

Community and Economic Development

Master Land Use Application

Staff Use Only:

Project Name: **Shell Convenience Addition**

Master Project #:

Sub-Projects #:

Pre-Application #/Date:

Check all specific Land Use Actions you are applying for in the boxes provided:

Please note that you do not need to duplicate any of the information requested from the land use action submittal checklists below if you have already provided it in this application.

<input type="checkbox"/> Accessory Dwelling Unit <input type="checkbox"/> Code Interpretation <input type="checkbox"/> *Comprehensive Plan Amendment <input type="checkbox"/> *Conditional Use – Minor <input type="checkbox"/> *Conditional Use – Major <input type="checkbox"/> *Development Agreement <input type="checkbox"/> *Development Regulations Amendment <input type="checkbox"/> Lot Line Adjustment <input type="checkbox"/> *Planned Unit Development <input checked="" type="checkbox"/> *Preliminary Site Plan Review <input type="checkbox"/> Public Utility Exception	<input type="checkbox"/> Reasonable Use Exception <input type="checkbox"/> Request for Zoning Compliance Letter <input type="checkbox"/> SEPA <input type="checkbox"/> Separate Lot Status Determination <input type="checkbox"/> Shoreline Exemption <input type="checkbox"/> *Shoreline Substantial Development <input type="checkbox"/> *Short Plat – Preliminary <input type="checkbox"/> *Short Plat – Final <input type="checkbox"/> *Subdivision – Preliminary <input type="checkbox"/> *Subdivision – Final	<input type="checkbox"/> Sign Special Event or Grand Opening <input type="checkbox"/> Sign Variance <input type="checkbox"/> Special Home Occupation (SHOP) <input type="checkbox"/> Temporary Use Permit <input type="checkbox"/> *Variance <input type="checkbox"/> Wireless Communication Facility (WCF) <input type="checkbox"/> Zoning Compliance Letter <input type="checkbox"/> *Zone Reclassification (Rezone)
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This Master Land Use Application **and** specific Land Use Action(s) (see submittal checklists above) must be completed with all required supplemental documents provided prior to submitting for an application to be considered complete and accepted through the Permit Center. Please note that any land use action above marked with an asterisk (*) will require an intake appointment when ready to submit. Please see the [Land Use Application Intake Appointment FAQ's](#) page for more information.

Failure to submit all requested items (in legible form) may delay processing of your application. Additional information may be required after review of your proposal.

In an effort to reduce paper and transition to digital review, electronic plan submittal is preferred via files on a USB/Thumb drive instead of hard copies.

Application Requirements:

- ☐ Master Land Use Application completed;
- ☐ Specific Land Use Action submittal checklist completed (please see the [Permits & Land Use Applications Page](#));
- ☐ Multimodal Transportation Concurrency Application completed (click [here](#) to view);
- ☐ Payment of applicable fees via Cash, Check or Card (Visa + MasterCard limit of \$2,500).
- ☐ Schedule intake appointment (if applicable).

SITE/PROPERTY INFORMATIONSite Address: 19924 International Blvd. SeaTac, WA. 98188Parcel #: 042204-9234

Property's Existing Zoning:

☐ UL ☐ UM ☐ UH ☐ UH-UCR ☐ T ☐ MHP ☐ NB ☐ O/C/MU ☐ O/CM ☐ ABC ☐ CB ☒ CB-C ☐ BP ☐ I
☐ P ☐ AVC ☐ AVO

APPLICANT/OWNER INFORMATION

Applicant's Information:

Name: Brad Kaul
☐ Owner ☒ Authorized Agent ☐ Purchaser
Mailing Address: 1733 Ferndale Ave. Se, Renton, WA 98058Phone: (206) 200.0015Email: bradkaul@kauldesignarchitecture.com

Property Owners Information:

*(If an LLC, please provide documentation
of being an authorized signer)*
Name: Balkar JammuMailing Address: 19924 International Blvd. SeaTac, WA. 98188

Phone: _____

Email: _____

Designated Contact Person:

*(Who will receive and disseminate all
correspondence from the City)*

Same as:

☒ Applicant ☐ Property Owner ☐ Other
Name: Brad KaulMailing Address: 1733 Ferndale Ave Se, Renton, WA 98058Phone: (206) 200.0015Email: bradkaul@kauldesignarchitecture.com*(Contact 1)*

PROFESSIONAL CONTACT INFORMATION

Architect:

Name: Brad Kaul

Mailing Address: 1733 Ferndale Ave Se, Renton, WA 98058

Phone: (206) 200.0015

Email: bradkauldesign@kauldesignarchitecture.com

Engineer:

Name: _____

Mailing Address: _____

Phone: _____

Email: _____

Surveyor:

Name: _____

Mailing Address: _____

Phone: _____

Email: _____

Designer/Landscape Architect/etc.:

Name: _____

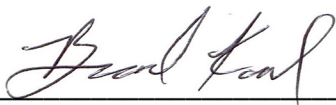
Mailing Address: _____

Phone: _____

Email: _____

1. *By signing this application, I authorize employees/agents of the City of SeaTac to enter onto the property that is the subject of this application during regular business hours. The sole purpose of entry is to make an examination of the property that is necessary to process this application.*
2. *I certify that I am the owner of this property or the owner's authorized agent. If acting as an authorized agent, I further certify that I have full power and authority to file this application and to perform, on behalf of the owner, all acts required to enable the jurisdiction to process and review such application. I will comply with all provisions of the law and ordinance governing this type of application. If the scope of work requires a licensed contractor to perform the work, the information will be provided prior to permit issuance.*
3. *I CERTIFY THAT THE INFORMATION FURNISHED BY ME AS PART OF THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.*

I am the: ☐ Owner ☒ Authorized Agent

Applicant Signature: 

Date: 07/20/2021

Printed Name: Brad Kaul

Preliminary Site Plan Review Submittal Checklist

Staff Use Only:

SPR #:

Project Name:

DEFINITION AND PURPOSE

Preliminary Site Plan Review provides an administrative process by which a development project is reviewed to ensure conformance with applicable policies, codes and development standards. The process is separate from and precedes initial building or engineering permit review and issuance.

AUTHORITY AND APPLICATION

- 1. Projects That Require SEPA.** At a minimum, Preliminary Site Plan Review is required for all projects subject to SEPA review per Chapter 16A.23 SMC; provided, that no other land use approval is required. SEPA review shall occur concurrently with the Preliminary Site Plan Review process.
- 2. Projects That Do Not Require SEPA.** The Director may establish administrative standards for projects to be subject to Preliminary Site Plan Review versus those more minor projects that can be approved through standard permit review/issuance.

The following project types shall be required to submit for Preliminary Site Plan Review prior to submittal of construction permits (if applicable):

- Townhouse projects.
- Multi-family housing projects.
- All projects within Overlay Districts and Zones (see SMC Title 15, Division III), except for single-family residences.

Please Note: Any project that is subject to a Conditional Use Permit or Shoreline Substantial Development Permit may be exempt from a Preliminary Site Plan Review application; however regulations shall still apply and be reviewed.

REVIEW PROCESS AND PROCEDURES

All projects subject to Preliminary Site Plan Review shall be considered in accordance with SMC 15.115.055 and be processed as Type II Permits per SMC Title 16A.

1. Your submittal will NOT be accepted for intake if your project has not had the required Pre-Application meeting. To schedule the required meeting, you must complete the required Pre-Application meeting request found here: (<http://www.seatacwa.gov/home/showdocument?id=4779>) and submit it to the Permit Center.
2. A Determination of Completeness (DOC) will be made within twenty-eight (28) days of the application submittal stating whether the application is complete or if additional information is required.
3. A Notice of Application (NOA) will be published and sent to adjacent property owners. The NOA will be issued within fourteen (14) days after a DOC is made.

- a. A notice board is required to be posted on said property on or before the publish date of the NOA. An Affidavit of Installation shall be submitted to the City that the notice board has been installed on the property.
4. Once a DOC is issued, the City has one hundred twenty (120) days to make a decision regarding the application. A Notice of Decision (NOD) will be sent to the applicant/property owner and to all parties of record.
5. The decision on a Preliminary Site Plan Review may be appealed to the Hearing Examiner within fourteen (14) days of the issuance of such decision. The appeal must be filed with the City Clerk on a form supplied by the City Clerk along with a filing fee.
6. A Preliminary Site Plan Review approval shall become null and void if a complete application for a building permit, or engineering permit when no building permit is required, is not filed within one (1) year of the date of approval.
7. Upon written request of the property owner or his/her authorized representative, the Director may grant an extension of time up to but not exceeding six (6) months. Such extension shall be based upon finding that there has been no material change of applicable policies, codes and development standards, and that granting an extension would not be detrimental to the public health, safety or general welfare.

Application Checklist

The following materials are the minimum that must be submitted to review your application. **Please do not turn in your application until all items listed below have been checked off.** Submittals will not be accepted unless complete. Return completed checklist with application.

** Additional detailed specifications will be required in the plan submittal requirements at time of BLD and/or STE stage.*

*** Refer to current fee schedule, and/or contact a permit coordinator @ 206-973-4750 for information regarding required fees at the time of application submittal.*

****Detailed landscape and architectural plans will be reviewed and approved through the building permit.*

SUBMITTAL REQUIREMENTS		APPLICANT	STAFF
1	Master Land Use Application form, completed.	x	✓
2	Required fee(s) paid.	x	✓
3	Original, plus four (4) copies of all documents.		N/A
4	An environmental (SEPA) checklist, if applicable.		N/A
5	Water and Sewer availability letter.	x	✓
6	Project description: In a separate written attachment, please provide the following: <ul style="list-style-type: none"> • Description of the current property, noting any critical areas. • Scope of the project: <ul style="list-style-type: none"> ○ Physical / Spatial changes (i.e. additions, lot coverage, gross floor area, unit counts, and underground space). ○ Land use (i.e. business type, uses proposed). ○ Parking stalls. ○ Open space, landscaping and amenities. 	x	✓
7	Vicinity map.	x	✓
8	Plan set requirements (see below).		

SUBMITTAL REQUIREMENTS		APPLICANT	STAFF
	<ul style="list-style-type: none"> Existing Site Plan Proposed Site Plan Conceptual Landscaping Plan Conceptual Architectural Plan 	x	X - no landscaping plan
9	Additional items as identified in a pre-application meeting, if applicable.		N/A

PLAN REQUIREMENTS		APPLICANT (List sheet number for each item)	STAFF
Unless otherwise noted, all plans shall have the following: Scale, north arrow and date drawn. Scale shall be standard engineering or architectural. The scale must allow clear depiction of all required information, typically between 1" = 10' and 1" = 40'.			Mislabeled on plans.
1	Existing Site Plan	A0.0	
	Location, dimensions, and use of existing structures on site (includes fences, accessory buildings, temporary structures such as trailers/mobile homes, and retaining walls).		X
	Indicate all structures to be removed / demolished.	A1.1D	✓
	Distances between structures and property lines.		X
	Land uses, lot lines, and approximate location of structures and pavement on abutting properties.		X
	Location of existing easements.		X
	All existing street and alley rights of way abutting the site. Include street name, width of right of way.	A0.0	X
	On-site vehicular ways such as driveways, drive lanes, auto courts, or private roads, including dimensions and materials.	A0.1	✓
	Tree survey including: <ul style="list-style-type: none"> Size, type, and location of all significant trees on site; Indication of which trees are "to remain" or "to be removed"; and Replacement ratio detail, if required. 		X
	If applicable, a Critical Area(s) Report & Critical Area Map, including: <ul style="list-style-type: none"> Location of critical area(s) on site or in the vicinity; and Buffer area. See Critical area code SMC 15.700 for specific detailed requirements.		N/A
2	Proposed Site Plan	A0.1	
	Location, dimensions, and use of proposed structures on site (includes fences, accessory buildings, temporary structures such as trailers/mobile homes, and retaining walls).		✓
	Distances between proposed structures, existing structures and property lines.	A0.1	✓
	Proposed lot lines.		N/A
	Proposed easements.		N/A
	Location of all paving (proposed and existing) – including sidewalks, driveways, pedestrian and bicycle paths, on site and within the adjacent right-of-way.	A0.1	✓

PLAN REQUIREMENTS		APPLICANT (List sheet number for each item)	STAFF
	Existing and proposed elevation contours at intervals of not greater than 5 feet.		X
	Location, height, top elevation and width of existing and proposed retaining walls and rockeries, if applicable.		N/A
	Location of existing and proposed utilities within the site such as sewer, water, gas and electricity.		X
	Location of existing fire hydrants.		✓
	Proposed garbage/recycling collection areas and dimensions, including enclosure-screening method.	A0.1	✓
	Mechanical/Utility equipment locations.	A0.1	✓
	Location and type of proposed exterior lighting.		✓
	Parking ratio detail provided on plans, including: <ul style="list-style-type: none"> Required parking unit count; and Proposed parking unit count. Location, dimension and number of parking spaces (including accessible spaces), bicycle parking, drop-off areas and driveway access.	A0.1	✓
	Required Open Space areas delineated on plans and ratio detail including: <ul style="list-style-type: none"> Required open space square footage; and Proposed open space square footage. 		N/A
	If property is comprised of multiple lots, provide description of current status and/or explain proposed intent, i.e. lot line adjustment, lot consolidation, binding site plan, etc.		N/A
3	Conceptual Landscaping Plan	A0.1	
	Existing trees & vegetation to be retained.		X
	Type (e.g. Type I, Type II, etc.) and width of proposed landscaping areas. Refer to SMC 15.445.110 & 15.445.210 for further detail.		X
	Right-of-way landscaping, if applicable.		X
	Surface storm water facilities.		N/A
4	Conceptual Architectural Plan	A2.1	
	Building facades drawn at 1/4", 1/8" = 1' or comparable scale showing: <ul style="list-style-type: none"> Elevations; Building height; Entrances. 		✓
	Floor plans with uses labeled. Include parking garage layout if applicable.	A1.1	✓



TO:

City of SeaTac, WA
Community and Economic Development

DATE: May 27th, 2021

SUBJECT:

Scope of project for site located at 19924 International Blvd. SeaTac, WA

Property Description

Legal Description

According to the King County Assessor's office the site is located on LOT 4 KING CO SHORT PLAT NO 775001 RECORDING NO 7509160522 BEING A PORTION OF SE QTR NE QTR STR 04-22-04 EXC PORTION AWARDED TO CITY OF SEATAC BY DECREE ENTERED 10 APRIL 2000 IN KING CO SUPERIOR COURT CAUSE NO 99-2-10010-7KNT DAF: BEGINNING AT INTERSECTION OF ELY MARGIN OF PACIFIC HWY S WITH N MARGIN OF S 200TH ST TH ALONG SAID ELY MARGIN N06-05-08E 150.00 FT TO N PARCEL LINE TH ALONG N PARCEL LINE S88-26-37E PARALLEL WITH SAID N MARGIN OF S 200TH ST 6.02 FT TO POINT 6.00 FT ELY AS MEASURED PERPENDICULAR TO ELY MARGIN OF PACIFIC HWY S TH PARALLEL WITH SAID ELY MARGIN S06-05-08W 88.71 FT TH S22-54-15E 62.73 FT TO POINT 4.00 FT ELY AS MEASURED PERPENDICULAR TO N MARGIN OF S 200TH ST TH PARALLEL WITH SAID N MARGIN S88-26-37E 163.47 FT TO ELY PARCEL LINE TH ALONG ELY PARCEL LINE S06-05-08W 4.01 FT TO N MARGIN OF S 200TH ST TH ALONG SAID N MARGIN N88-26-37W 200.00 FT TO POB

Assessor's parcel number: 042204-9234

Scope of Work

The subject property currently consists of 3,994 s.f. building which dedicates 672 sq. ft. to convenience retail sales and 2722 s.f. to fuel sales. We propose altering the amount of space the current building dedicates to sales of fuel and convenience retail. This alteration proposes 2206 s.f. of that space to be dedicated to the convenience retail sales and 1788 s.f. to fuel sales. The existing fuel canopy will remain as-is with the expansion of the convenience store below.

Have a great day! We appreciate your time and help on this project,

Bradley Kaul, AIA

Principal Architect

VICINITY MAP [SPR21-0005]

City of SeaTac



SPR21-0005
Exhibit B-1

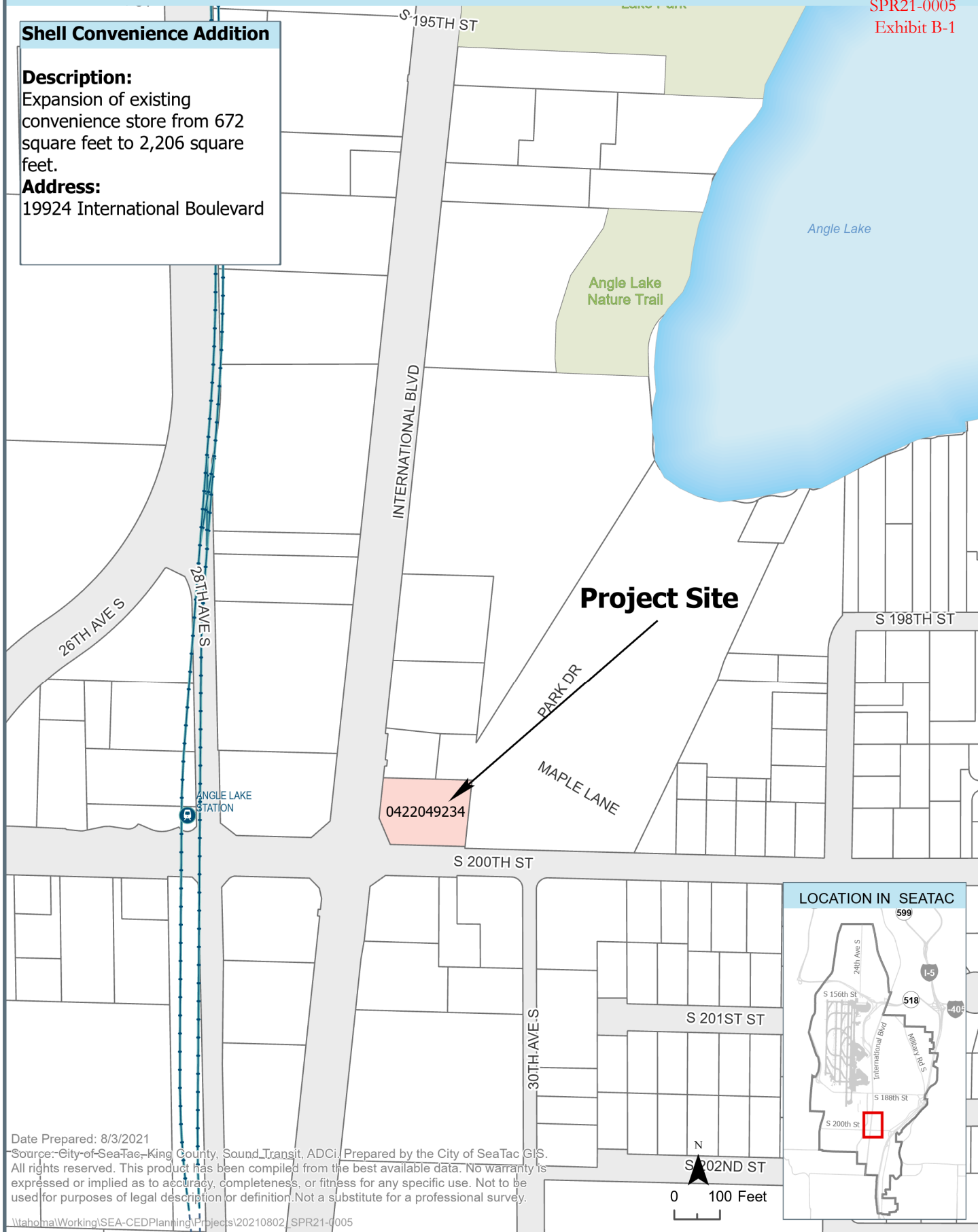
Shell Convenience Addition

Description:

Expansion of existing convenience store from 672 square feet to 2,206 square feet.

Address:

19924 International Boulevard



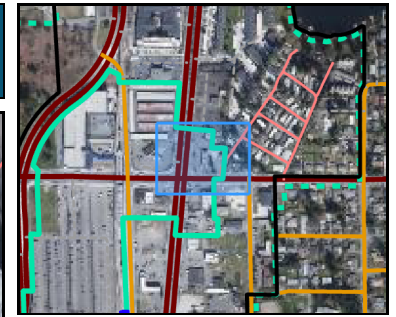
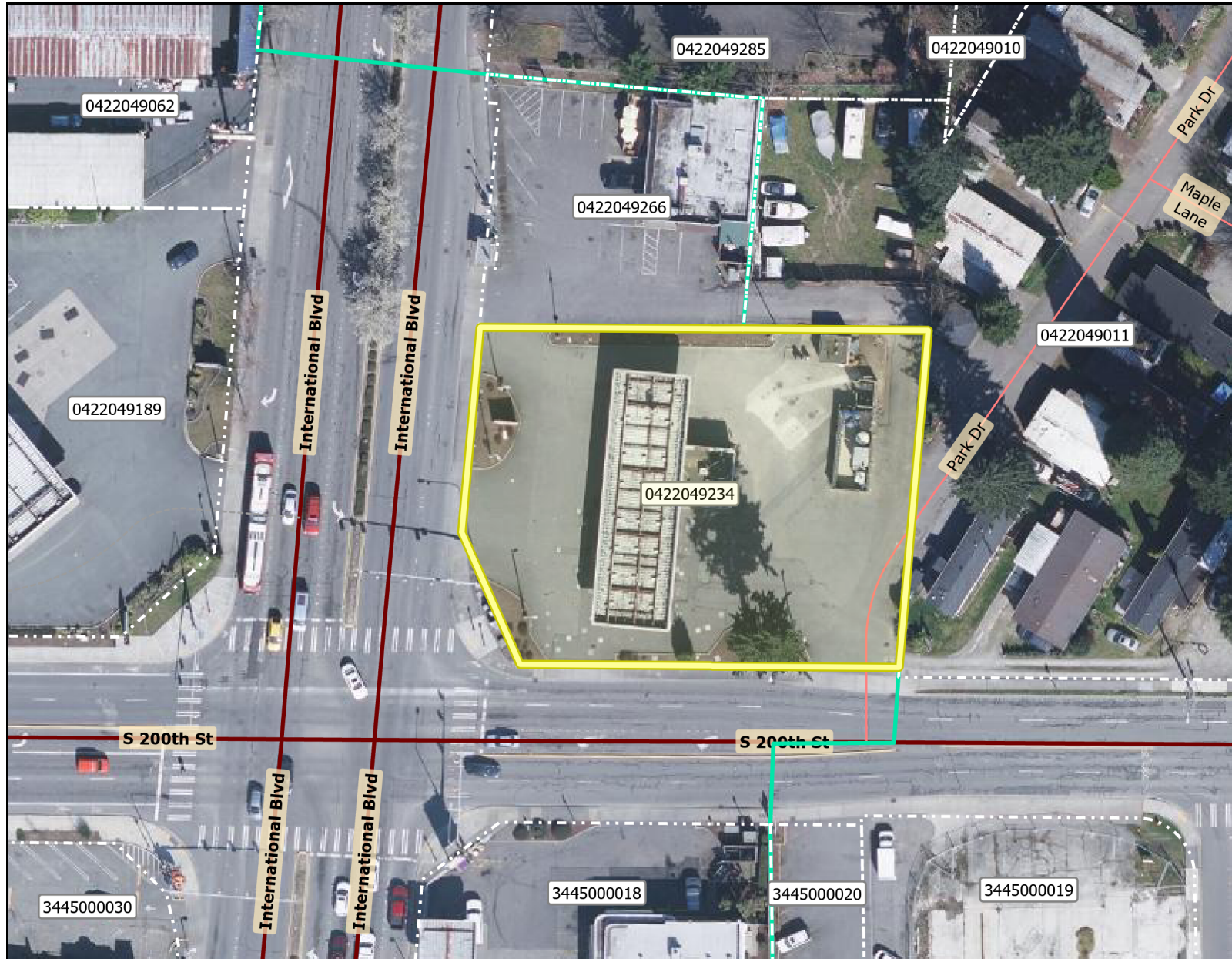
Date Prepared: 8/3/2021

Source: City of SeaTac, King County, Sound Transit, ADCI. Prepared by the City of SeaTac GIS. All rights reserved. This product has been compiled from the best available data. No warranty is expressed or implied as to accuracy, completeness, or fitness for any specific use. Not to be used for purposes of legal description or definition. Not a substitute for a professional survey.

\\tahoma\Working\SEA-CED\Planning\Projects\20210802_SPR21-0005

SPR21-0005: Shell Convenience Addition

City of SeaTac, Washington



Legend

SPR21-0005
Exhibit C-1

Parcels

Parcels

Administrative Areas

- Administrative Areas
 - Angle Lake District Center
 - Angle Lake Station Area Overlay District
 - Urban Center Boundary

City Boundaries

- City Boundaries
 - City of SeaTac

Street Centerlines

- Street Centerlines
 - ~ SeaTac - Arterial (Principal)
 - ~ SeaTac - Local
 - ~ Private - Local
 - Parking Circulation

Imagery 2020 (Mercator)

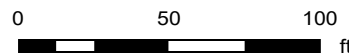
- Red: band_1
- Green: band_2

Map Description

UNOFFICIAL



Prepared by the City of SeaTac. All rights reserved. This product has been compiled from the best available data. No warranty is expressed or implied as to accuracy, completeness, or fitness for any specific use. Not to be used for purposes of legal description or definition. Not a substitute for a professional survey.



Map Author:

Map Generated: Wednesday, May 4, 2022

This document has been designed for use at 8.5 x 11 (Landscape) and is not intended for use at another size.

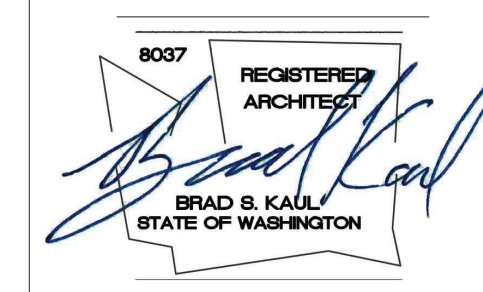




A0.1



Registration



Design Team

KDA

Design

BK

Drawn

BK

Client Project No.

[illegible]

KDA Project No.

GSST-01

Owner

Sunny Monny Rajan Inc 2
19924 International BLVD
Seatac, WA 98188

Project

Shell Convenience
Addition/Alteration
19924 International BLVD
Seatac, WA 98188

Issue/Revision

[illegible]

Sheet Title

EXTERIOR ELEVATIONS

[illegible]

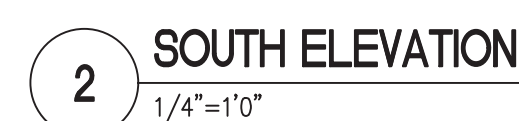
Print Date

Print Date: _____

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ARCHITECTURE, PLLC

Sheet No.

A2.1





DETERMINATION OF COMPLETENESS

TYPE OF ACTION: Preliminary Site Plan Review (SPR)

FILE NUMBER: SPR21-0005

PROJECT NAME: Shell Convenience Addition

PROJECT LOCATION:

Address: 19924 International Boulevard

Parcel Number: 042204-9234

PROJECT DESCRIPTION: Expansion of existing convenience store from 672 square feet to 2,206 square feet.

APPLICANT: Balkar Jammu; 19924 International Boulevard; SeaTac, WA 98188

AGENT/CONTACT: Brad Kaul; 1733 Ferndale Avenue SE; Renton, WA 98058; 206-200-0015

DATE APPLICATION RECEIVED: June 18, 2021

The application is complete and is being reviewed for compliance with City Codes. This is not a preliminary approval. Pursuant to RCW 36.70B.070 and adopted SeaTac Municipal Codes, if an application is determined to be complete, it does not preclude the City from requesting additional information.

Dennis Hartwick, *Senior Planner*

08/02/2021

Date Issued

Department of Community and Economic Development
4800 South 188th Street
SeaTac, WA 98188
dhartwick@seatacwa.gov
206-973-4837



NOTICE OF APPLICATION

TYPE OF ACTION: Preliminary Site Plan Review (SPR)

FILE NUMBER: SPR21-0005

PROJECT NAME: Shell Convenience Addition

PROJECT LOCATION: Address: 19924 International Boulevard; **Parcel Number:** 042204-9234

ZONING CLASSIFICATION: CB-C (Community Business in Urban Center)

PROJECT DESCRIPTION: Expansion of existing convenience store from 672 square feet to 2,206 square feet.

PERMITS INCLUDED WITH THIS APPLICATION: None

STUDIES REQUESTED BY THE CITY: None

PERMITS REQUIRED BUT NOT INCLUDED WITH THIS APPLICATION: Building Permit (BLD);
Right-of-Way Permit (ROW)

EXISTING ENVIRONMENTAL DOCUMENTS: None

APPLICANT: Balkar Jammu; 19924 International Boulevard; SeaTac, WA 98188

AGENT/CONTACT: Brad Kaul; 1733 Ferndale Avenue SE; Renton, WA 98058; 206-200-0015

DATE APPLICATION RECEIVED: June 18, 2021

DATE APPLICATION COMPLETE: August 02, 2021

COMMENT PERIOD: Persons wishing to comment on this application should submit comments within fourteen (14) days of the date of this notice, by email, mail, or letter handed in to the Permit Counter. **All comments must be submitted by 5:00 p.m. on Monday, August 30, 2021.** Comments sent after such time will not be considered or made party of record. Detailed information and copies of this proposal are available for the public to review at SeaTac City Hall, Monday through Friday (except holidays) from 8:30 a.m. to 5:00 p.m.

DECISION: A written decision will be issued following the comment period. A copy of the decision will be provided upon request. The decision is appealable to the SeaTac Hearing Examiner. Details of the appeal process will be included in the decision.

STAFF CONTACT: Dennis Hartwick, *Senior Planner*; Department of Community and Economic Development; 4800 South 188th Street, SeaTac, WA 98188; dhartwick@seatacwa.gov; 206-973-4837

DATE ISSUED: August 16, 2021



PUBLIC WORKS DEPARTMENT

May 4, 2022

TO: Jennifer Kester, Planning Manager
FROM: Ali Shasti, Engineering Review Manager

4800 South 188th Street
SeaTac, WA 98188-8605

City Hall: 206.973.4800

Permit: SPR21-0005
Project: Shell Convenience Addition
Project Address: 19924 International Blvd
Ref: G:\CED\TrakitRelated\Planning\SPR-SitePlanReview\2021\SPR21-0005 SHELL CONVENIENCE ADDITION

The City of SeaTac Public Works Department, Engineering Review Division, has reviewed the subject project, SPR21-0005 Shell Convenience Addition, and reference documents linked to above. The intent of this review is to make a determination as to whether or not Shell Convenience Addition can meet the City of SeaTac's requirements for final civil design approval. The information reviewed for this determination is preliminary in nature, is not the final design for construction purposes, and may require revisions or additional submittals for future permit applications. The final design, including civil construction drawings and related reports, shall comply with the King County Surface Water Design Manual, King County Road Design and Construction Standards, the City of SeaTac Addendum to Road Standards, and the City of SeaTac Addendum to King County Surface Water Design Manual, latest editions.

Background:

This project proposes to alterate an existing location to comprise 2206 SF of convenience retail sales and 1788 SF of fuel sales, with the existing fuel canopy remaining as is. The existing site is currently a 3,994 SF building that dedicates 672 SF to convenience retail sales and 2722 SF to fuel sales. The project is expected to have the following off-site impacts:

Storm Water Impacts:

The City of SeaTac reviewed the off-site storm water impacts for the Shell Convenience Addition based on the documents provided by the applicant for conformance to the King County Surface Water Design Manual and the City of SeaTac Addendum to King County Surface Water Design Manual. The applicant is proposing to maintain the existing stormwater system.

The City has determined that the requirements for storm water impact mitigation measures will be adequately addressed in the development regulations and comprehensive plan adopted under chapter 36.70A RCW, and in other applicable local, state, or federal laws or rules, as provided by RCW

City Manager
Carl Cole

City Attorney
Mary Mirante Bartolo

City Clerk
Kristina Gregg

43.21C.240, subject to the additional mitigation specified below. Other impacts will be addressed by the City's Code and the Public Works Design Standards, consistent with WAC197-11-158. Once a TIR or drainage memo is provided with the STE permit application for review, additional stormwater mitigation may be required based on the submitted information and the results of the modeling.

Storm Water Mitigation:

The developer shall construct an oil water separator (if there is not already one existing) before discharging to any location, and will have to document the existing storm system is adequate for this design with a drainage memo, to be submitted with the STE (if required) or BLD.

Transportation Impacts:

The City has reviewed transportation impacts from the proposed development for compliance with the City's Six-Year Transportation Improvement Plan, Transportation Master Plan adopted by City Council as Resolution #15-013, and the Transportation Element of the Comprehensive Plan.

The applicant proposed to connect the site to the City's existing transportation infrastructure via S 200th St and International Blvd. Vehicular access will be permitted to/from this development onto the following street(s): S 200th St and International Blvd. The City has reviewed and approved the proposed access as depicted in the preliminary plans submitted in support of this process.

Transportation Mitigation 1: Traffic Impact Fees

Traffic Impact Fees pursuant to SMC 11.15.040 will be applied to the project at the STE or BLD permit stage, whichever comes first.

No further mitigation is required under this SPR relating to the provisions of transportation improvements as the impacts will be addressed by the City's Code and the Public Works Design Standards, consistent with WAC197-11-158.

Based on the referenced project documents, the City of SeaTac Engineering Review Division is recommending preliminary conceptual approval of the project subject to the following additional conditions being met by the developer:

General Conditions

The developer will be required to submit a STE Permit Application to comply with King County Surface Water Design Manual, King County Road Design and Construction Standards, and the City of SeaTac Addendum to King County Surface Water Design Manual, latest editions. The STE permit

application is required prior to application for the BLD permit, if required. This should include:

1. Simplified Drainage Memo
2. Traffic Impact Analysis
3. Concurrency Application
4. Geotechnical Information Report (if applicable)
5. Bond Quantity Worksheet (For On-Site & Right-Of-Way Work)
6. Recorded Documents (i.e. Easements, Utility Availability, Access, ROW Dedication documentation, etc.)
7. Declaration of Covenant for all Stormwater Facilities
8. Traffic Control Plans meeting the minimum requirements of the Manual on Uniform Traffic Control Devices, latest edition

The developer will be required to submit Right-Of-Way Permit(s) complying with the latest edition of the King County Road Design and Construction Standards for all work performed within the City's Right-of-Way. Each franchised utility doing work in the ROW, if necessary, should also submit separate ROW Permits.

The developer may be required to submit a Haul Permit per SMC 11.10.080.D and RCW 70.105.010, and RCW 43.200.015.

If you have any questions, please contact Serena Lee by phone at 206-973-4733 or by email at slee@seatacwa.gov.

Sincerely,

Ali Shasti

Ali Shasti, P.E., MSCE
Engineering Review Manager