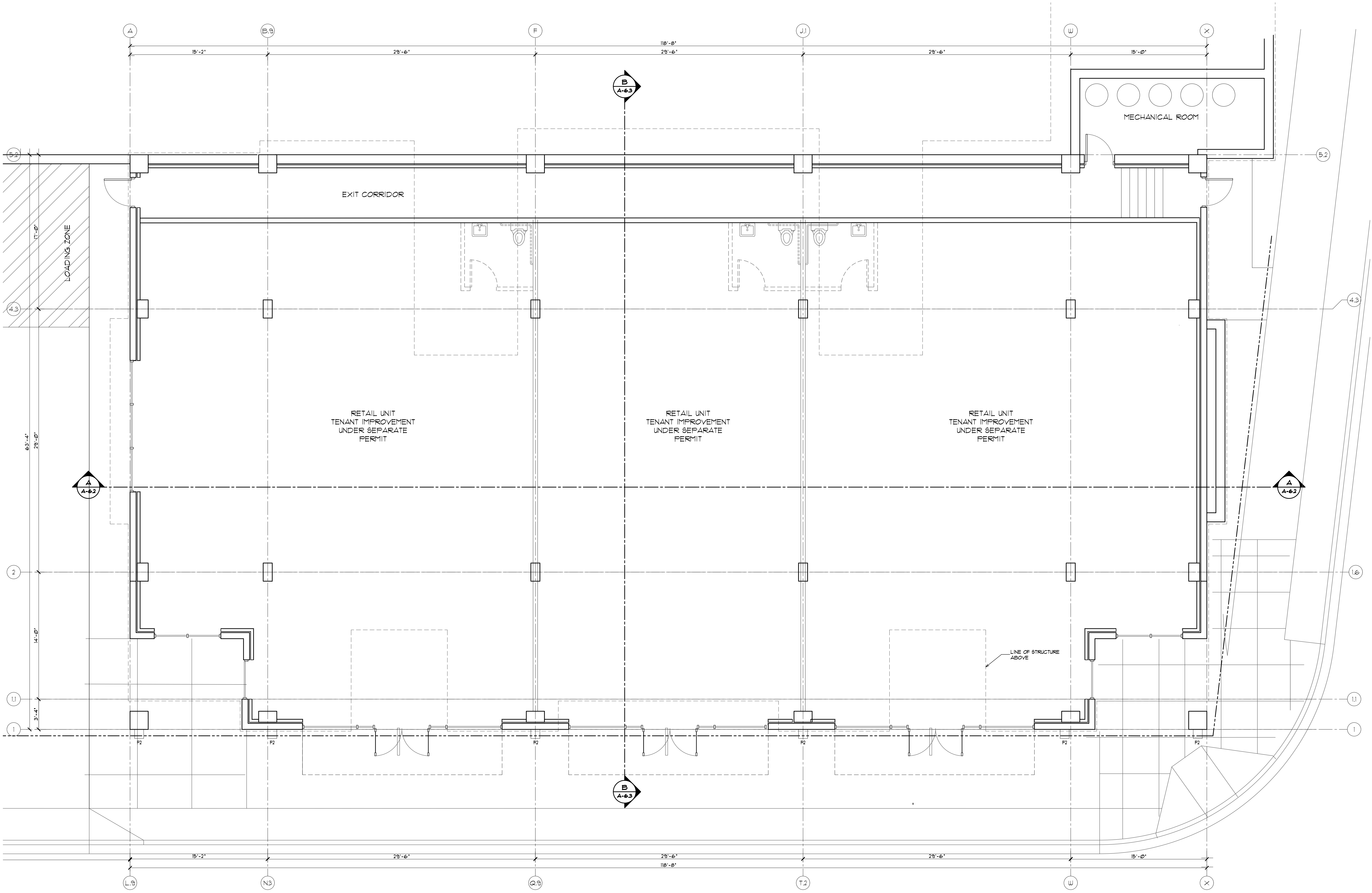


Partners
Architectural Design Group, Inc.
6501 15th Ave NE Suite 250 Redmond, WA 98052 Phone 425-636-6006

REV.	DATE	DESCRIPTION	ISSUED SUBJECT TO BUILDING DEPARTMENT APPROVAL SUBJECT TO REVISIONS AND ADDITIONS
	4/08/2022	SITE PLAN REVIEW RESUBMITTAL	
DRAWN:			X X X
CHECK:			III I A
JOB NO:			19 011

MAYER COURT APARTMENTS
BUILDING C
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
FLOOR PLAN L-1 SOUTH

SHEET:
A2-1A
OF: - SHEETS



FLOOR PLAN L1 - BUILDING C NORTH
 SCALE 1/4"=1'-0"

Partners
Architectural Design Group, Inc.

6881 158th Ave NE Suite 250 Redmond, WA 98052 Phone 425-636-6066

REV.	DATE	DESCRIPTION
	4/08/2022	SITE PLAN REVIEW RESUBMITTAL

DRAWN: CHECK: JOB NO: 19-011

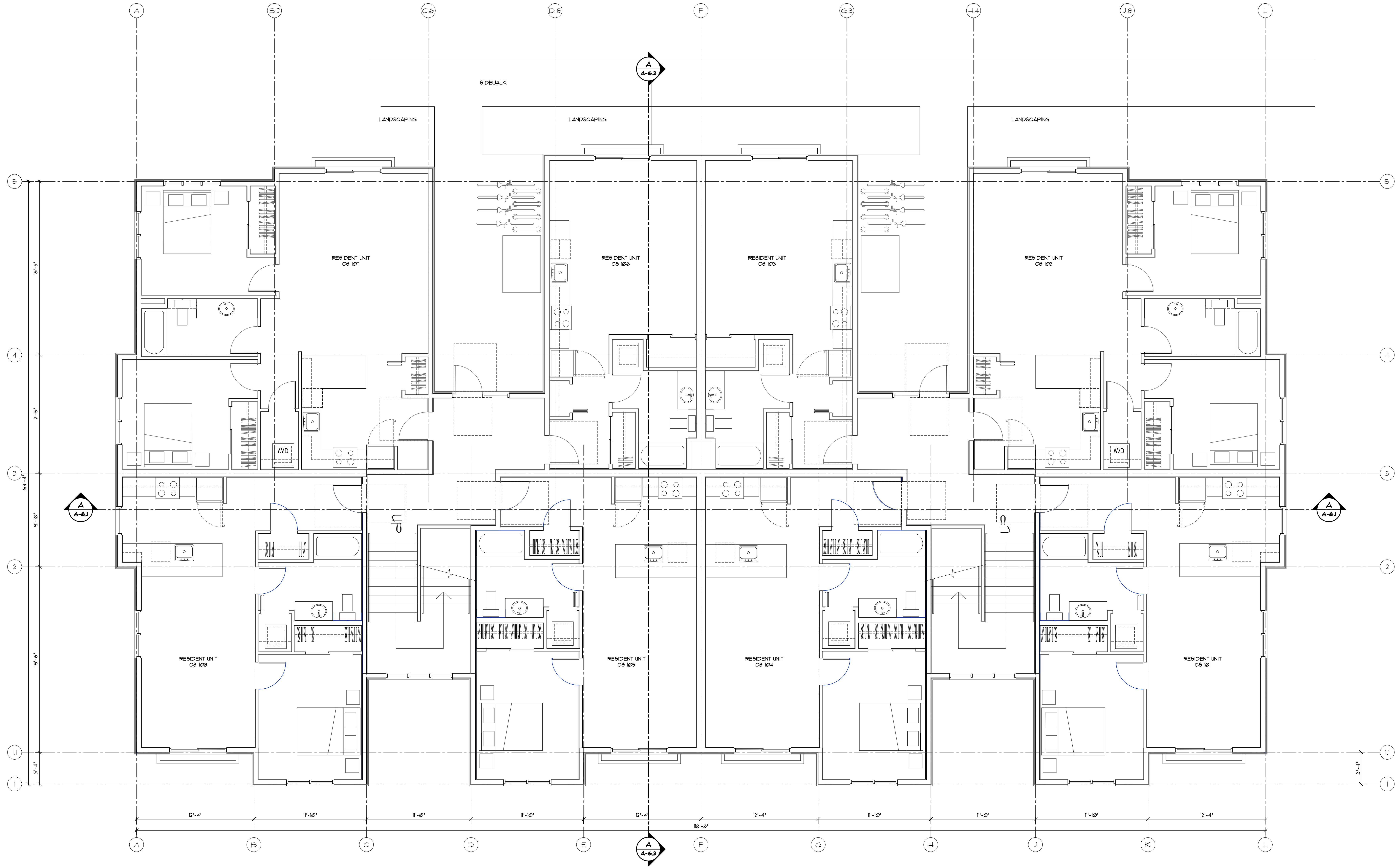
ISSUED SUBJECT TO BUILDING DEPARTMENT APPROVAL
SUBJECT TO REVISIONS AND ADDITIONS

MAYER COURT APARTMENTS
BUILDING C
 15005 MILITARY RD SOUTH
 SEATAC, WASHINGTON 98188
 FOR: MAYER COURT LLC
 FLOOR PLAN L-1 NORTH

FILE NAME: BUILDING C 2022-04-08 10:00 AM

SHEET:
A2-1B

OF: - SHEETS



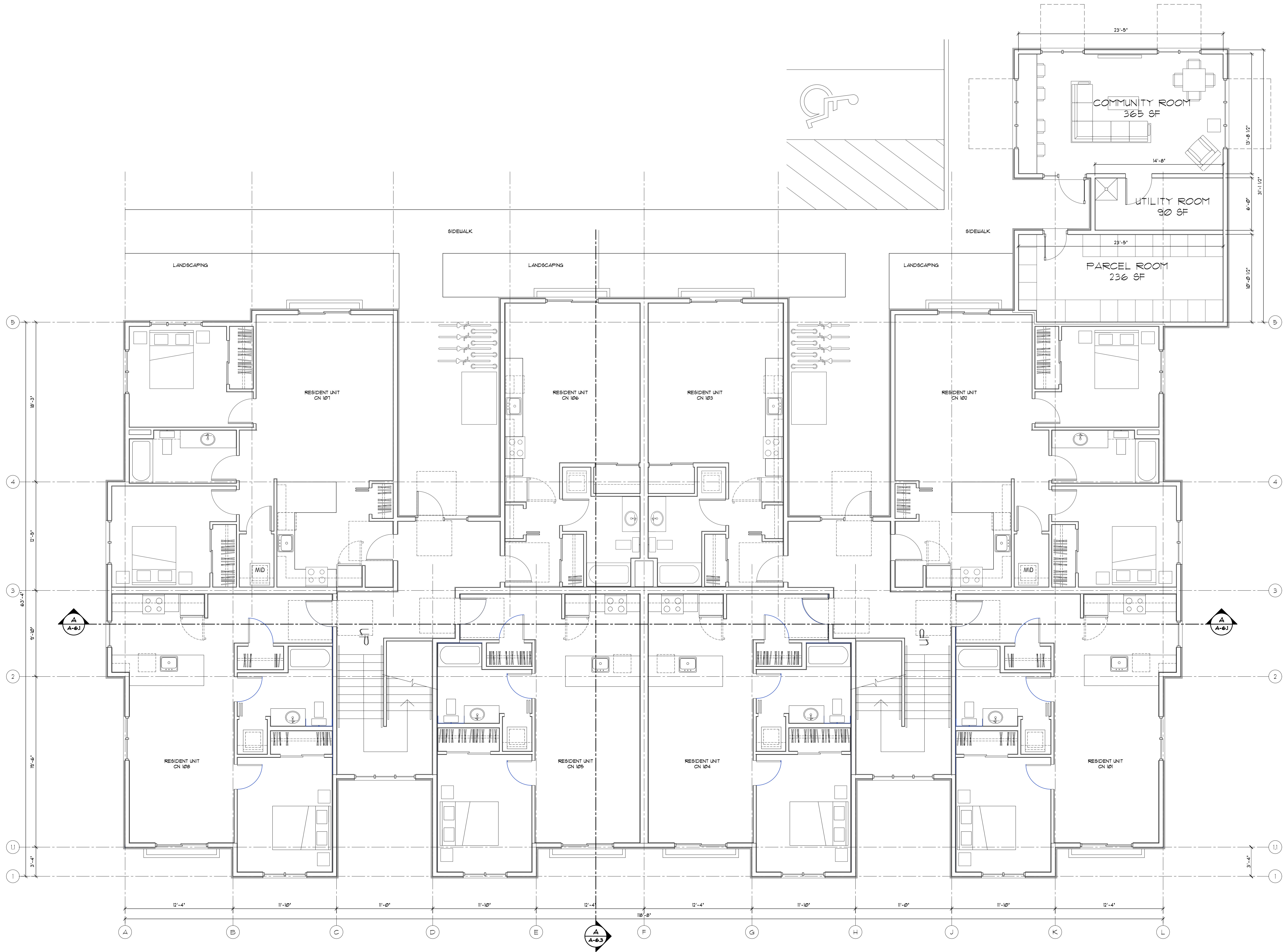
FLOOR PLAN R1 - BUILDING C SOUTH
A2.2A SCALE 1/4"=1'-0"

MAYER COURT APARTMENTS
BUILDING C
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
FLOOR PLAN R-1 SOUTH

SHEET:
A2-2A
OF: - SHEETS

REV.	DATE	DESCRIPTION	DRAWN:	CHECK:	JOB NO:
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ISSUED SUBJECT TO BUILDING DEPARTMENT APPROVAL SUBJECT TO REVISIONS AND ADDITIONS					

Partners
Architectural Design Group, Inc.
6501 158th Ave NE Suite 250
Redmond, WA 98052
Phone 425-638-6006



FLOOR PLAN R1 - BUILDING C NORTH
SCALE 1/4"=1'-0"

Partners
Architectural Design Group, Inc.

6801 158th Ave NE Suite 250 Redmond, WA 98052 Phone 425-658-6006

REV.	DATE	DESCRIPTION
1	4/08/2022	SITE PLAN REVIEW RESUBMITTAL

DRAWN: **JK**
CHECK: **JK**
JOB NO: 19-011

ISSUED SUBJECT TO BUILDING DEPARTMENT APPROVAL
SUBJECT TO REVISIONS AND ADDITIONS

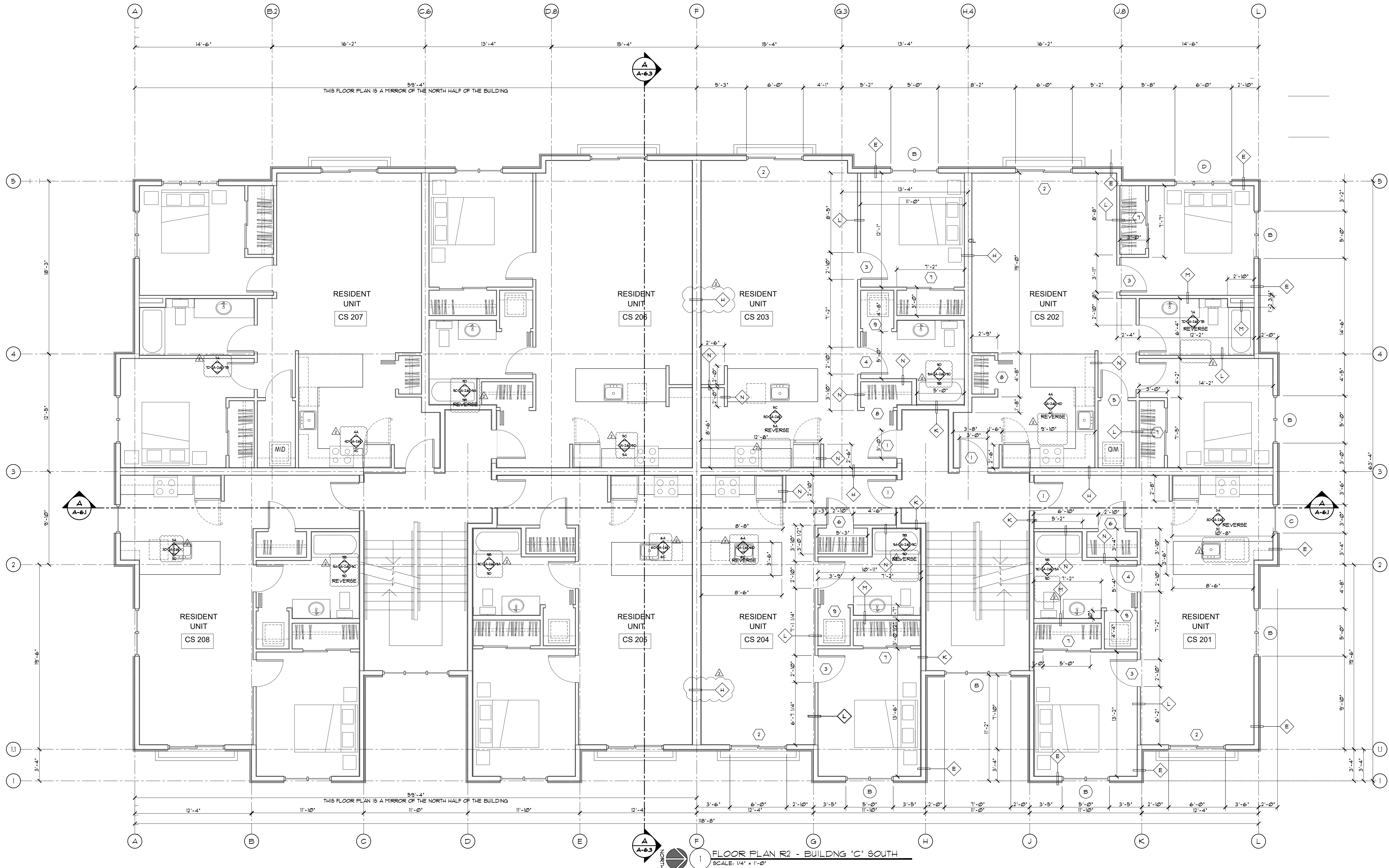
MAYER COURT APARTMENTS
BUILDING C
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
FLOOR PLAN R-1 NORTH

FILE NAME: BUILDING C_FLOOR PLAN R-1 NORTH.dwg

SHEET:
A2-2B

OF: - SHEETS

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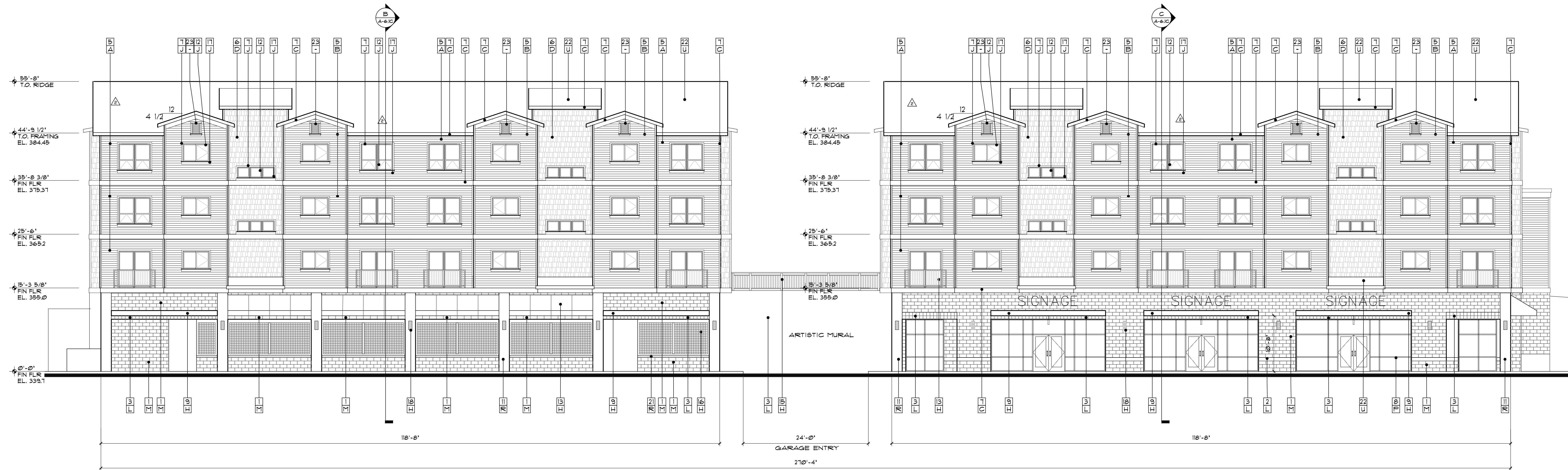


MAYER COURT APARTMENTS
BUILDING C
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
FLOOR PLAN R-2 SOUTH

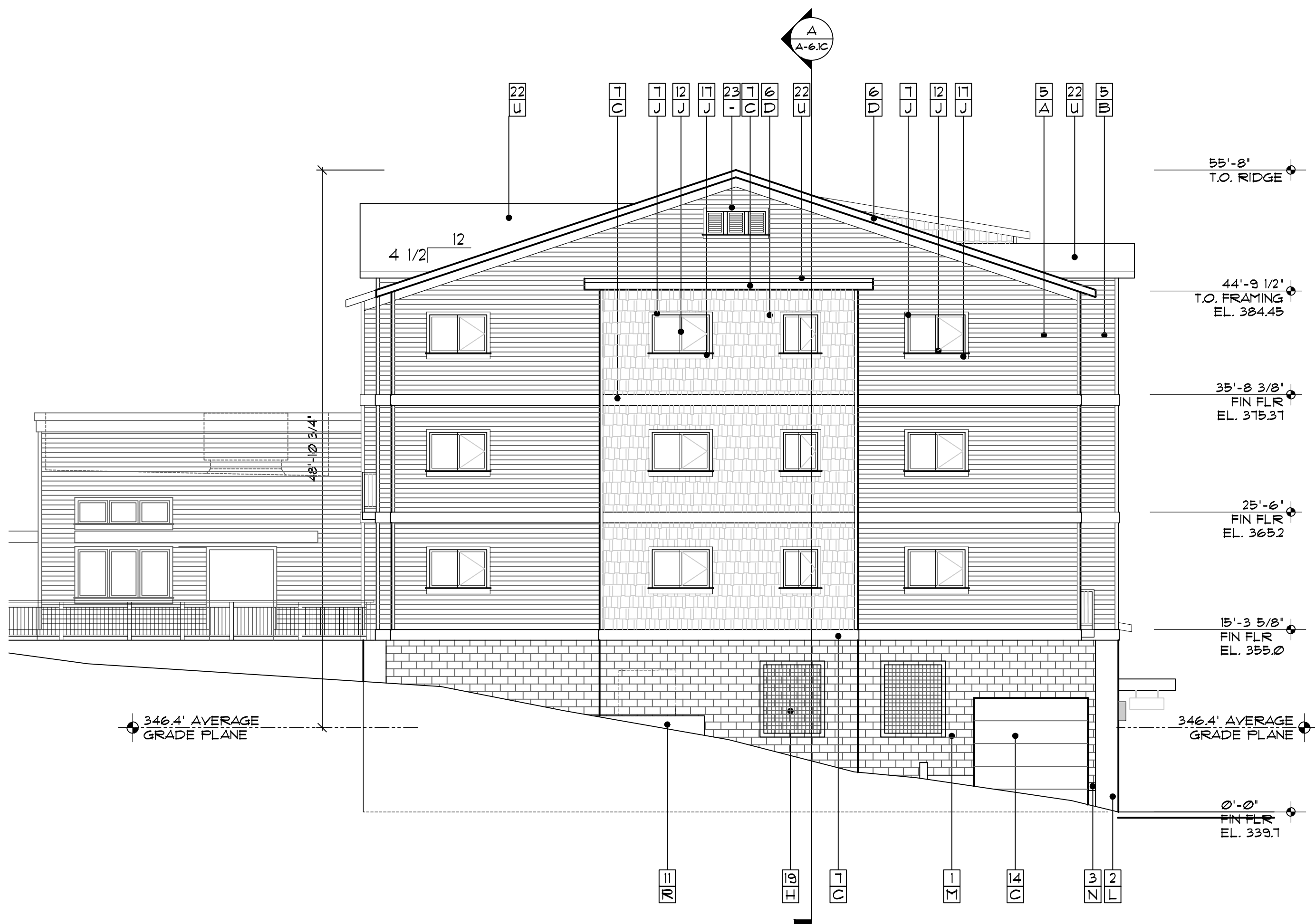
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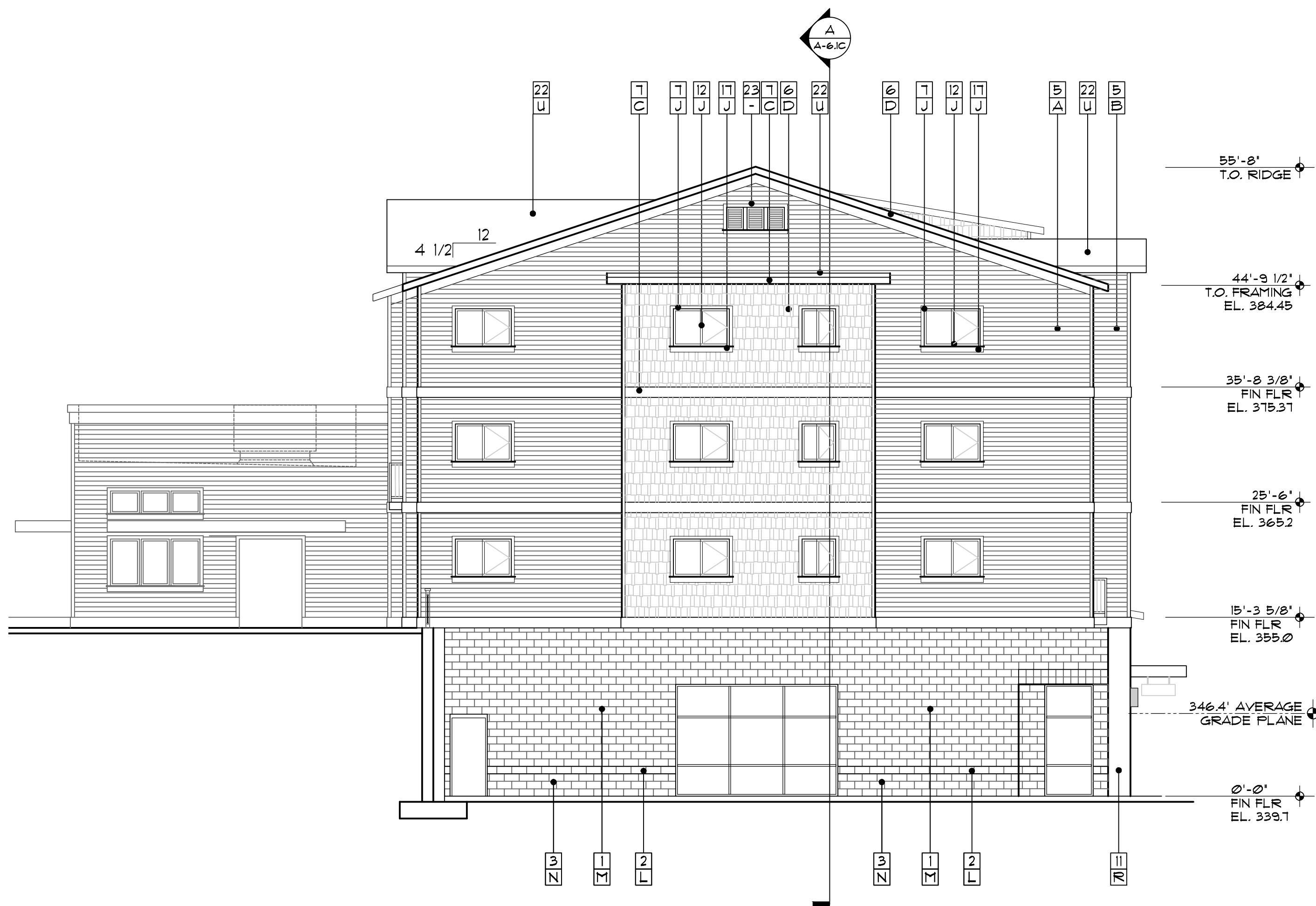




1 BUILDING C - EAST ELEVATION
A-5.1 SCALE 1/8"=1'-0"



2 BUILDING C SOUTH - SOUTH ELEVATION
A-5.1 SCALE 1/8"=1'-0"



BUILDING C NORTH - SOUTH ELEVATION

- PAINT COLOR**
- A - DOWNING SAND, (SW) 2822
 - B - DOWNING STONE, (SW) 2821
 - C - DOWNING EARTH, (SW) 2820
 - D - ROCKWOOD CLAY, (SW) 2823
 - E - INDIAN WHITE, (SW) 0035
 - F - BUCKRAM BINDING, (SW) 0036
 - G - RUSKIN ROOM GREEN, (SW) 0042
 - H - BLACK OF NIGHT, (SW) 0033
 - J - PURE WHITE, (SW) 1005
 - K - ROYLCROFT ADOBE, (SW) 0040

- CMU**
- L - CHARCOAL
 - M - KHAKI
 - N - WILLOW
- METAL**
- P - MATTE BLACK
 - Q - POWDER COAT/WEATHERED STEEL

- CONCRETE**
- R - NATURAL

- ROOFING**
- U - CHARCOAL

- MATERIAL SCHEDULE**
1. INTEGRAL COLOR GROUNDFACE CMU
 2. INTEGRAL COLOR GROUNDFACE CMU
 3. INTEGRAL COLOR GROUND FACE SINGLE SCORE CMU
 4. FIBER CEMENT BOARD AND BATTEN
 5. FIBER CEMENT HORIZONTAL SIDING
 6. FIBER CEMENT SHINGLE SIDING
 7. COMPOSITE TRIM/FASCIA
 8. ANODIZED ALUMINUM STOREFRONT SYSTEM
 9. HORIZONTAL STEEL CANOPY
 10. METAL COPING
 11. EXPOSED CONCRETE
 12. VINYL WINDOW
 13. FABRIC AWNING
 14. OVERHEAD DOOR
 15. METAL RAILING (POWDER COAT)
 16. LANDSCAPE SCREEN
 17. COMPOSITE WINDOW SILL
 18. WALL SCIENCE
 19. STEEL FRAMED TRELLIS (POWDER COAT)
 20. 6" HIGH WOOD FENCE
 21. CONCRETE SILL CAP
 22. ASPHALT SHINGLE ROOF
 23. 18" X 24" GABLE VENT
 24. INTEGRATED CONCRETE PLANTER

Partners
Architectural Design Group, Inc.

6802 158th Ave NE Suite 250 Redmond, WA 98052 Phone 425-636-6066

REV.	DATE	DESCRIPTION
1	4/08/2022	SITE PLAN REVIEW RESUBMITTAL

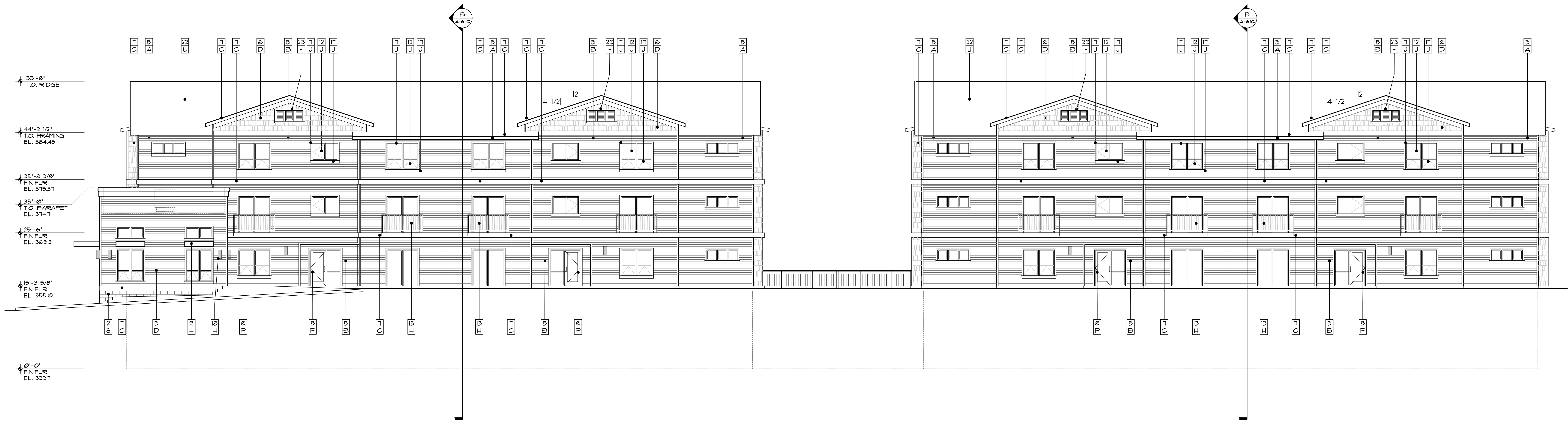
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JOB NO: 19-011

ISSUED SUBJECT TO BUILDING DEPARTMENT APPROVAL
SUBJECT TO REVISIONS AND ADDITIONS

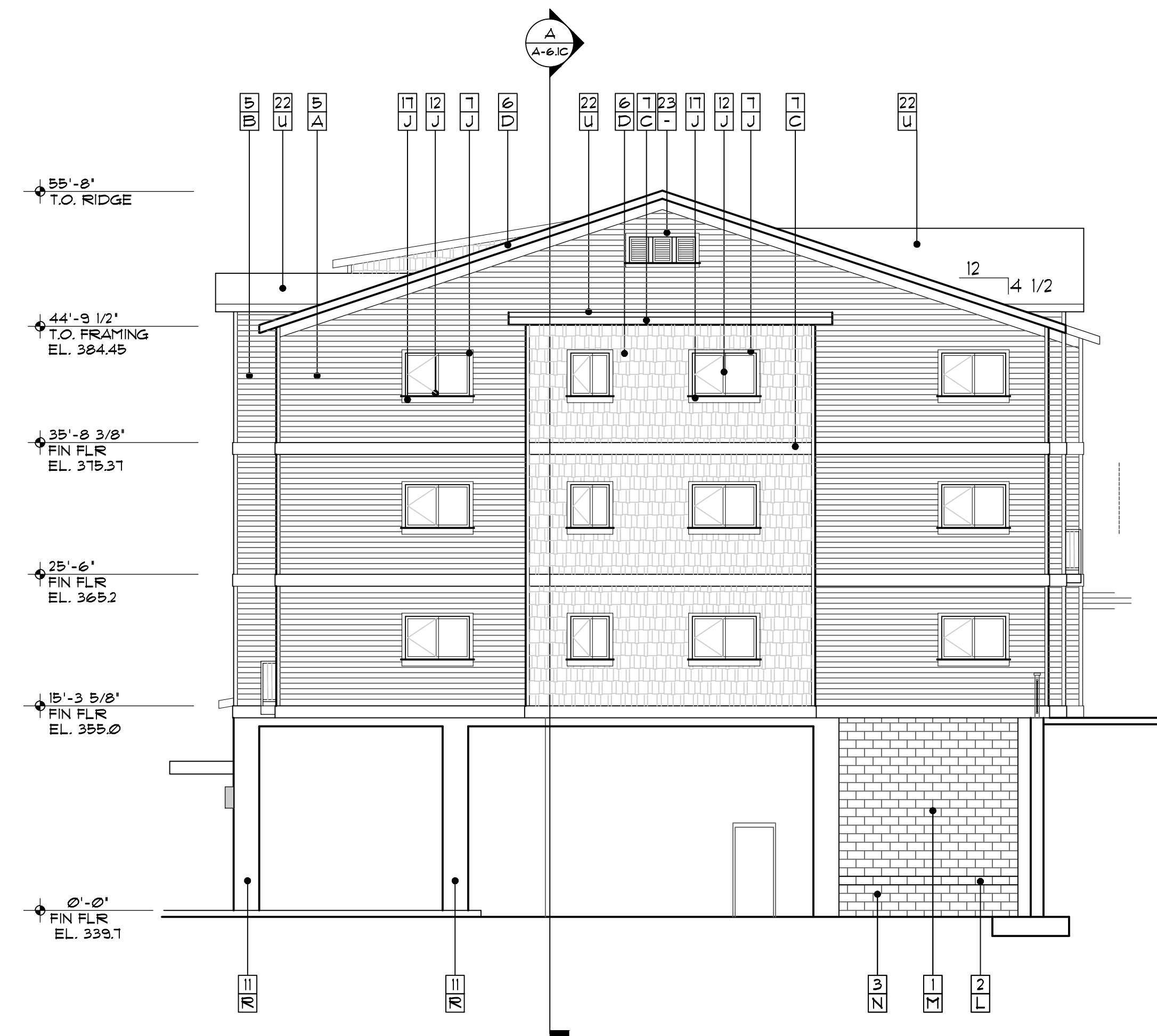
MAYER COURT APARTMENTS
BUILDING C
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
ELEVATIONS - BLDG C, EAST

SHEET:
A-5.1

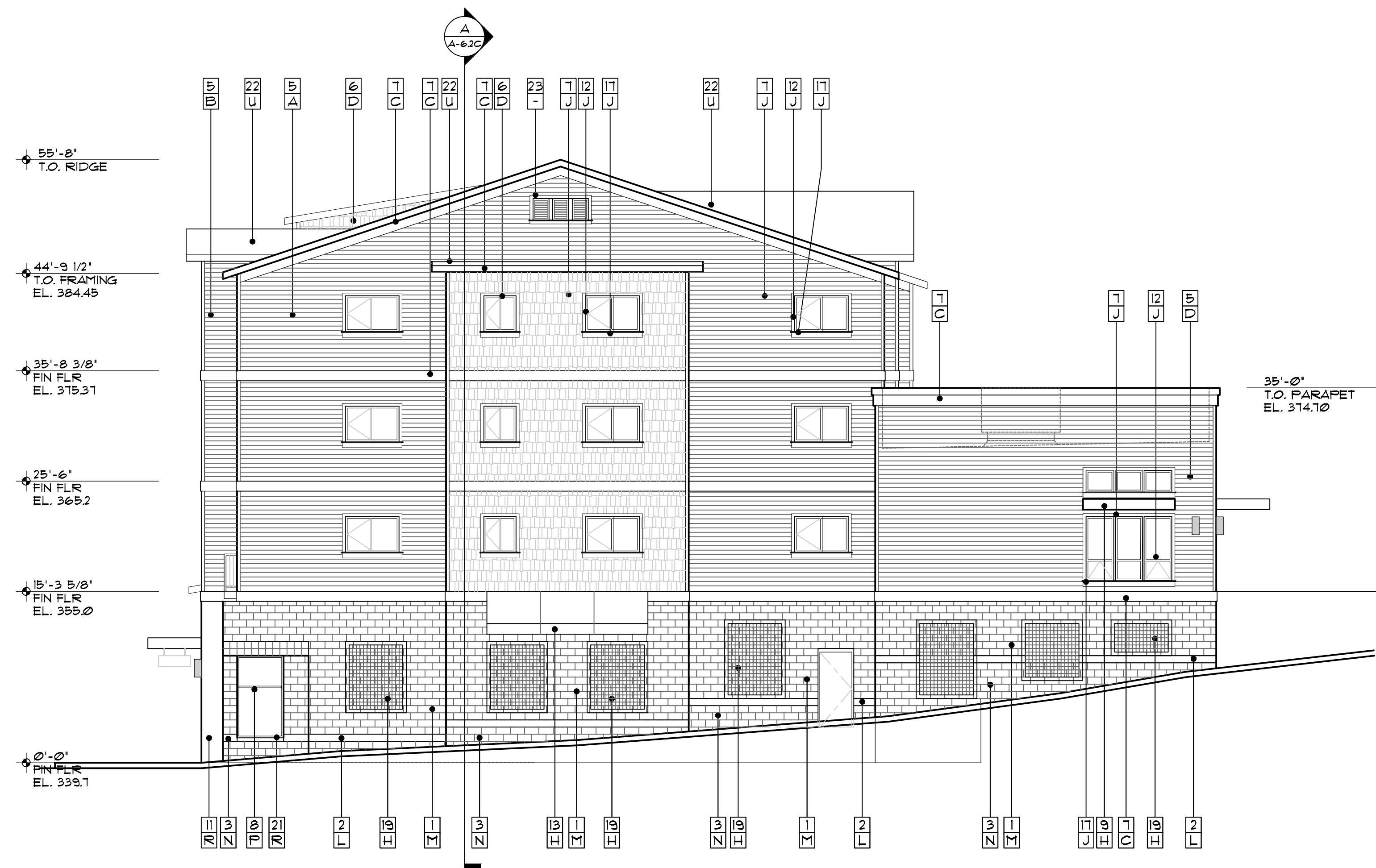
OF: - SHEETS



1 BUILDING C - WEST ELEVATION
A-5.2 SCALE 1/8"=1'-0"



2 BUILDING C SOUTH - NORTH ELEVATION
A-5.2 SCALE 1/8"=1'-0"



3 BUILDING C NORTH - NORTH ELEVATION
A-5.2 SCALE 1/8"=1'-0"

PAINT COLOR

- A - DOWNING SAND, (SW) 2822
- B - DOWNING STONE, (SW) 2821
- C - DOWNING EARTH, (SW) 2820
- D - ROCKWOOD CLAY, (SW) 2823
- E - INDIAN WHITE, (SW) 0035
- F - BUCKRAM BINDING, (SW) 0036
- G - RUSKIN ROOM GREEN, (SW) 0042
- H - BLACK OF NIGHT, (SW) 6993
- J - PURE WHITE, (SW) 1005
- K - ROYLCROFT ADOBE, (SW) 0040

CMU

- L - CHARCOAL
- M - KHAKI
- N - WILLOW

METAL

- P - MATTE BLACK
- Q - POWDER COAT/WEATHERED STEEL

CONCRETE

- R - NATURAL

ROOFING

- U - CHARCOAL

MATERIAL SCHEDULE

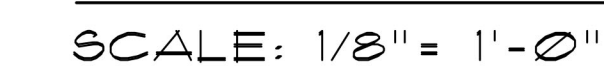
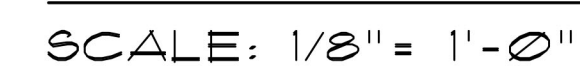
1. INTEGRAL COLOR GROUNDFACE CMU
2. INTEGRAL COLOR GROUNDFACE CMU
3. INTEGRAL COLOR GROUND FACE SINGLE SCORE CMU
4. FIBER CEMENT BOARD AND BATTEN
5. FIBER CEMENT HORIZONTAL SIDING
6. FIBER CEMENT SHINGLE SIDING
7. COMPOSITE TRIM/FASCIA
8. ANODIZED ALUMINUM STOREFRONT SYSTEM
9. HORIZONTAL STEEL CANOPY
10. METAL COPING
11. EXPOSED CONCRETE
12. VINYL WINDOW
13. FABRIC AWNING
14. OVERHEAD DOOR
15. METAL RAILING (POWDER COAT)
16. LANDSCAPE SCREEN
17. COMPOSITE WINDOW SILL
18. WALL SCONCE
19. STEEL FRAMED TRELLIS (POWDER COAT)
20. 6" HIGH WOOD FENCE
21. CONCRETE SILL CAP
22. ASPHALT SHINGLE ROOF
23. 18" X 24" GABLE VENT
24. INTEGRATED CONCRETE PLANTER

MAYER COURT APARTMENTS
BUILDING C
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
ELEVATIONS - BLDG C - WEST

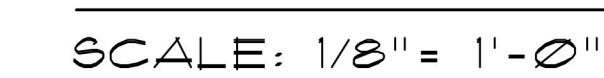
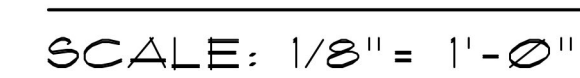
SHEET:
A-5.2
OF: - SHEETS

Partners
Architectural Design Group, Inc.
6801 158th Ave NE Suite 250 Redmond, WA 98052 Phone 425-636-6066

REV.	DATE	DESCRIPTION
4/08/2022		SITE PLAN REVIEW RESUBMITTAL
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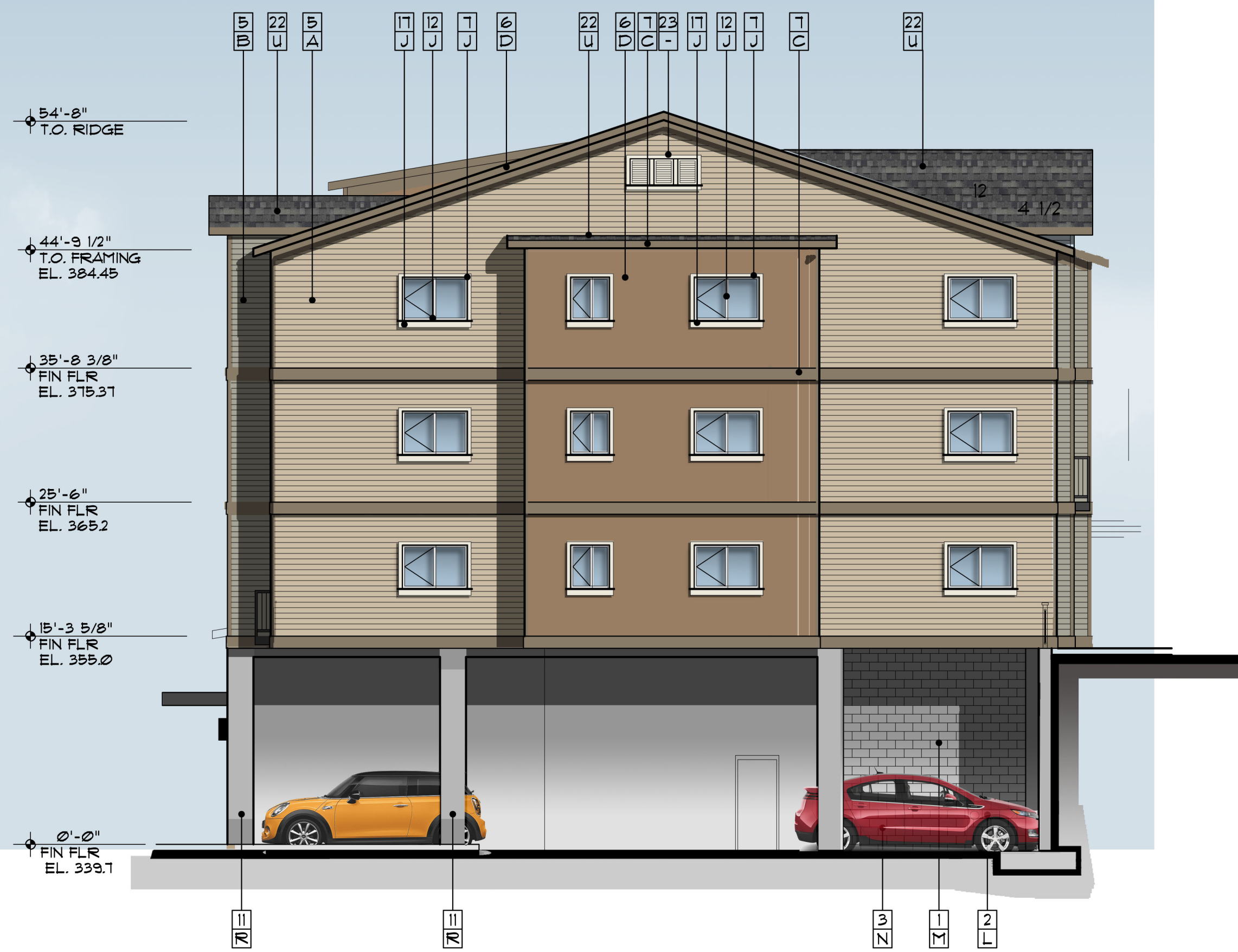
1. INTEGRAL COLOR GROUNDFACE CHU
2. INTEGRAL COLOR SPLITFACE CHU
3. INTEGRAL COLOR GROUND FACE
SINGLE COLOR SINGLE
4. FIBER CEMENT BOARD AND BATTEN
5. FIBER CEMENT HORIZONTAL SIDING
6. FIBER CEMENT SHINGLE SIDING
7. COMPOSITE TRIM/ROOF
ANODIZED ALUMINUM STOREFRONT
SYSTEM
8. HORIZONTAL STEEL CANOPY
9. METAL COPING
10. EXPOSED CONCRETE
11. VINYL UNIFORM
12. FABRIC AWNING
13. OVERHEAD DOOR
14. METAL RAILING (POWDER COAT)
15. LANDSCAPE SCREEN
16. COMPOSITE WINDOW SILL
17. WALL SCIENCE
18. STEEL FRAMED TRELLIS
(POWDER COAT)
19. 6" HIGH WINDOW CAP
20. CONCRETE SILL CAP
21. ASPHALT SHINGLE ROOF
22. 18" x 24" FLAME VENT
23. METAL PLASTER BOX





BUILDING C SOUTH
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING C SOUTH
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

PAINT COLOR

- A - DOWNING SAND, (SW) 2822
- B - DOWNING STONE, (SW) 2821
- C - DOWNING EARTH, (SW) 2820
- D - ROCKWOOD CLAY, (SW) 2823
- E - INDIAN WHITE, (SW) 0035
- F - BUCKRAM BINDING, (SW) 0036
- G - RUSKIN ROOM GREEN, (SW) 0042
- H - BLACK OF NIGHT, (SW) 6953
- J - PURE WHITE, (SW) 1005
- K - ROYAL CROFT ADOBE, (SW) 0040

CMU

- L - CHARCOAL
- M - KHAKI
- N - WILLOW

METAL

- F - MATTE BLACK
- G - POWDER COAT/WEATHERED STEEL

CONCRETE

- R - NATURAL

ROOFING

- U - CHARCOAL

MATERIAL SCHEDULE

1. INTEGRAL COLOR GROUNDFACE CMU
2. INTEGRAL COLOR SPLITTAGE CMU
3. INTEGRAL COLOR GROUND FACE SINGLE SCORE CMU
4. FIBER CEMENT BOARD AND BATTEN
5. FIBER CEMENT HORIZONTAL SIDING
6. FIBER CEMENT SHINGLE SIDING
7. COMPOSITE TRIM/FASCIA
8. ANODIZED ALUMINUM STOREFRONT SYSTEM
9. HORIZONTAL STEEL CANOPY
10. METAL COPING
11. EXPOSED CONCRETE
12. VINYL WINDOW
13. FABRIC AWNING
14. OVERHEAD DOOR
15. METAL RAILING (POWDER COAT)
16. LANDSCAPE SCREEN
17. COMPOSITE WINDOW SILL
18. WALL SCIENCE
19. STEEL FRAMED TRELLIS (POWDER COAT)
20. 6" HIGH WOOD FENCE
21. CONCRETE SILL CAP
22. ASPHALT SHINGLE ROOF
23. 18" X 24" GABLE VENT
24. METAL PLANTER BOX



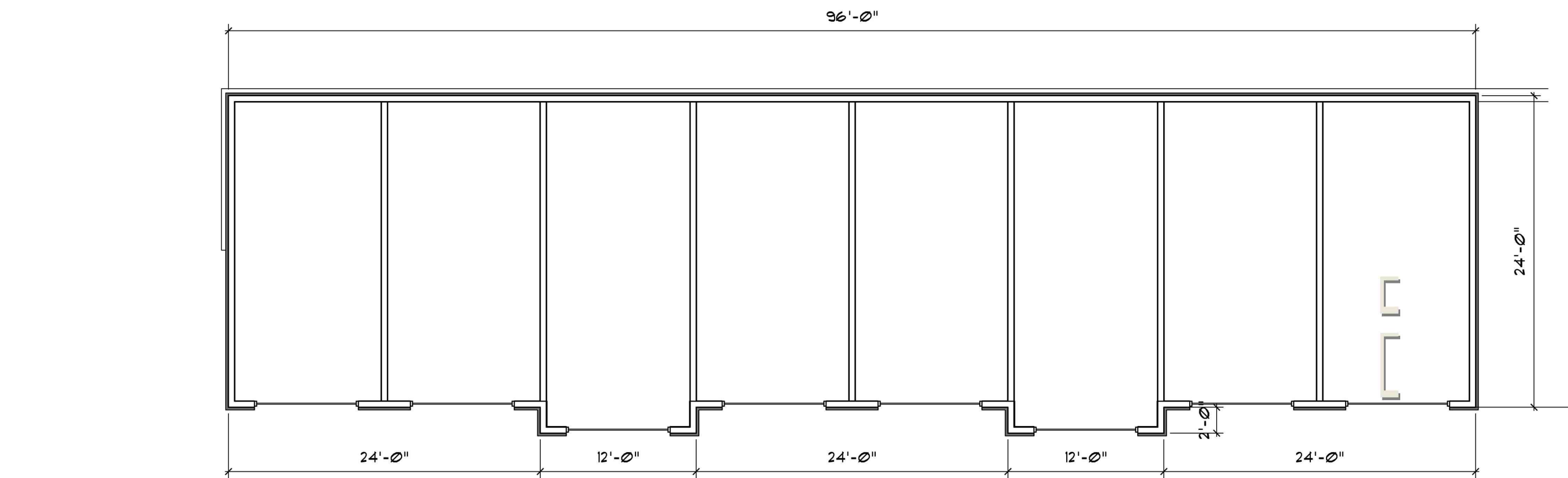
BUILDING C SOUTH
EAST ELEVATION

SCALE: 1/8" = 1'-0"



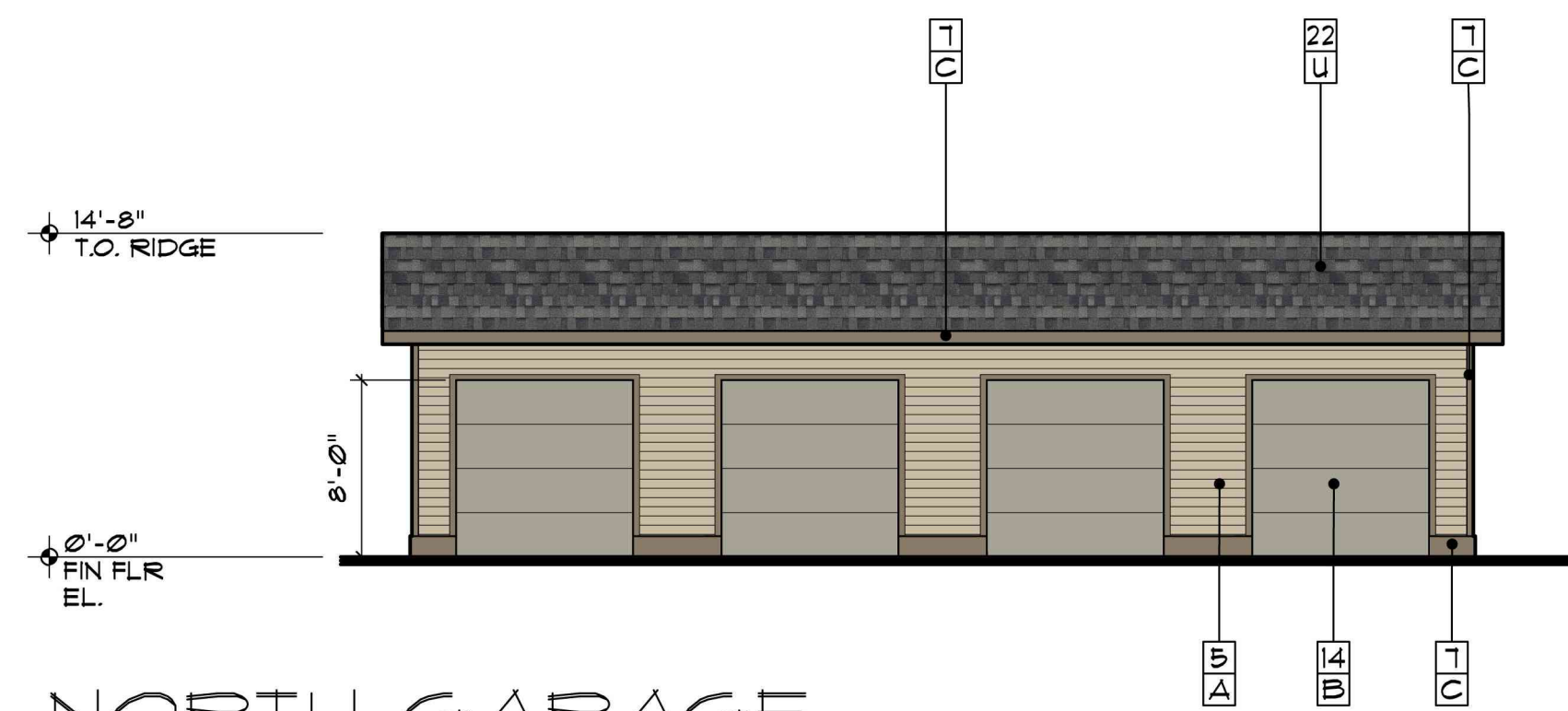
BUILDING C NORTH
EAST ELEVATION

SCALE: 1/8" = 1'-0"



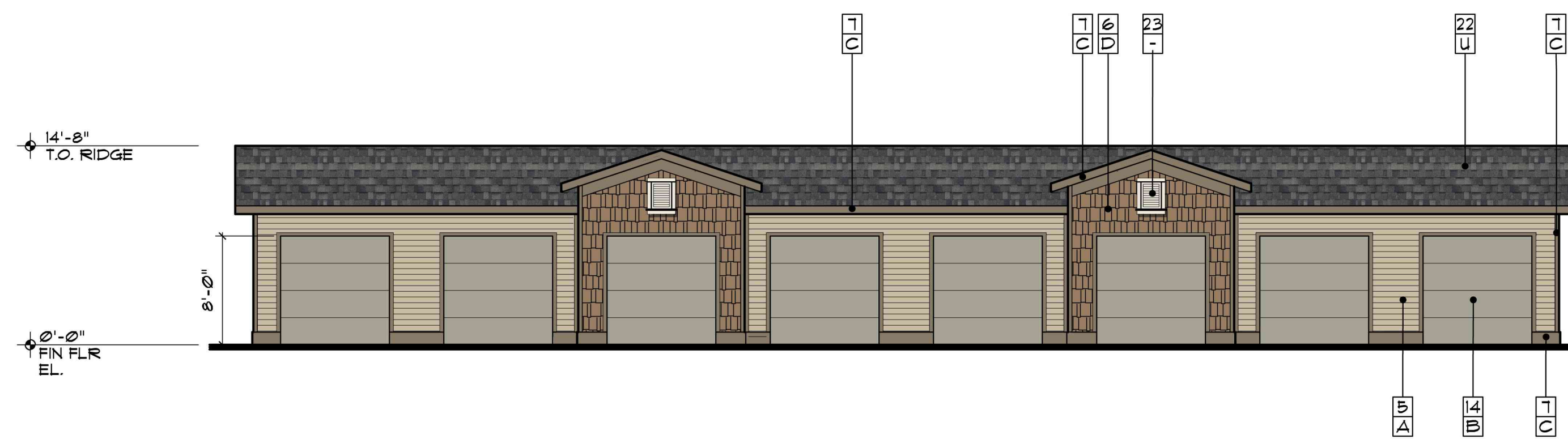
SOUTH GARAGE
FLOOR PLAN

SCALE: 1/8" = 1' - 0"



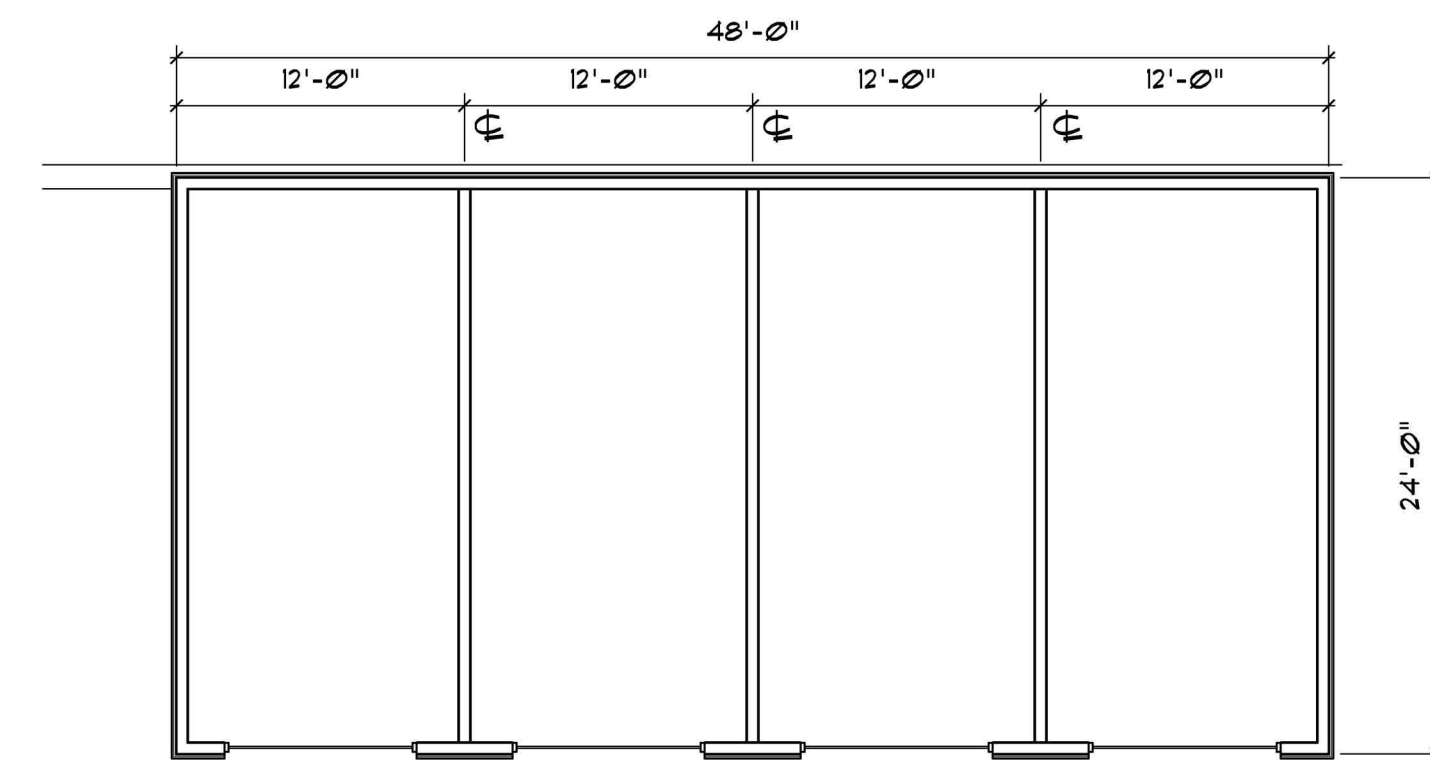
NORTH GARAGE
EAST ELEVATION

SCALE: 1/8" = 1' - 0"



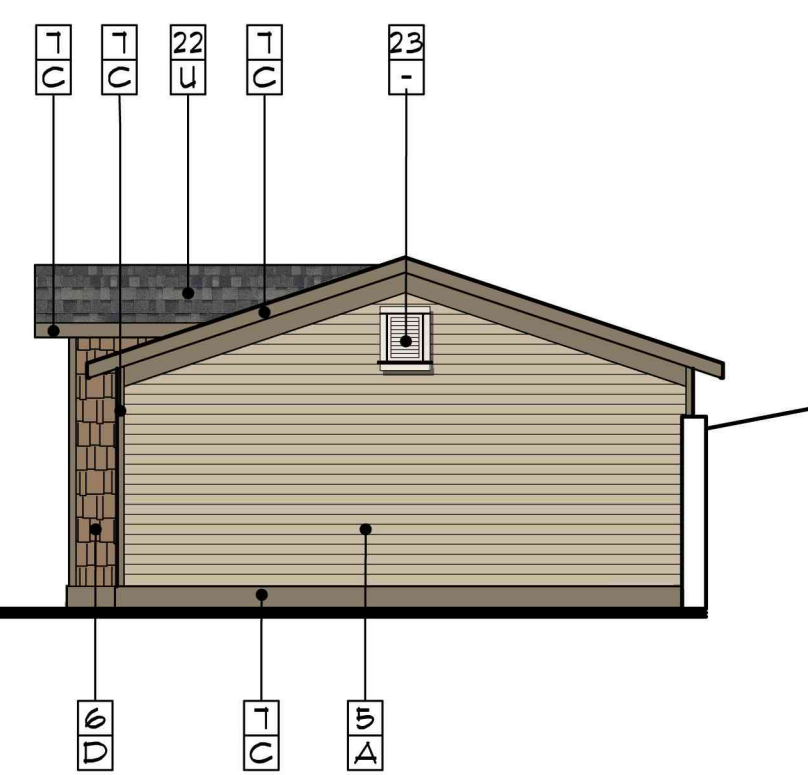
SOUTH GARAGE
EAST ELEVATION

SCALE: 1/8" = 1' - 0"



NORTH GARAGE
FLOOR PLAN

SCALE: 1/8" = 1' - 0"



SOUTH GARAGE
NORTH ELEVATION

SCALE: 1/8" = 1' - 0"

PAINT COLOR

- A - DOWNING SAND, (SW) 2822
- B - DOWNING STONE, (SW) 2821
- C - DOWNING EARTH, (SW) 2820
- D - ROCKWOOD CLAY, (SW) 2823
- E - INDIAN WHITE, (SW) 0035
- F - BUCKRAM BINDING, (SW) 0036
- G - RUBKIN ROOF GREEN, (SW) 0042
- H - BLACK OF NIGHT, (SW) 6-953
- J - PURE WHITE, (SW) 1205
- K - ROYLCROFT ADOBE, (SW) 0040

CMU

- L - CHARCOAL
- M - KHAKI
- N - WILLOW

METAL

- P - MATTE BLACK
- Q - POWDER COAT/WEATHERED STEEL

CONCRETE

- R - NATURAL

ROOFING

- U - CHARCOAL

MATERIAL SCHEDULE

1. INTEGRAL COLOR GROUNDFACE CMU
2. INTEGRAL COLOR SPLITFACE CMU
3. INTEGRAL COLOR GROUND FACE SINGLE SCORE CMU
4. FIBER CEMENT BOARD AND BATTEN
5. FIBER CEMENT HORIZONTAL SIDING
6. FIBER CEMENT SHINGLE SIDING
7. COMPOSITE TRIM FASCIA
8. ANODIZED ALUMINUM STOREFRONT SYSTEM
9. HORIZONTAL STEEL CANOPY
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20. 6" HIGH WOOD FENCE
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22. ASPHALT SHINGLE ROOF
23. 18" X 24" GABLE VENT
24. METAL PLANTER BOX

MAYER COURT APARTMENTS
GARAGE A, B, AND CARPORT D
15005 MILITARY RD SOUTH
SEATAC, WASHINGTON 98188
FOR: MAYER COURT LLC
GARAGE RENDERINGS

SHEET:
A6-5
OF: - SHEETS

Partners
Architectural Design Group, Inc.

6801 158th Ave NE Suite 250 Redmond, WA 98052 Phone 425-636-6066

REV.	DATE	DESCRIPTION
	4/08/2022	SITE PLAN REVIEW RESUBMITAL
ISSUED SUBJECT TO BUILDING DEPARTMENT APPROVAL SUBJECT TO REVISIONS AND ADDITIONS		
DRAWN: J U		
CHECK: E E K		
JOB NO: 19-011		